

# DESIGN GUIDELINES SAMPLE PAGES

## HOUSTON HISTORIC DISTRICTS DESIGN GUIDELINES PROJECT STRATEGY REPORT

### INTRODUCTION

This Appendix provides examples of the layout of pages in the design guidelines. Six sample pages are shown:

Page A.2 – This page illustrates the components of a typical design guideline topic.

Page A.3 – This page illustrates how a combination of text, photographs and sketches will be used for qualitative guidelines. In this example, the topic is the treatment of roofs on contributing structures. This sample includes an example of a side bar, which provides a reference to the Historic Preservation Ordinance. References to the ordinance and other documents will be included throughout the design guidelines.

Page A.4 – This page illustrates another example of combining text and photographs. In this case, the topic is porches. A pair of photographs shows before and after conditions for the repair of a porch railing. The text is an example of the preferred sequence of treatments that applies to work on contributing structures: (1) First, preserve a feature in good condition, (2) second, repair it if it is deteriorated, and (3) replace the feature in kind, if it is beyond repair.

Page A.5 – This page illustrates some alternatives for the design of an addition to a contributing structure. The intent is to show a range of solutions that may be appropriate under certain conditions. An accompanying page (not shown) would provide additional text to explain when these options might be appropriate.

Page A.6 – This page illustrates how prescriptive standards will be presented in the document. In this example, standards that apply to building setbacks and maximum building envelope dimensions are shown. The table will be filled in for each historic district with dimensional standards (where XX currently appears as a placeholder).

#### NOTE:

**The text and graphics shown in this appendix are for illustrative purposes only. They do not represent an official draft of any proposed design guidelines.**

# GUIDELINES FORMAT

Each Prescriptive Standards and Quantitative Guidelines Document will follow a standard format, which has several components. All components of a guideline are used in determining appropriateness. The key components of a typical design guideline are illustrated below.

## Legend

### **A** Design Topic

Describes the design topic addressed by the Design Standards that follow.

### **B** Intent Statement

Explains the desired outcome for the design topic and provides a basis for the Design Standards that follow. If a standard does not address a specific design issue, the intent statement will be used to determine appropriateness.

### **C** Quantitative Guideline

Describes a desired performance-oriented design outcome.

### **D** Additional Information

Provides a bulleted list of suggestions on how to meet the intent of the design standard. These are not the only alterations that can be applied.

### **E** Images

Clarify the intent of the design standard by illustrating appropriate and inappropriate design solutions (see below).

### **Appropriate**

Images marked with a check illustrate appropriate design solutions.

### **Inappropriate**

Images marked with an X illustrate inappropriate design solutions.

## Sample Quantitative Guideline

### **A** → **Building Placement and Orientation**

This section provides design guidelines for changes to non-historic buildings related to placement and orientation. The design of additions and alterations to a non-historic structure should result in building orientation and placement that respects the character of a historic district.

### **B** →

### **C** →

**1.1 Design additions and alterations to non-historic structures to be compatible with the placement, massing and scale of surrounding historic structures.**

### **D** →

- Design an addition to respect the original orientation of the building and maintain the typical orientation of adjacent historic buildings.
- Design an addition to a non-historic building to preserve setback distances and spacing between buildings to maintain setbacks and spacing typical of surrounding historic structures.

### **E** →



*Design additions and alterations to non-historic structures to be compatible with the placement, massing and scale of surrounding historic structures.*

# BUILDING ELEMENTS AND MATERIALS

This section provides guidelines for work on contributing structures.

## Roofs

Roof shape and materials are key character-defining features of a historic roof. Many roofs on older residential buildings have one of the following shapes: gable, hipped, pyramidal or a combination of a gable and hipped roof. Typical 19th and early 20th century roofing materials were slate, metal, wood shingles, asbestos tiles or composition materials. Flat roofs are also typical in Mid-century residential buildings.

When replacing a roof on a residential structure, select a material and a pattern that is historically appropriate to the house. If documentation of the original roof exists or an early roof on the house, use a comparable roofing material, similar in size, shape, texture and color. If documentation is not available, precedents on similar buildings may be considered. Look at the roofing on building types similar to the subject structure. See Chapter X for additional guidelines related to historic roofs.

### 1.1 Preserve the original roof form of a historic residential structure.

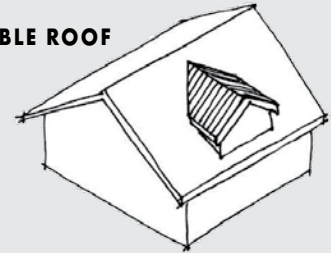
- Preserve the angle of a historic roof.
- Maintain and repair the original size and shape of a dormer.
- When possible, locate a new dormer so it is not visible from the street.
- When possible, locate a skylight, vent or attic ventilator so it is not visible from the street.



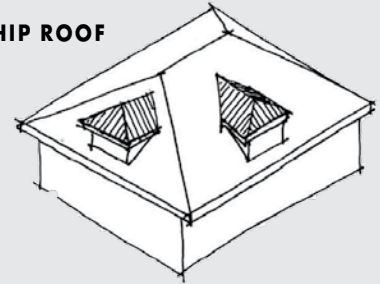
Preserve the original roof form of a historic residential structure.

### TYPICAL RESIDENTIAL ROOF FORMS

#### GABLE ROOF



#### HIP ROOF



Typical historic residential roof forms include hipped and gable-end roofs. Some traditional residential structures combine both types.

#### NOTE:

Replacing roofing material in kind does not require a Certificate of Appropriateness. See Section 33-237.a(1) - Exemptions, of the Houston Historic Preservation Ordinance.



Avoid a new roofing system that permanently damages or alters an existing roof.



## Porches

Porches and galleries are important elements of traditional Houston residential architecture. They frame and protect primary entrances. They also display a concentration of decorative details. In many neighborhoods, they continue to serve as outdoor living rooms.

Preserving a front porch is a high priority. A rear or side porch also may be important to preserve, especially for a building located on a corner lot, and their preservation is encouraged.

### REPAIRING PORCH RAILINGS

Avoid removing original materials that are in good condition or that can be repaired in place.



*Before: A deteriorated railing should be repaired when feasible.*



*After: Railing has been repaired and the base of the post has been replaced in-kind.*

### 1.2 Preserve an original porch or gallery on a house.

- Maintain the height and pitch of a porch roof.
- Do not enclose a front porch if feasible.
- If a porch is to be screened, do so in a manner that preserves the existing porch elements and does not damage them.
- Where a rear or side porch is enclosed, preserve the original configuration of columns, handrails and other important architectural features.

### 1.3 Repair a porch in a way that maintains the original character.

### 1.4 If replacement is required, design it to reflect the time period of the historic structure.

- Replace a historic porch element to match the original.
- Use replacement materials and elements that are appropriate to the style, texture, finish, composition and proportion of the historic structure.
- Where an original porch is missing entirely, base a replacement porch on physical or photographic evidence. If no evidence exists, draw from similar structures in the neighborhood.
- Match the balustrade of a historic porch to the design and materials of the porch.
- When reconstructing a porch, pay particular attention to matching the handrails, lower rails, balusters, decking, posts/columns, proportions and decorative details.
- Do not completely replace an entire porch or element unless absolutely necessary. Only replace the element or portion of an element that requires replacement.

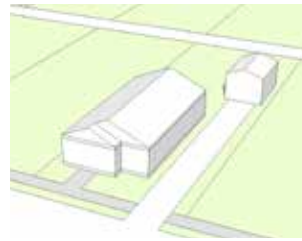
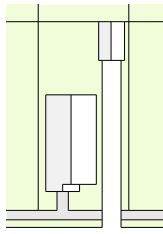


For some design topics, a series of alternative solutions will be illustrated.

# ADDITIONS TO HISTORIC BUILDINGS

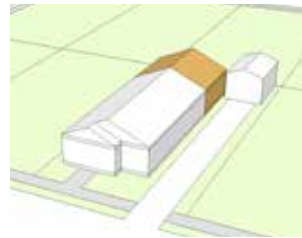
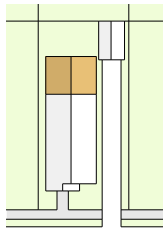
## Typical Historic Building

The historic building shown here is 28 feet wide by 48 feet deep and falls within the traditional range of building footprints.



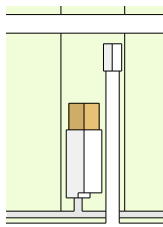
## Rear Addition 1: 1-story

- Addition is identical to existing structure in height, width and roof pitch
- Wall length of addition is less than that of existing structure



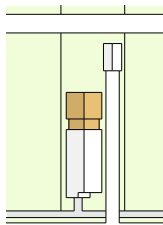
## Rear Addition 2: 1-story, offset

- Addition is less than that of existing structure in height and width
- Roof pitch is identical to existing structure
- Offset maintains the corners of the existing structure



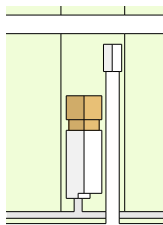
## Rear Addition 3: 1-story, connector

- Connector offset is lower and maintains the corners of the existing structure
- Primary addition is identical to existing building in height, width and roof pitch
- Side wall length of addition is less than that of existing structure



## Rear Addition 4: 2-story, connector

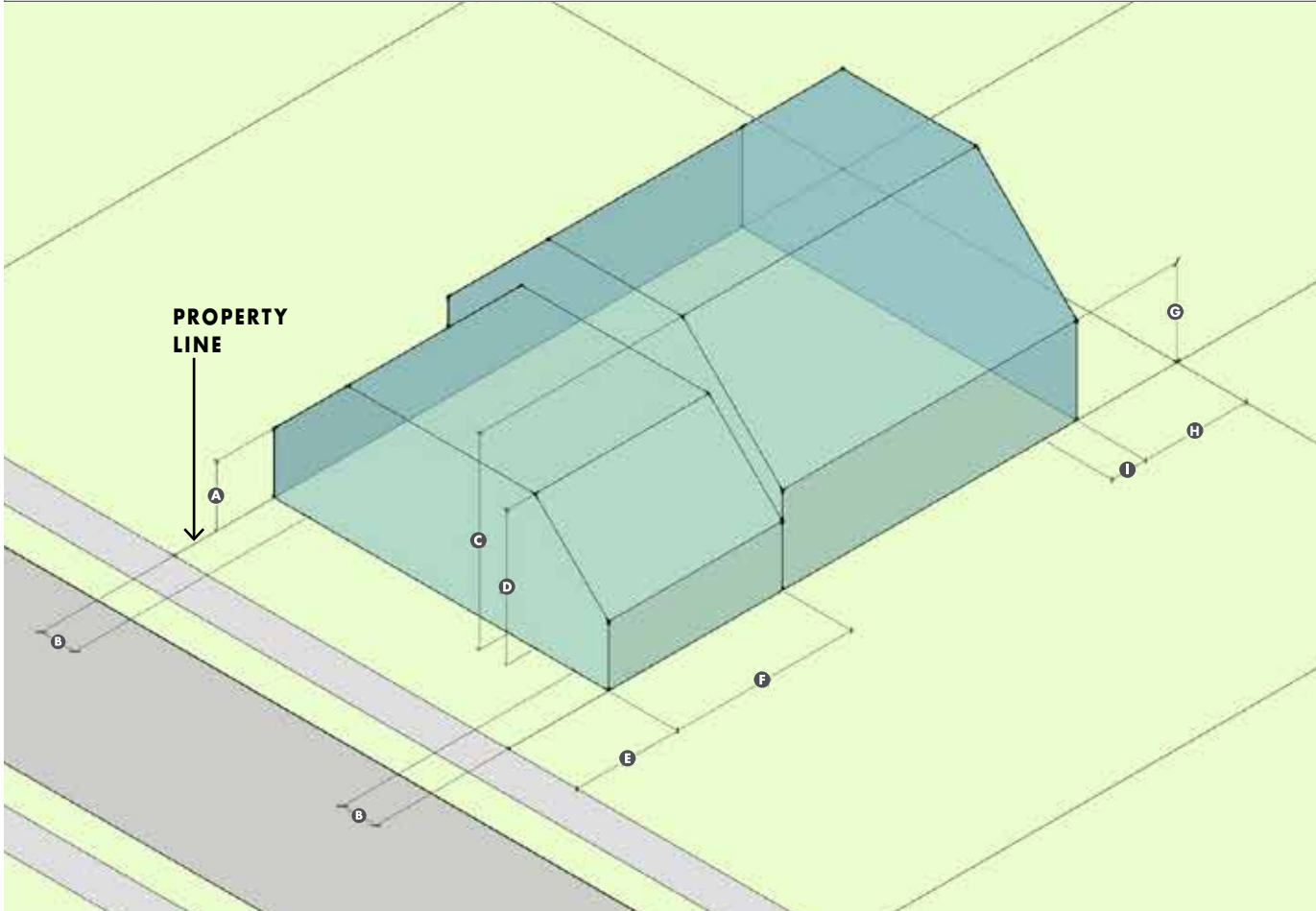
- Connector offset is lower and maintains the corners of the existing structure
- Primary addition is separated from existing structure
- Depth of addition is less than that of existing structure



# PRESCRIPTIVE STANDARDS

This page illustrates how prescriptive standards will be presented in the design guidelines. The dimensional measures shown in the table will be adjusted for different historic districts.

## Maximum Building Envelope A: 1-Story Front Element



### Prescriptive Standards

<b>A</b>	<b>XX FT.</b>	Front Envelope Wall Height at Side Property Line	<b>F</b>	<b>XX FT.</b>	Front Envelope Depth
<b>B</b>	<b>XX FT.</b>	Minimum Side Setback	<b>G</b>	<b>XX FT.</b>	Rear Envelope Wall Height at Side Property Line
<b>C</b>	<b>XX FT.</b>	Rear Envelope Maximum Height	<b>H</b>	<b>XX FT.</b>	Minimum Rear Setback, One-Story
<b>D</b>	<b>XX FT.</b>	Front Envelope Maximum Height	<b>I</b>	<b>XX FT.</b>	Minimum Rear Setback, Two-Story
<b>E</b>	<b>XX FT.</b>	Front Setback			

# RECOMMENDED BUILDING STANDARDS

## HOUSTON HISTORIC DISTRICTS DESIGN GUIDELINES PROJECT STRATEGY REPORT

### INTRODUCTION

This appendix presents a table of the recommended design standards for each historic district. These are variables that can be measured to address the size, form, location and height of buildings. The recommended standards are tailored to each district and were derived by combining information from:

1. Results of the Compatible Design Survey, which was distributed to all property owners within the historic districts. (The detailed data from those surveys are presented in Appendix D and a more condensed summary of responses is presented in Appendix C.)
2. An analysis of existing building data from the city's Geographic Information System and other sources. This includes lot coverage, floor area, and building age. Maps showing the ratings of buildings as contributing structures and noncontributing structures and historic Sanborn insurance maps also were included in this analysis. (These background maps appear in Appendix F.)
3. The consultant's consideration of design standards in similar conditions from other cities.

Also see Section 6 of the Strategy Paper for an explanation of how the recommended design standards would be applied.

#### NOTE:

**The recommended design standards are in draft form for discussion purposes only. This material has not been reviewed by the City's legal counsel and is not final until after council consideration.**





# RECOMMENDED BUILDING STANDARDS

HOUSTON HISTORIC DISTRICTS DESIGN GUIDELINES PROJECT STRATEGY REPORT

## INTRODUCTION

This chart provides preliminary recommendations for prescriptive standards to be included in the design guidelines. These numbers will be refined in the next phase of the project. For more information on the process of determining the prescriptive standards, see Section 5 of the Strategy Paper. The intent is to remain consistent with existing deed restrictions; in some cases the standards recommended here, however, may be more restrictive.

# APPENDIX B

	Freeland			Houston Heights (East, South, West)						Norhill			Woodland		
Lot Size (square feet)	<6000	6000-6999	7000+	<4000	4000-4999	5000-5999	6000-6999	7000-7999	8000+	<6000	6000-6999	7000+	<6000	6000-6999	7000+

Site Design Tools																		
Primary Building Setbacks																		
• Front	Locate new building within the range of contributing buildings along the block. (applies to all districts)																	
• Side	5' minimum, cumulative setback 15' maximum (applies to all districts)																	
• Rear Yard	15' minimum (1-story) 20' minimum (2-story)			20' minimum						15' minimum (1-story) 20' minimum (2-story)			15' minimum (1-story) 20' minimum (2-story)					
• Corner Yard	Locate new building within the range of typical contributing buildings along the block. (applies to all districts)																	
Lot Coverage																		
	44%	42%	40%		44%	44%	42%	40%	38%	36%		40%	38%	36%		42%	40%	38%
Garage Setbacks																		
• Front	60% of lot depth min. (applies to all districts)																	
• Side	3' minimum (applies to all districts)																	
• Rear Yard	3' minimum (applies to all districts)																	
• Corner Yard	Locate new building within the range of typical contributing buildings along the block. (applies to all districts)																	

Building Design Tools																		
Building Size																		
• Floor Area Ratio (FAR)	.44	.42	.40		.48	.48	.46	.44	.42	.40		.44	.42	.40		.44	.42	.40
Primary Building Wall Length																		
• Front wall	30' maximum before offset (applies to all districts)																	
• Front wall offset	5' minimum (applies to all districts)																	
• Side wall	40' maximum before offset (applies to all districts)																	
• Side wall offset	1'- 6" minimum (applies to all districts)																	
Primary Building Height																		
• Overall building height maximum	28'				30'				28'				28'					
Garage Height																		
• Overall building height maximum	20'				20'				16'				20'					



# COMPATIBLE DESIGN SURVEY: SUMMARY OF RESPONSES

HOUSTON HISTORIC DISTRICTS DESIGN GUIDELINES  
PROJECT STRATEGY REPORT

## INTRODUCTION

This appendix provides a summary of responses from the Compatible Design Survey, which was delivered to all property owners of record in the historic districts in January 2017. The actual survey used a 10-point Likert scale to measure positive or negative responses to a series of statements. While it is informative to view the percentage of respondents at each point on the scale, it requires careful study to see general patterns of responses. Grouping the responses into three categories makes the data patterns easier to identify:

- Group 1. Respondents who selected points 1 (“strongly disagree”) through 4 on the scale generally disagree to some extent with the statement.
- Group 2. Respondents who selected points 5 and 6, in the middle of the scale, are undecided.
- Group 3. Those who selected points 7 through 10 (“strongly agree”) generally agree with the statement, to some extent.

A summary of the survey responses for each district appears in this appendix. Note that some rounding up of the percentages is reflected in these grouped responses and therefore there may be slight differences between these numbers and those shown in Appendix D, where the percentages for the more detailed ten-point response categories are shown.

## Part 1: Freeland

1. “Some recent construction in my historic district is too large.”

<b>43%</b>	<b>9%</b>	<b>48%</b>
Disagree	Undecided	Agree

2. “The loss of green space when a larger building is constructed is a key issue.”

<b>22%</b>	<b>13%</b>	<b>65%</b>
Disagree	Undecided	Agree

3. “The loss of mature vegetation when new construction occurs is a key issue.”

<b>17%</b>	<b>9%</b>	<b>74%</b>
Disagree	Undecided	Agree

4. “Most recent new construction has been compatible.”

<b>9%</b>	<b>35%</b>	<b>56%</b>
Disagree	Undecided	Agree

5. “A large house next door diminishes privacy in neighbors’ back yards.”

<b>9%</b>	<b>17%</b>	<b>74%</b>
Disagree	Undecided	Agree

6. “Regulations that protect historic district character will enhance property values.”

<b>31%</b>	<b>4%</b>	<b>65%</b>
Disagree	Undecided	Agree

7. “A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns.”

<b>9%</b>	<b>17%</b>	<b>74%</b>
Disagree	Undecided	Agree

8. “Most recent renovation projects have been appropriate.”

<b>0%</b>	<b>26%</b>	<b>74%</b>
Disagree	Undecided	Agree

9. “An addition to a historic building should be visually subordinate to the building.”

<b>27%</b>	<b>23%</b>	<b>50%</b>
Disagree	Undecided	Agree

10. “Fences should be included in the design guidelines.”

<b>9%</b>	<b>22%</b>	<b>69%</b>
Disagree	Undecided	Agree



## Part 2: Freeland

12. “Guidelines which relate the size of a building to the size of its lot should be considered.”

<b>26%</b>		<b>13%</b>	<b>61%</b>
Disagree		Undecided	Agree

13. “A limit on the percentage of lot coverage should be considered to help maintain open space.”

<b>43%</b>		<b>9%</b>	<b>48%</b>
Disagree		Undecided	Agree

14. “Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines.”

<b>13%</b>		<b>17%</b>	<b>70%</b>
Disagree		Undecided	Agree

15. “A maximum building envelope should be considered as a tool to reduce perceived building size.”

<b>26%</b>		<b>13%</b>	<b>61%</b>
Disagree		Undecided	Agree

16. “A side wall offset should be considered as a tool to reduce perceived building size.”

<b>39%</b>		<b>9%</b>	<b>52%</b>
Disagree		Undecided	Agree

17. “A wall height limit should be considered as a tool to reduce perceived building size.”

<b>39%</b>		<b>4%</b>	<b>57%</b>
Disagree		Undecided	Agree

18. “Design guidelines should address appropriate parking locations.”

<b>30%</b>		<b>13%</b>	<b>57%</b>
Disagree		Undecided	Agree

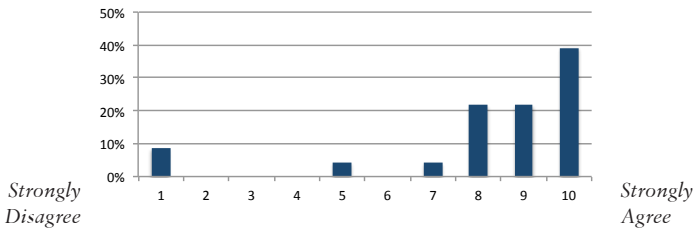
# Part 3: Freeland

## Building Scenario A

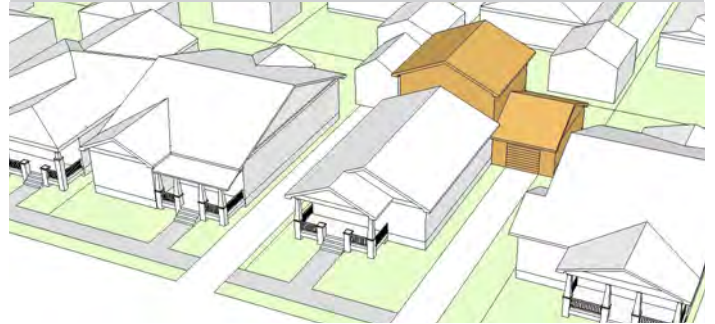


This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and side walls. It includes a one-and-a-half story garage located to the rear of the lot.

Lot coverage is compatible.

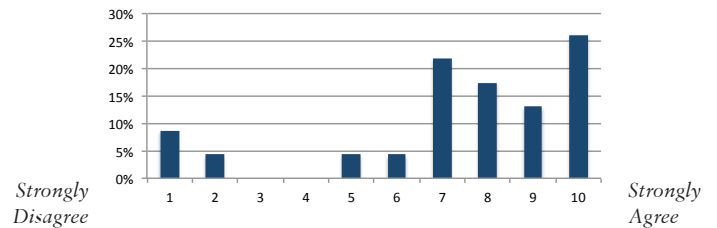


## Building Scenario B

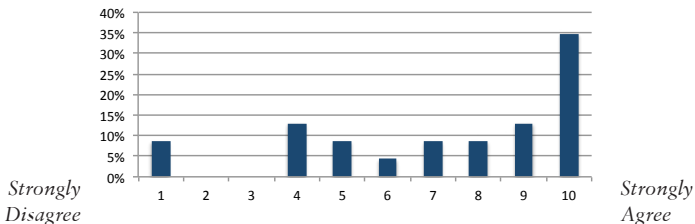


This scenario illustrates a historic one-story home with a two-story addition to the rear. It also includes an attached one-story garage that extends to the side.

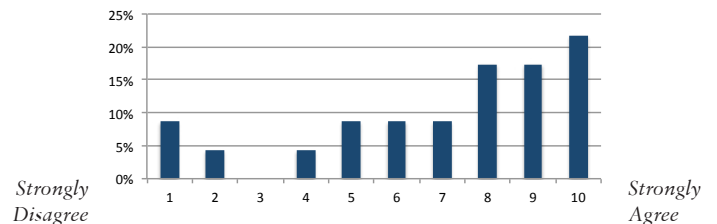
Lot coverage is compatible.



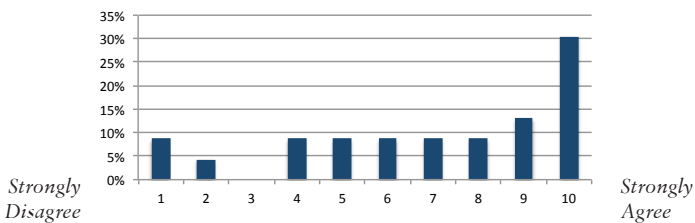
Size of addition is compatible.



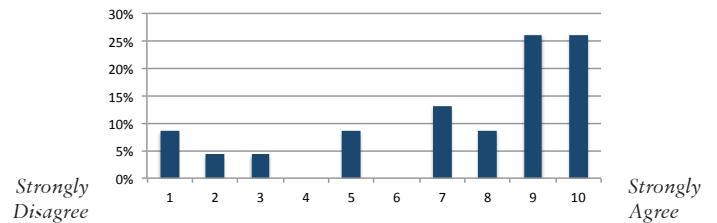
Size of addition is compatible.



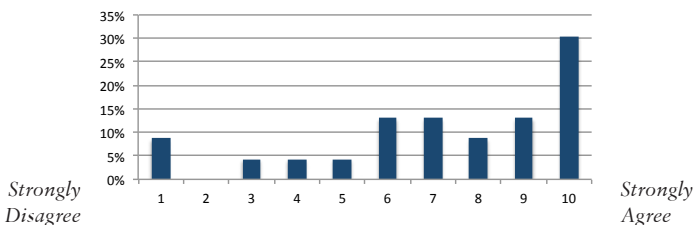
Height of addition is compatible.



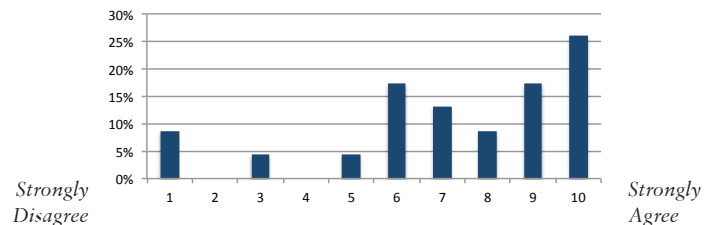
Height of addition is compatible.



Form (shape) of addition is compatible.



Form (shape) of addition is compatible.



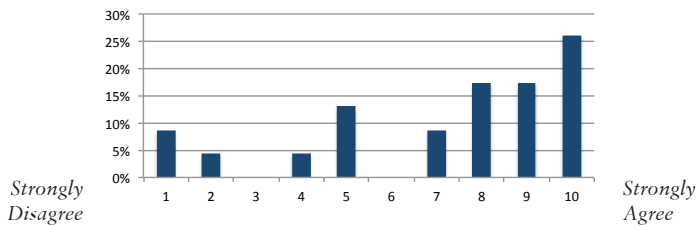
# Part 3: Freeland

## Building Scenario C



This scenario illustrates a historic one-story home with a two-story addition to the roof and rear. It also includes a one-and-a-half story garage located to the rear of the lot.

Lot coverage is compatible.

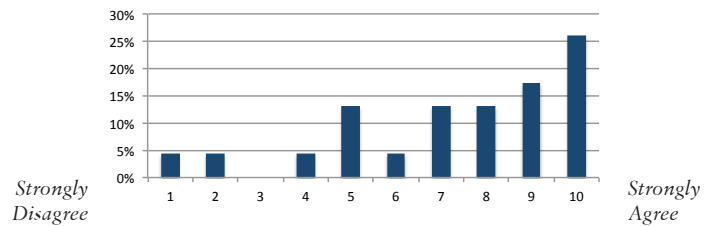


## Building Scenario D

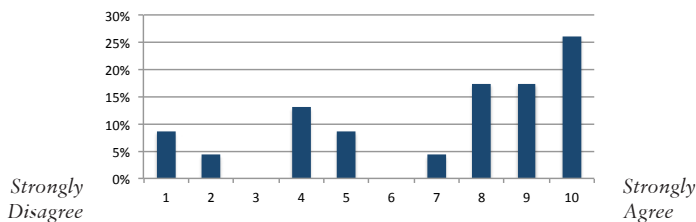


This scenario illustrates a new one-and-a-half story garage located to the rear of the lot. This design preserves the historic building on the site.

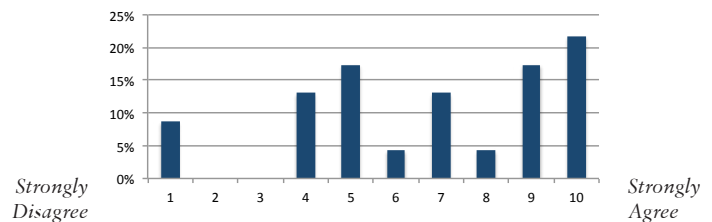
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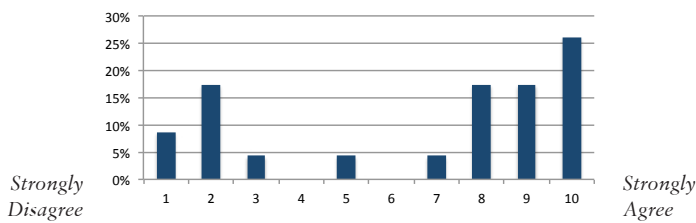
Size of addition is compatible.



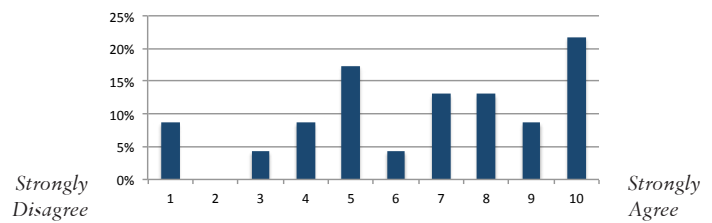
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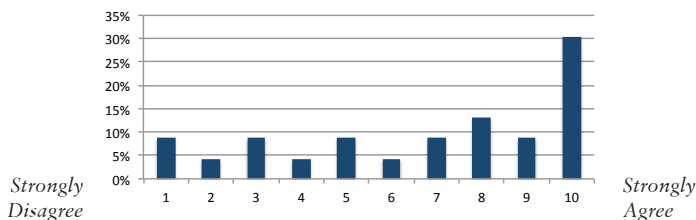
Height of addition is compatible.



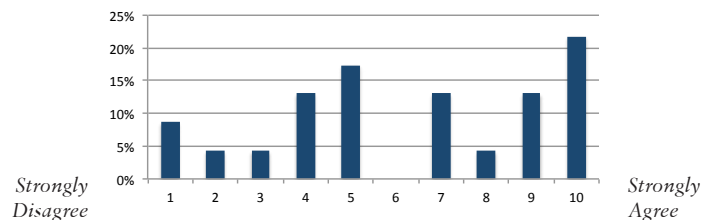
Height of addition is compatible.



Form (shape) of addition is compatible.



Form (shape) of addition is compatible.



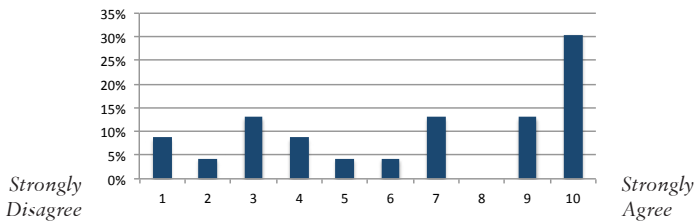
## Part 3: Freeland

### Building Scenario E



This scenario illustrates a new two-story home with a one-story portion in front. It also includes a one-and-a-half story garage located to the rear of the lot.

Lot coverage is compatible.

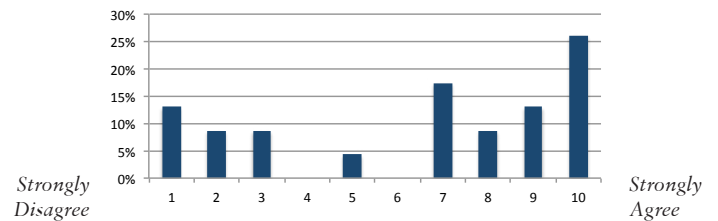


### Building Scenario F

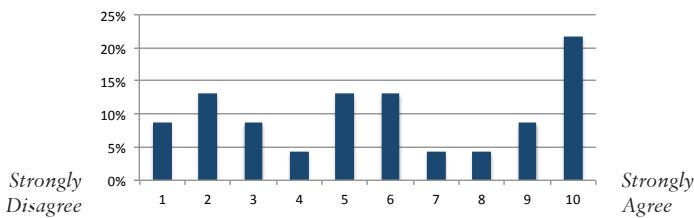


This scenario illustrates a new one-story home with variations in side walls, and an attached garage in the rear that extends to the side.

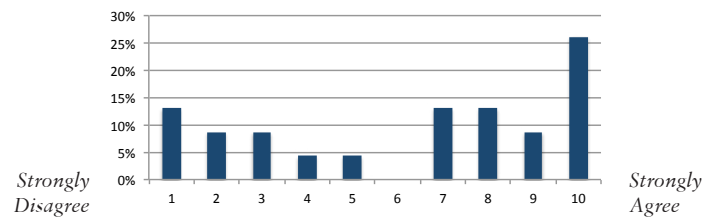
Lot coverage is compatible.



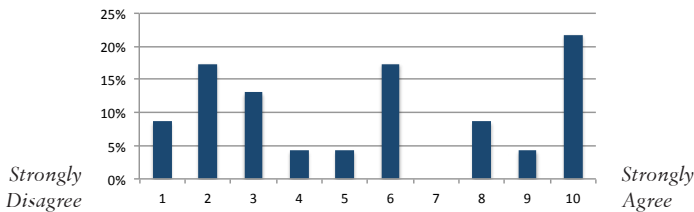
Overall size is compatible.



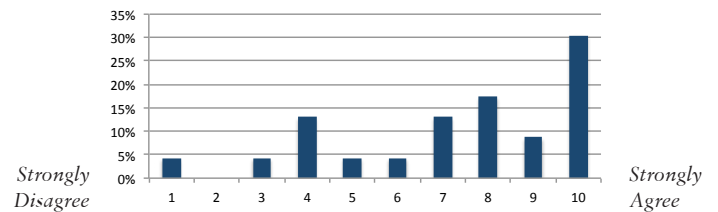
Overall size is compatible.



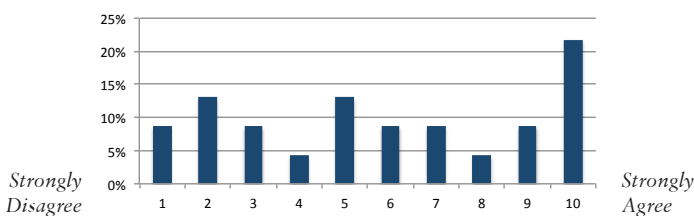
Building height is compatible.



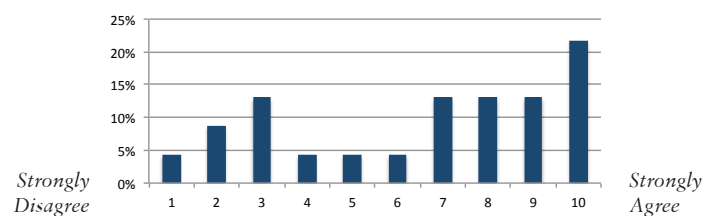
Building height is compatible.



Building form (shape) is compatible.



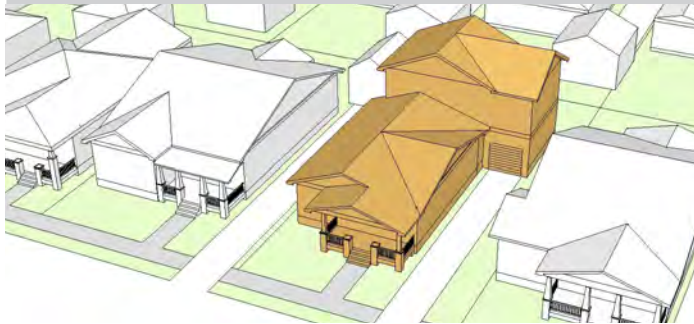
Building form (shape) is compatible.





# Part 3: Freeland

## Building Scenario G



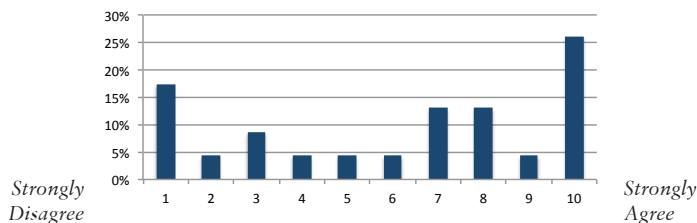
This scenario illustrates a new home with a one-story portion in the front, and a two-story portion in the rear that extends to the side.

## Building Scenario H

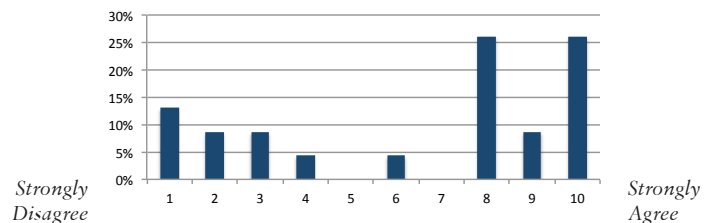


This scenario illustrates a new one-and-a-half story home with dormers in front, and a one-story portion in the rear. It also includes a detached garage located to the rear of the lot.

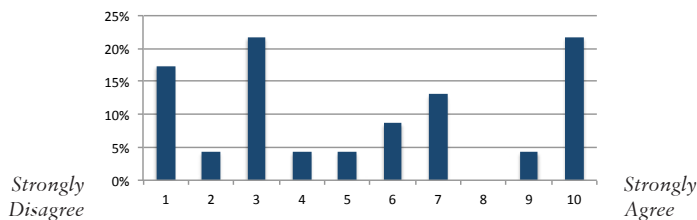
Lot coverage is compatible.



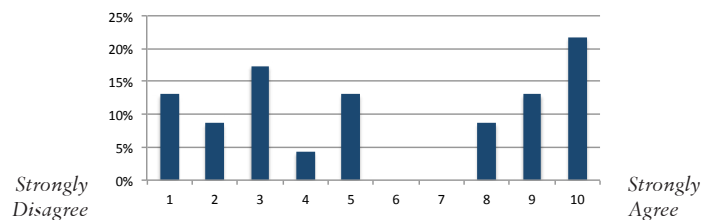
Lot coverage is compatible.



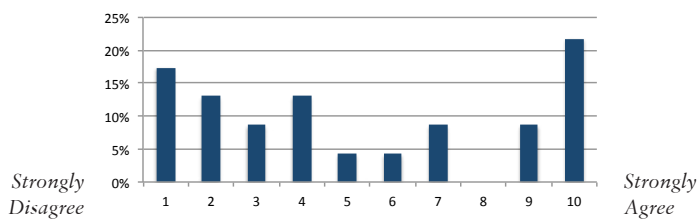
Overall size is compatible.



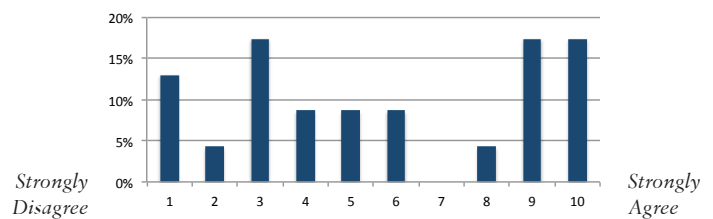
Overall size is compatible.



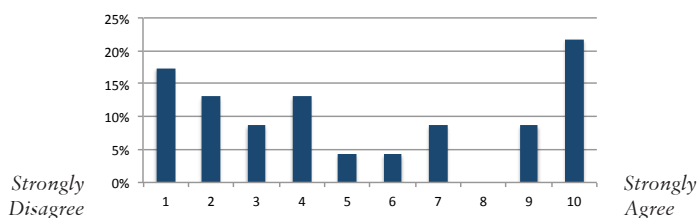
Building height is compatible.



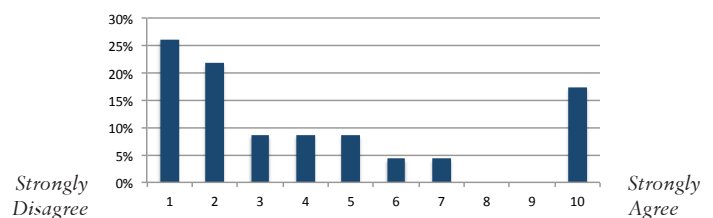
Building height is compatible.



Building form (shape) is compatible.



Building form (shape) is compatible.



## Part 1: Houston Heights East

1. “Some recent construction in my historic district is too large.”

<b>27%</b>		<b>9%</b>	<b>64%</b>
Disagree		Undecided	Agree

2. “The loss of green space when a larger building is constructed is a key issue.”

<b>22%</b>		<b>10%</b>	<b>68%</b>
Disagree		Undecided	Agree

3. “The loss of mature vegetation when new construction occurs is a key issue.”

<b>21%</b>		<b>10%</b>	<b>69%</b>
Disagree		Undecided	Agree

4. “Most recent new construction has been compatible.”

<b>36%</b>		<b>20%</b>	<b>44%</b>
Disagree		Undecided	Agree

5. “A large house next door diminishes privacy in neighbors’ back yards.”

<b>23%</b>		<b>10%</b>	<b>67%</b>
Disagree		Undecided	Agree

6. “Regulations that protect historic district character will enhance property values.”

<b>27%</b>		<b>12%</b>	<b>61%</b>
Disagree		Undecided	Agree

7. “A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns.”

<b>16%</b>		<b>14%</b>	<b>70%</b>
Disagree		Undecided	Agree

8. “Most recent renovation projects have been appropriate.”

<b>28%</b>		<b>23%</b>	<b>49%</b>
Disagree		Undecided	Agree

9. “An addition to a historic building should be visually subordinate to the building.”

<b>28%</b>		<b>16%</b>	<b>56%</b>
Disagree		Undecided	Agree

## Part 2: Houston Heights East

12. “Guidelines which relate the size of a building to the size of its lot should be considered.”

<b>21%</b>		<b>10%</b>	<b>69%</b>
Disagree		Undecided	Agree

13. “A limit on the percentage of lot coverage should be considered to help maintain open space.”

<b>29%</b>		<b>10%</b>	<b>61%</b>
Disagree		Undecided	Agree

14. “Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines.”

<b>26%</b>		<b>13%</b>	<b>61%</b>
Disagree		Undecided	Agree

15. “A maximum building envelope should be considered as a tool to reduce perceived building size.”

<b>27%</b>		<b>11%</b>	<b>62%</b>
Disagree		Undecided	Agree

16. “A side wall offset should be considered as a tool to reduce perceived building size.”

<b>27%</b>		<b>14%</b>	<b>59%</b>
Disagree		Undecided	Agree

17. “A wall height limit should be considered as a tool to reduce perceived building size.”

<b>33%</b>		<b>10%</b>	<b>57%</b>
Disagree		Undecided	Agree

18. “Design guidelines should address appropriate parking locations.”

<b>22%</b>		<b>12%</b>	<b>66%</b>
Disagree		Undecided	Agree

# Part 3: Houston Heights East

## Building Scenario A



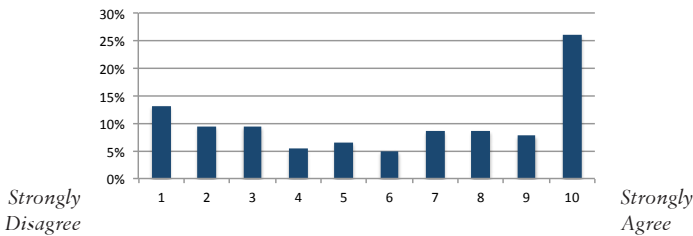
This scenario illustrates a historic one-story home with a two-story addition to the rear. It also includes an attached one-story garage that extends to the side, accessed off the alley.

## Building Scenario B

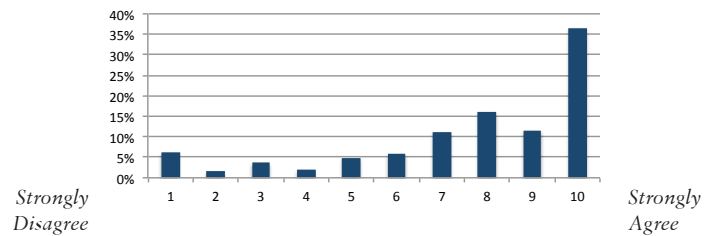


This scenario illustrates a historic one-story home with a two-story addition to the roof and rear.

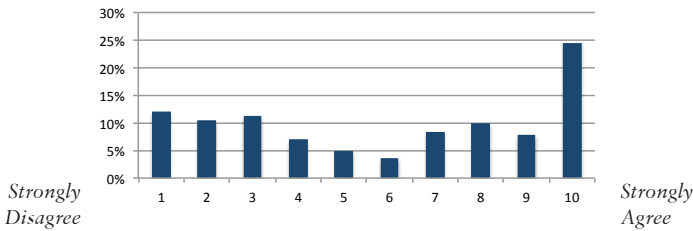
Lot coverage is compatible.



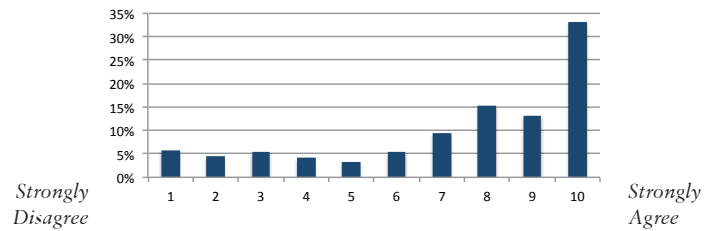
Lot coverage is compatible.



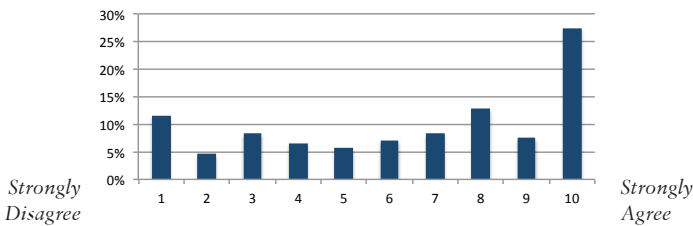
Size of addition is compatible.



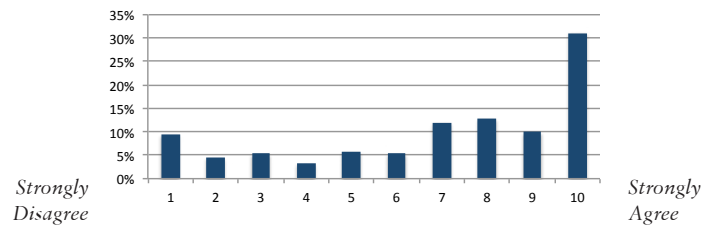
Size of addition is compatible.



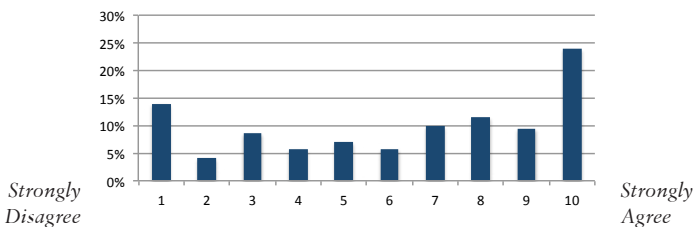
Height of addition is compatible.



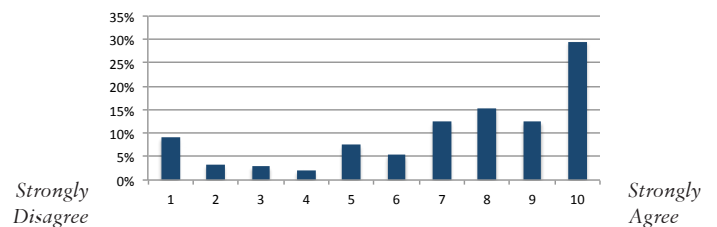
Height of addition is compatible.



Form (shape) of addition is compatible.



Form (shape) of addition is compatible.





# Part 3: Houston Heights East

## Building Scenario C



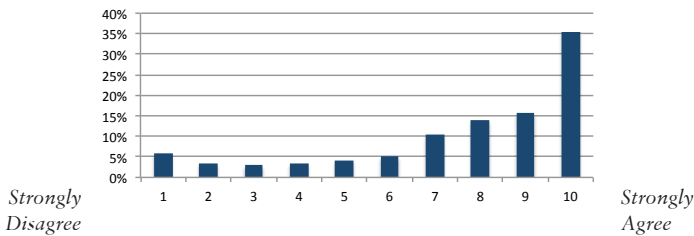
This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and side walls. It includes a one-and-a-half story garage located to the rear of the lot, accessed off the alley.

## Building Scenario D

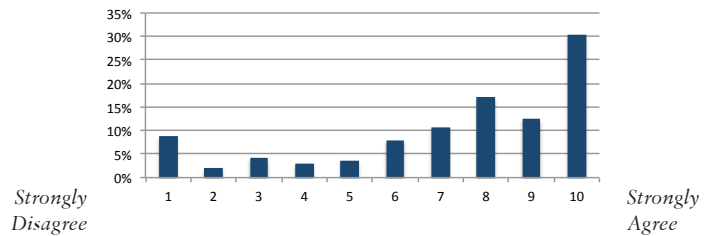


This scenario illustrates a new two-story home with a one-story portion in front. It also includes a one-and-a-half story garage located to the rear of the lot.

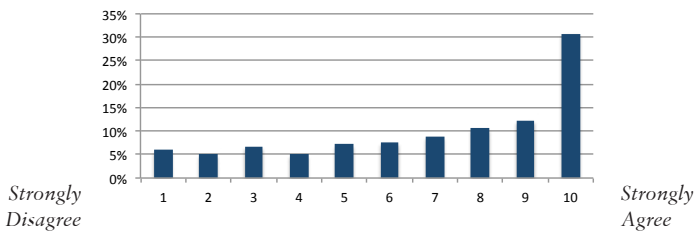
Lot coverage is compatible.



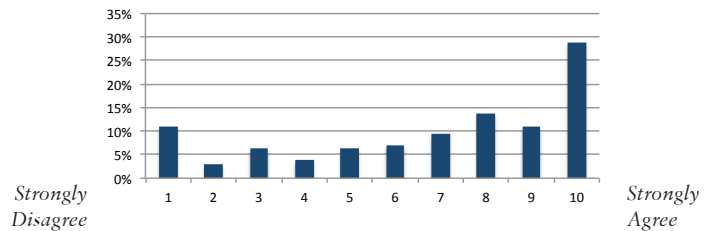
Lot coverage is compatible.



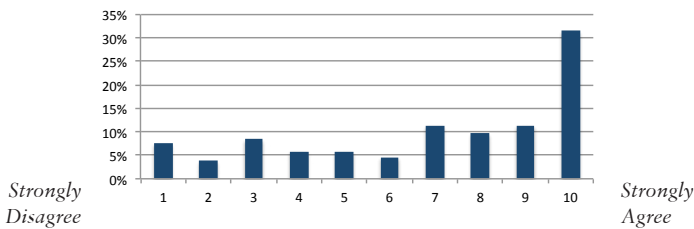
Size of addition is compatible.



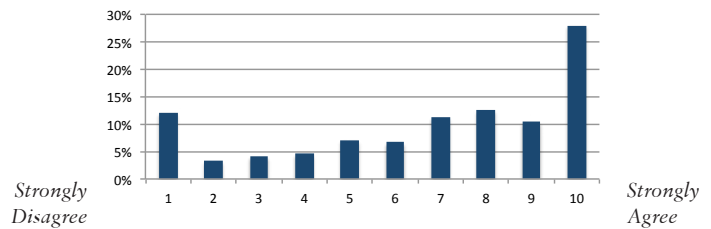
Overall size is compatible.



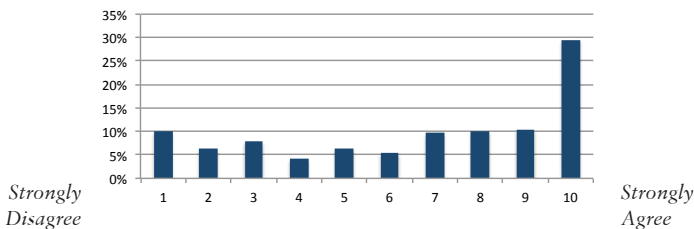
Height of addition is compatible.



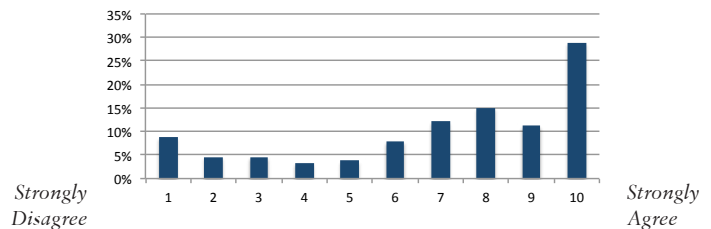
Building height is compatible.



Form (shape) of addition is compatible.

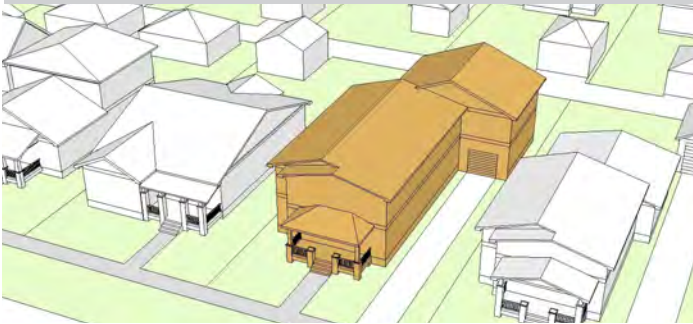


Building form (shape) is compatible.



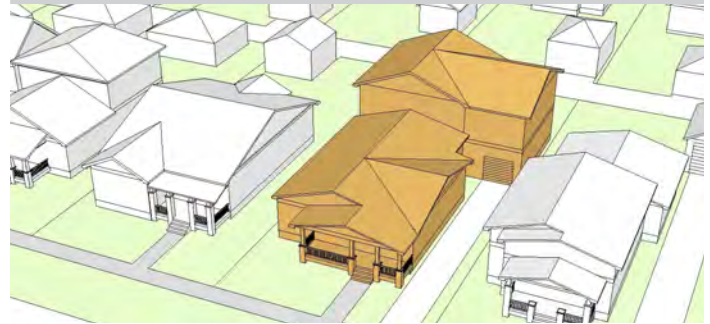
# Part 3: Houston Heights East

## Building Scenario E



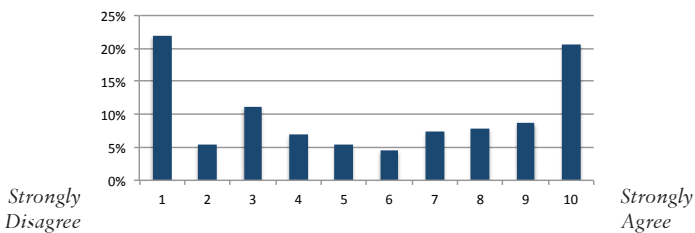
This scenario illustrates a new two-story home with an offset portion in the rear.

## Building Scenario F

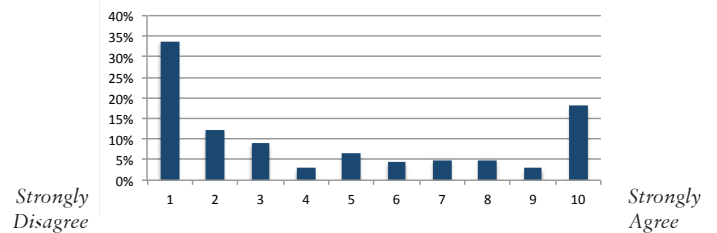


This scenario illustrates a new home with a one-story portion in the front and a two-story portion in the rear that extends to the side.

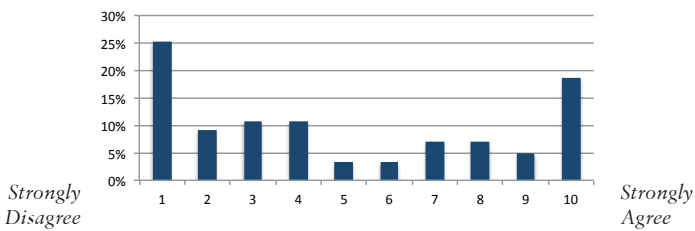
Lot coverage is compatible.



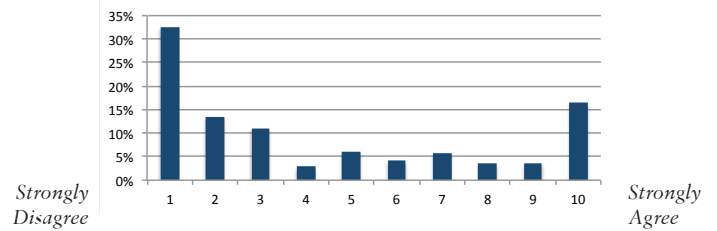
Lot coverage is compatible.



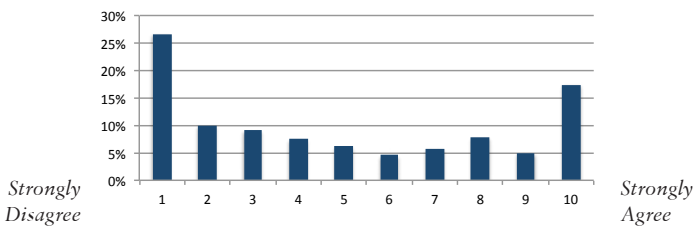
Overall size is compatible.



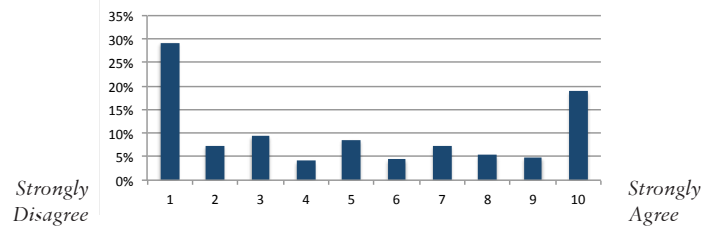
Overall size is compatible.



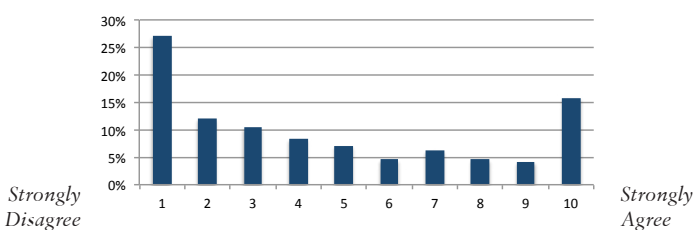
Building height is compatible.



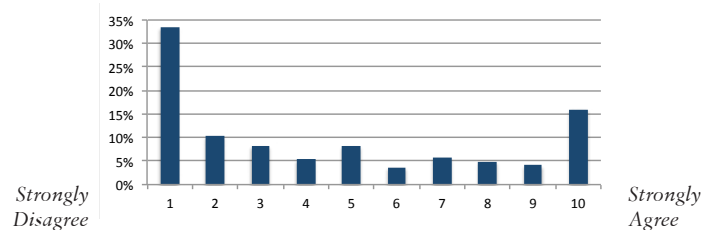
Building height is compatible.



Building form (shape) is compatible.

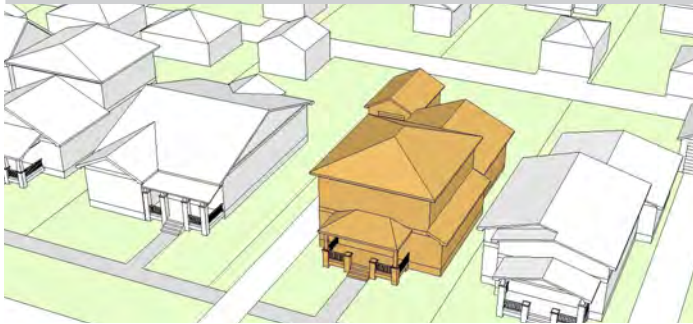


Building form (shape) is compatible.



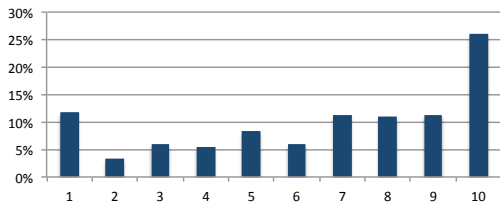
# Part 3: Houston Heights East

## Building Scenario G



This scenario illustrates a new two-story home with a one-story portion in front and along the side. It also has a detached one-story garage in the rear.

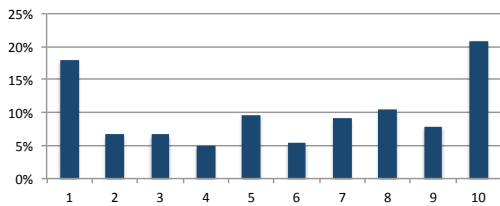
Lot coverage is compatible.



Strongly Disagree

Strongly Agree

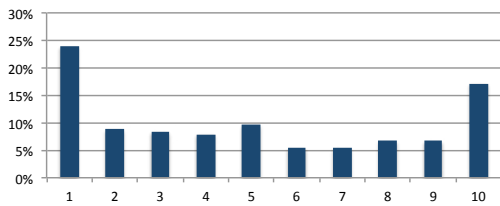
Overall size is compatible.



Strongly Disagree

Strongly Agree

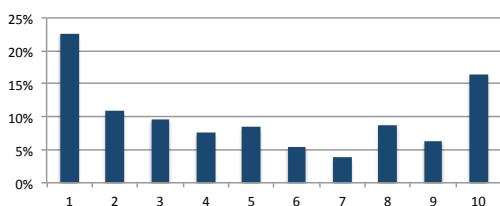
Building height is compatible.



Strongly Disagree

Strongly Agree

Building form (shape) is compatible.



Strongly Disagree

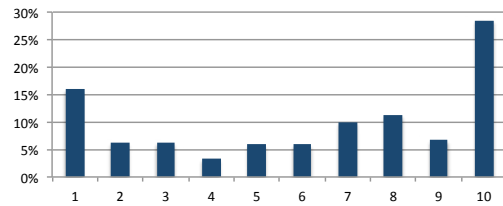
Strongly Agree

## Building Scenario H



This scenario illustrates a new two-story building with a one-story front portion in the rear and a one-story front porch element.

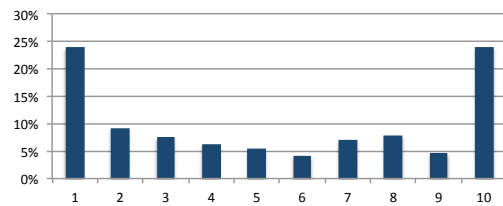
Lot coverage is compatible.



Strongly Disagree

Strongly Agree

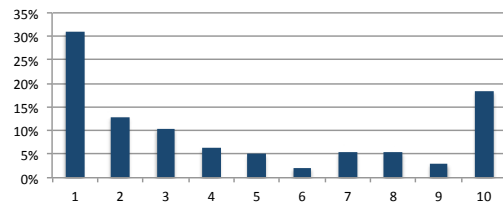
Overall size is compatible.



Strongly Disagree

Strongly Agree

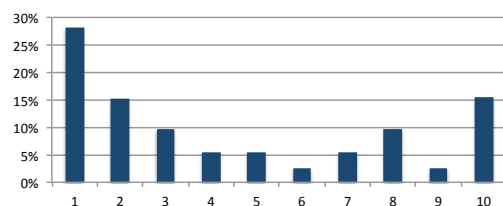
Building height is compatible.



Strongly Disagree

Strongly Agree

Building form (shape) is compatible.



Strongly Disagree

Strongly Agree

## Part 1: Houston Heights South

1. “Some recent construction in my historic district is too large.”

<b>42%</b>		<b>14%</b>	<b>44%</b>
Disagree		Undecided	Agree

2. “The loss of green space when a larger building is constructed is a key issue.”

<b>38%</b>		<b>11%</b>	<b>51%</b>
Disagree		Undecided	Agree

3. “The loss of mature vegetation when new construction occurs is a key issue.”

<b>35%</b>		<b>14%</b>	<b>51%</b>
Disagree		Undecided	Agree

4. “Most recent new construction has been compatible.”

<b>23%</b>		<b>23%</b>	<b>54%</b>
Disagree		Undecided	Agree

5. “A large house next door diminishes privacy in neighbors’ back yards.”

<b>31%</b>		<b>19%</b>	<b>50%</b>
Disagree		Undecided	Agree

6. “Regulations that protect historic district character will enhance property values.”

<b>37%</b>		<b>14%</b>	<b>49%</b>
Disagree		Undecided	Agree

7. “A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns.”

<b>9%</b>		<b>8%</b>	<b>83%</b>
Disagree		Undecided	Agree

8. “Most recent renovation projects have been appropriate.”

<b>18%</b>		<b>20%</b>	<b>62%</b>
Disagree		Undecided	Agree

9. “An addition to a historic building should be visually subordinate to the building.”

<b>37%</b>		<b>20%</b>	<b>43%</b>
Disagree		Undecided	Agree

## Part 2: Houston Heights South

12. “Guidelines which relate the size of a building to the size of its lot should be considered.”

<b>34%</b>		<b>9%</b>	<b>57%</b>
Disagree		Undecided	Agree

13. “A limit on the percentage of lot coverage should be considered to help maintain open space.”

<b>45%</b>		<b>9%</b>	<b>46%</b>
Disagree		Undecided	Agree

14. “Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines.”

<b>32%</b>		<b>19%</b>	<b>48%</b>
Disagree		Undecided	Agree

15. “A maximum building envelope should be considered as a tool to reduce perceived building size.”

<b>38%</b>		<b>13%</b>	<b>49%</b>
Disagree		Undecided	Agree

16. “A side wall offset should be considered as a tool to reduce perceived building size.”

<b>36%</b>		<b>16%</b>	<b>48%</b>
Disagree		Undecided	Agree

17. “A wall height limit should be considered as a tool to reduce perceived building size.”

<b>44%</b>		<b>15%</b>	<b>41%</b>
Disagree		Undecided	Agree

18. “Design guidelines should address appropriate parking locations.”

<b>34%</b>		<b>15%</b>	<b>51%</b>
Disagree		Undecided	Agree

# Part 3: Houston Heights South

## Building Scenario A



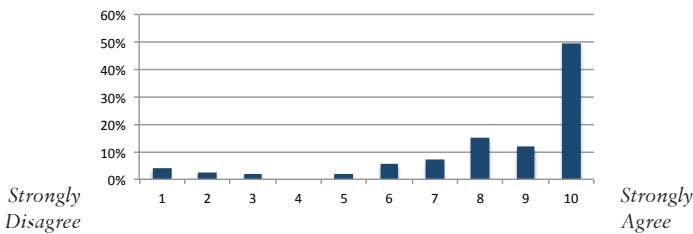
This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and side walls. It includes a one-and-a-half story garage located to the rear of the lot, accessed off the alley.

## Building Scenario B

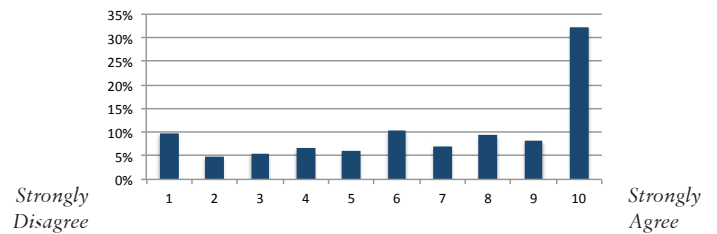


This scenario illustrates a historic one-story home with a two-story addition to the rear.

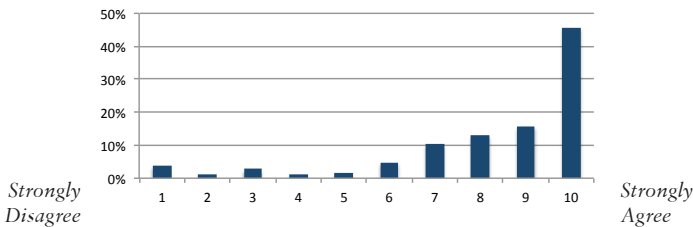
Lot coverage is compatible.



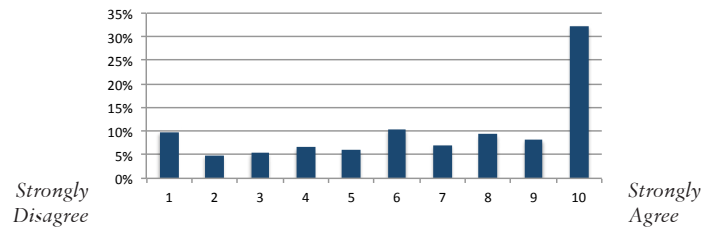
Lot coverage is compatible.



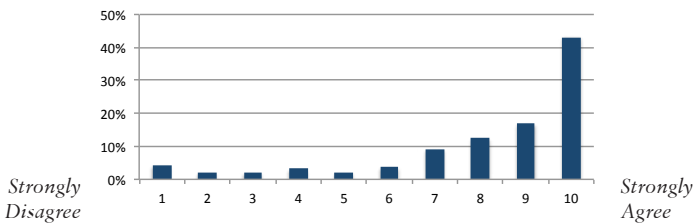
Size of addition is compatible.



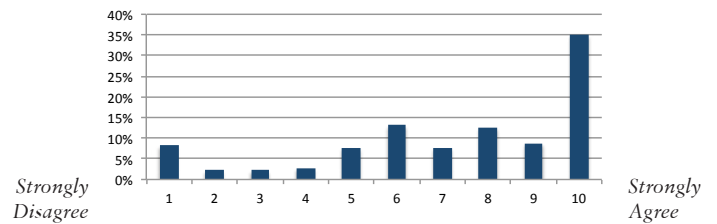
Size of addition is compatible.



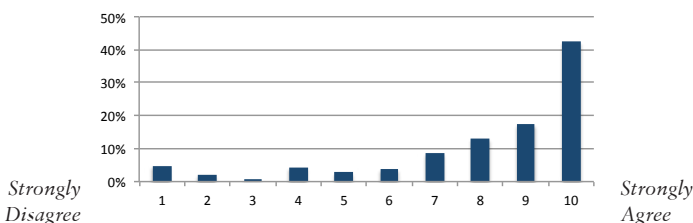
Height of addition is compatible.



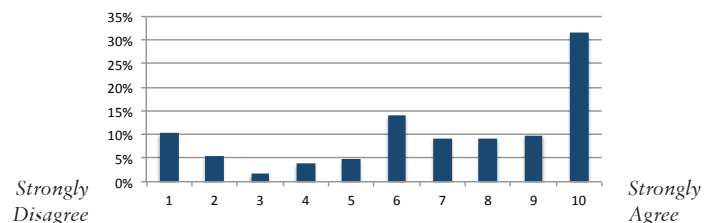
Height of addition is compatible.



Form (shape) of addition is compatible.



Form (shape) of addition is compatible.





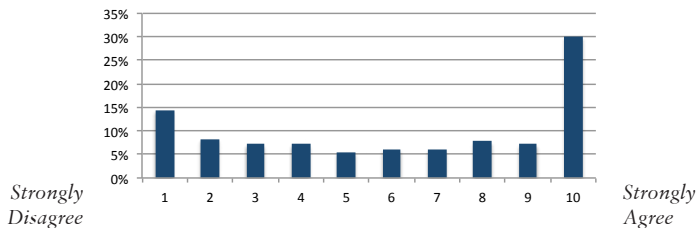
# Part 3: Houston Heights South

## Building Scenario C



This scenario illustrates a historic one-story home with a two-story addition to the rear. It also includes an attached one-story garage that extends to the side, accessed off the alley.

Lot coverage is compatible.

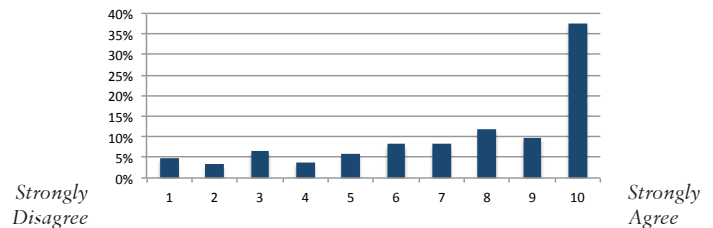


## Building Scenario D

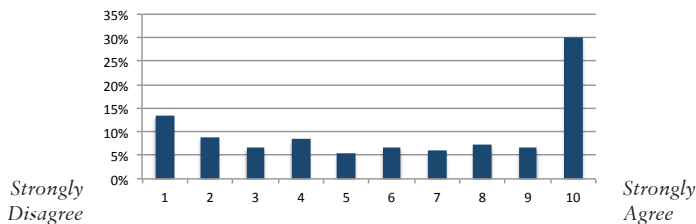


This scenario illustrates a historic one-story home with a two-story addition to the roof and rear. It also includes a one-and-a-half story garage located to the rear of the lot, accessed off the alley.

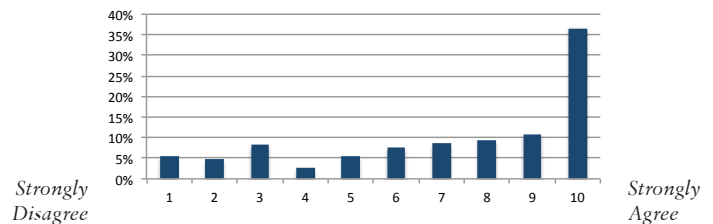
Lot coverage is compatible.



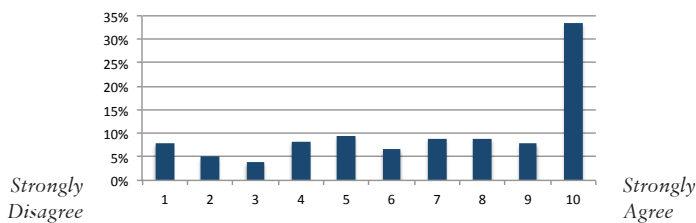
Size of addition is compatible.



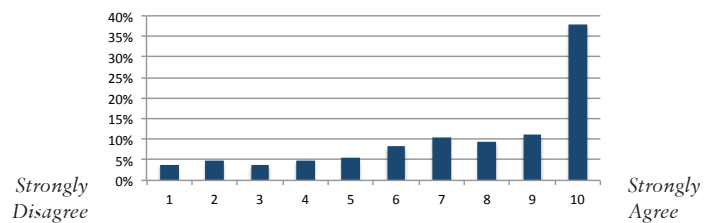
Size of addition is compatible.



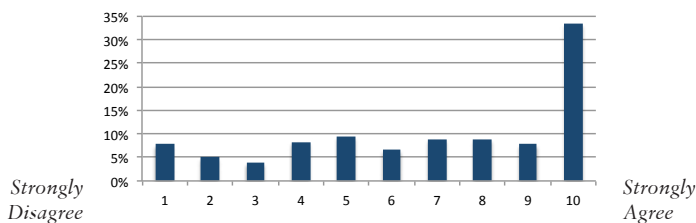
Height of addition is compatible.



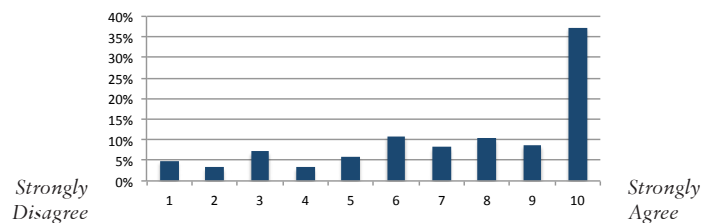
Height of addition is compatible.



Form (shape) of addition is compatible.

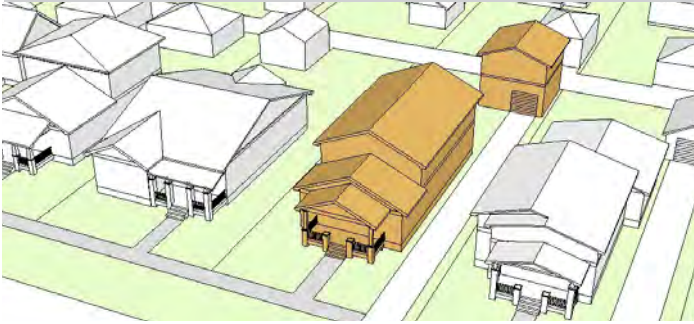


Form (shape) of addition is compatible.



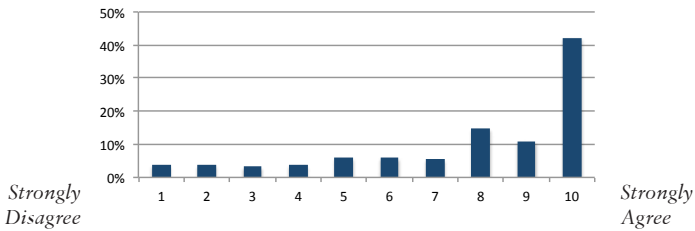
# Part 3: Houston Heights South

## Building Scenario E



This scenario illustrates a new two-story home with a one-story portion in front. It also includes a one-and-a-half story garage located to the rear of the lot.

Lot coverage is compatible.

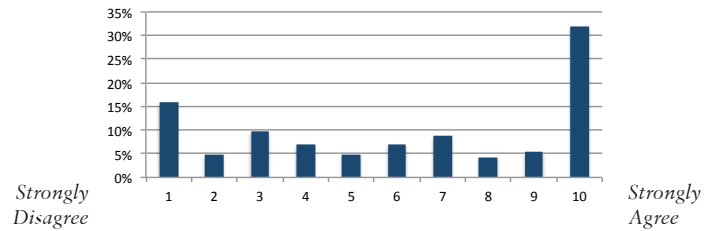


## Building Scenario F

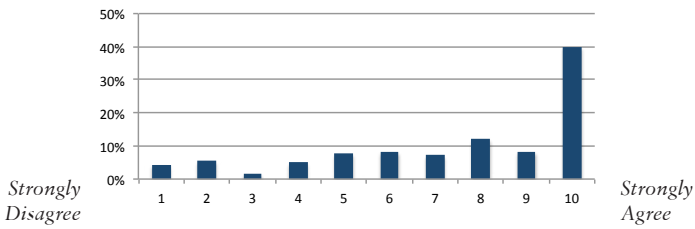


This scenario illustrates a new two-story home with an offset portion in the rear.

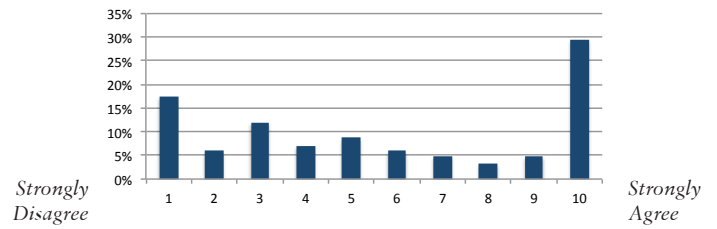
Lot coverage is compatible.



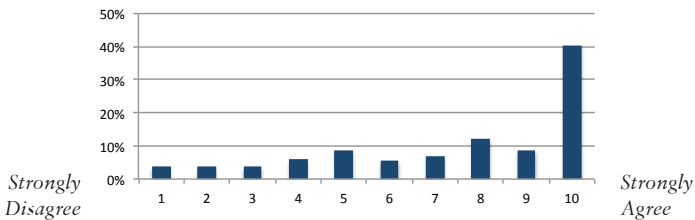
Overall size is compatible.



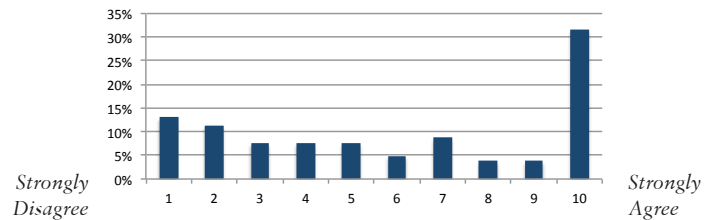
Overall size is compatible.



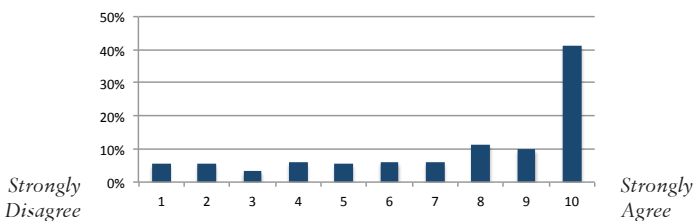
Building height is compatible.



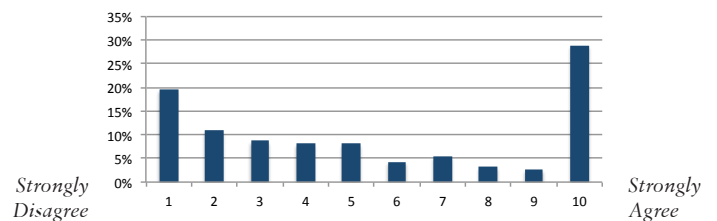
Building height is compatible.



Building form (shape) is compatible.



Building form (shape) is compatible.



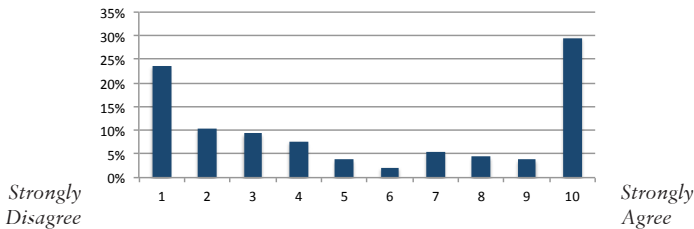
# Part 3: Houston Heights South

## Building Scenario G

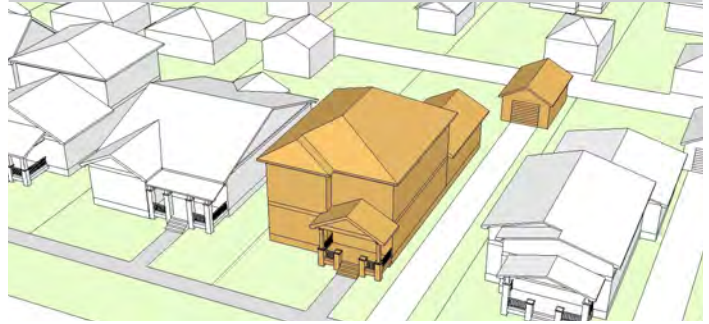


This scenario illustrates a new home with a one-story portion in the front and a two-story portion in the rear that extends to the side.

Lot coverage is compatible.

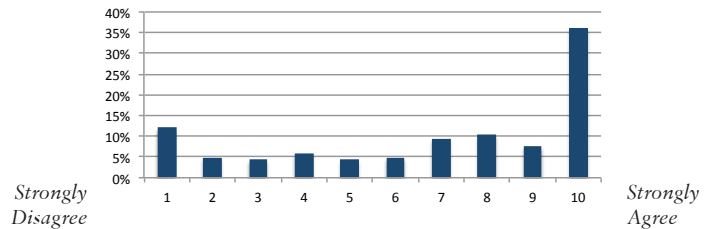


## Building Scenario H

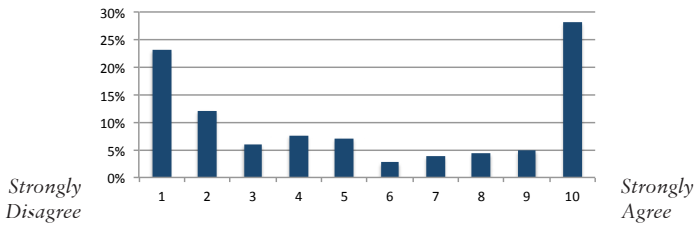


This scenario illustrates a new two-story building with a one-story front portion in the rear and a one-story front porch element.

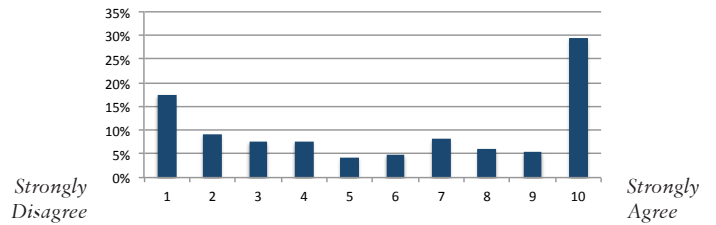
Lot coverage is compatible.



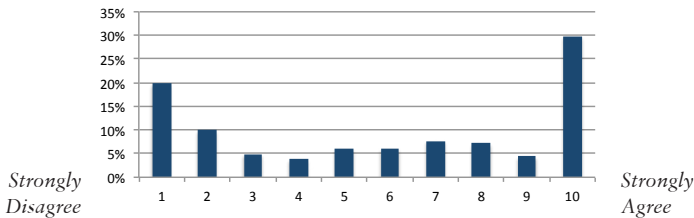
Overall size is compatible.



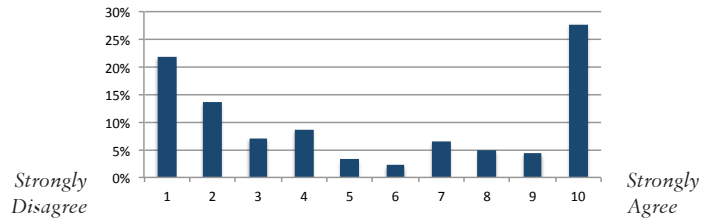
Overall size is compatible.



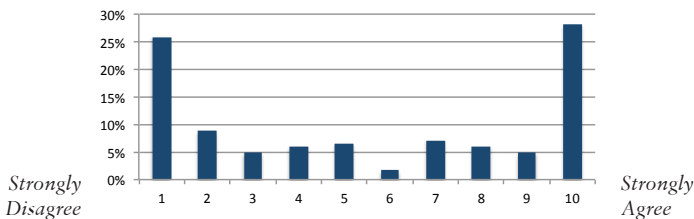
Building height is compatible.



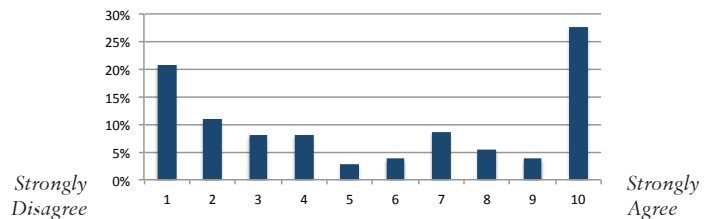
Building height is compatible.



Building form (shape) is compatible.



Building form (shape) is compatible.



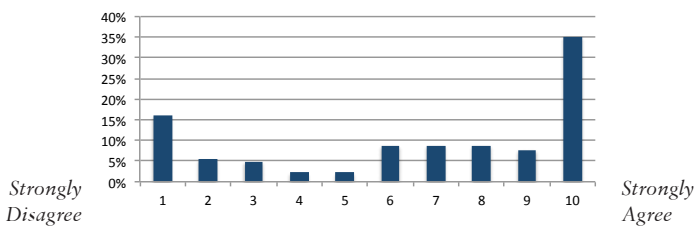
# Part 3: Houston Heights South

## Building Scenario I

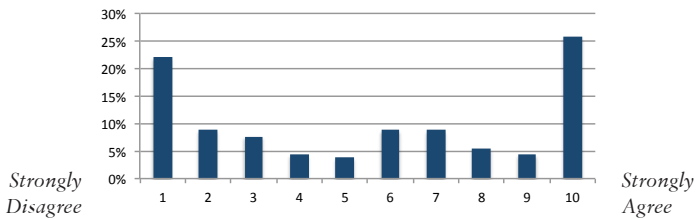


This scenario illustrates a new two-story building with a two-story front porch element.

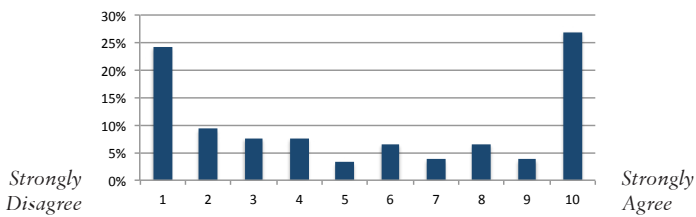
Lot coverage is compatible.



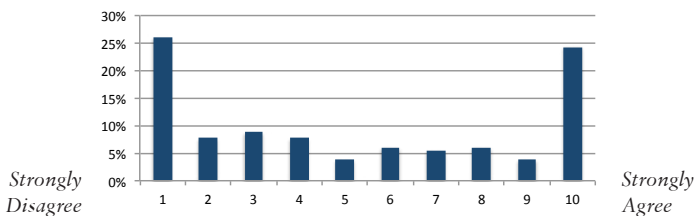
Overall size is compatible.



Building height is compatible.



Building form (shape) is compatible.



## Part 1: Houston Heights West

1. “Some recent construction in my historic district is too large.”

<b>20%</b>		<b>10%</b>	<b>70%</b>
Disagree		Undecided	Agree

2. “The loss of green space when a larger building is constructed is a key issue.”

<b>15%</b>		<b>9%</b>	<b>76%</b>
Disagree		Undecided	Agree

3. “The loss of mature vegetation when new construction occurs is a key issue.”

<b>14%</b>		<b>12%</b>	<b>74%</b>
Disagree		Undecided	Agree

4. “Most recent new construction has been compatible.”

<b>38%</b>		<b>28%</b>	<b>34%</b>
Disagree		Undecided	Agree

5. “A large house next door diminishes privacy in neighbors’ back yards.”

<b>15%</b>		<b>12%</b>	<b>73%</b>
Disagree		Undecided	Agree

6. “Regulations that protect historic district character will enhance property values.”

<b>16%</b>		<b>22%</b>	<b>62%</b>
Disagree		Undecided	Agree

7. “A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns.”

<b>14%</b>		<b>16%</b>	<b>70%</b>
Disagree		Undecided	Agree

8. “Most recent renovation projects have been appropriate.”

<b>25%</b>		<b>19%</b>	<b>56%</b>
Disagree		Undecided	Agree

9. “An addition to a historic building should be visually subordinate to the building.”

<b>25%</b>		<b>15%</b>	<b>60%</b>
Disagree		Undecided	Agree

## Part 2: Houston Heights West

12. “Guidelines which relate the size of a building to the size of its lot should be considered.”

<b>11%</b>		<b>7%</b>	<b>82%</b>
Disagree		Undecided	Agree

13. “A limit on the percentage of lot coverage should be considered to help maintain open space.”

<b>19%</b>		<b>8%</b>	<b>73%</b>
Disagree		Undecided	Agree

14. “Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines.”

<b>23%</b>		<b>19%</b>	<b>58%</b>
Disagree		Undecided	Agree

15. “A maximum building envelope should be considered as a tool to reduce perceived building size.”

<b>19%</b>		<b>17%</b>	<b>64%</b>
Disagree		Undecided	Agree

16. “A side wall offset should be considered as a tool to reduce perceived building size.”

<b>23%</b>		<b>22%</b>	<b>55%</b>
Disagree		Undecided	Agree

17. “A wall height limit should be considered as a tool to reduce perceived building size.”

<b>24%</b>		<b>14%</b>	<b>62%</b>
Disagree		Undecided	Agree

18. “Design guidelines should address appropriate parking locations.”

<b>26%</b>		<b>16%</b>	<b>58%</b>
Disagree		Undecided	Agree



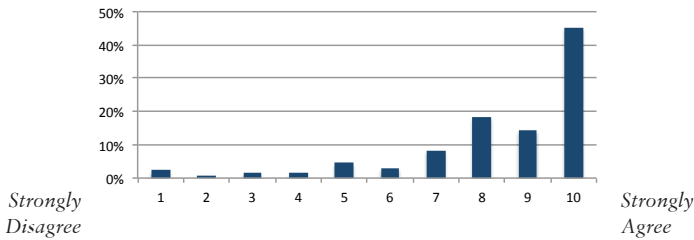
# Part 3: Houston Heights West

## Building Scenario A



This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and side walls. It includes a one-and-a-half story garage located to the rear of the lot, accessed off the alley.

Lot coverage is compatible.

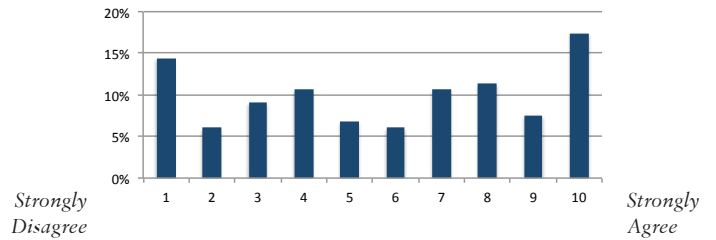


## Building Scenario B

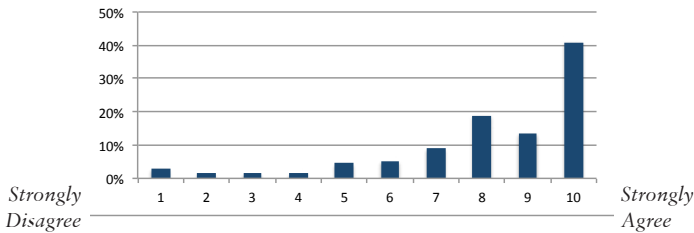


This scenario illustrates a historic one-story home with a two-story addition to the rear. It also includes an attached one-story garage that extends to the side, accessed off the alley.

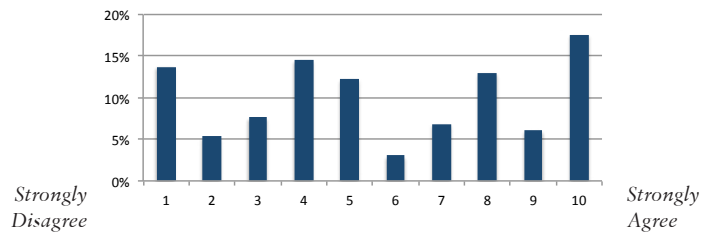
Lot coverage is compatible.



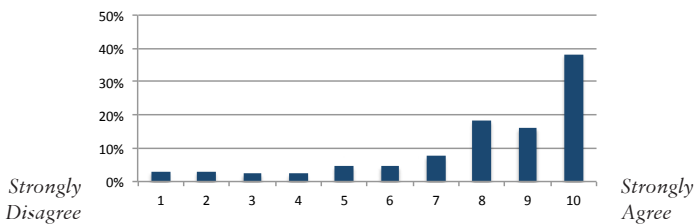
Size of addition is compatible.



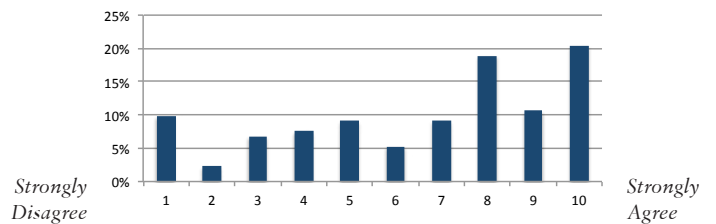
Size of addition is compatible.



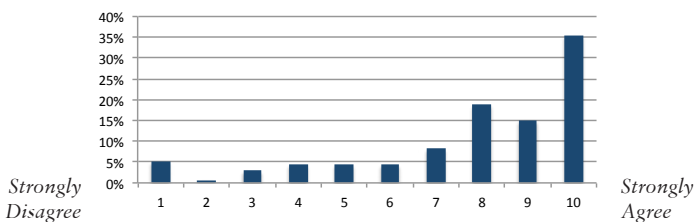
Height of addition is compatible.



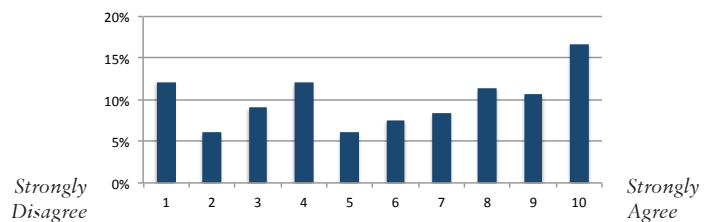
Height of addition is compatible.



Form (shape) of addition is compatible.



Form (shape) of addition is compatible.



# Part 3: Houston Heights West

## Building Scenario C



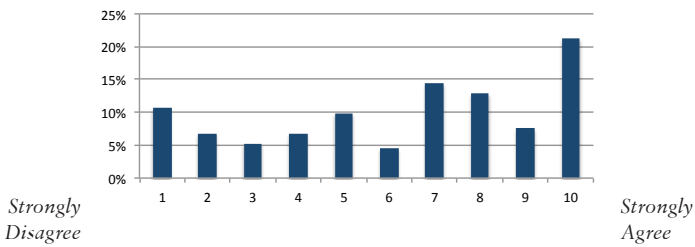
This scenario illustrates a historic one-story home with a two-story addition to the rear.

## Building Scenario D

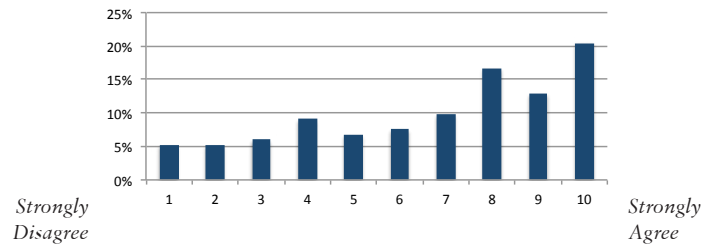


This scenario illustrates a historic one-story home with a two-story addition to the roof and rear. It also includes a one-and-a-half story garage located to the rear of the lot, accessed from the alley.

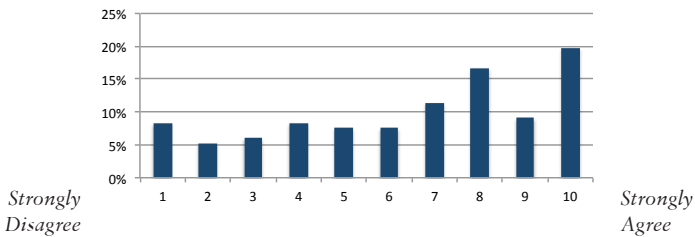
Lot coverage is compatible.



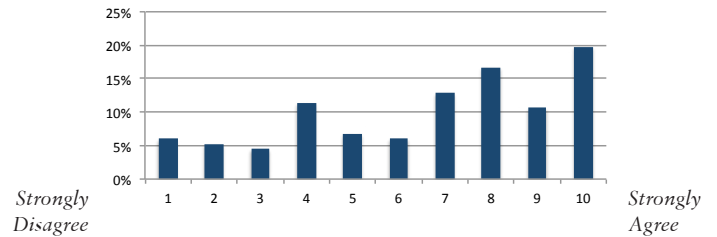
Lot coverage is compatible.



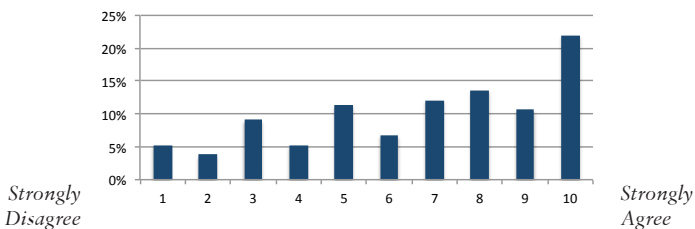
Size of addition is compatible.



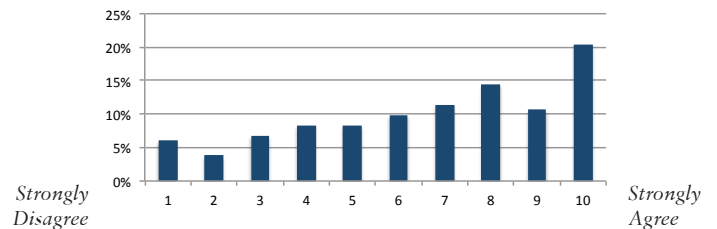
Size of addition is compatible.



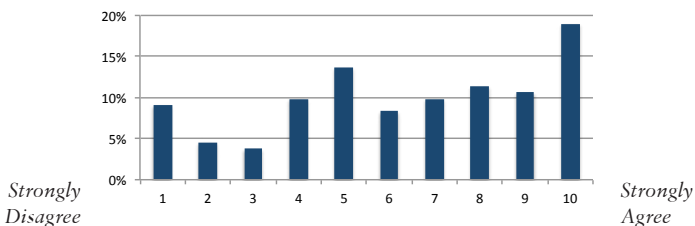
Height of addition is compatible.



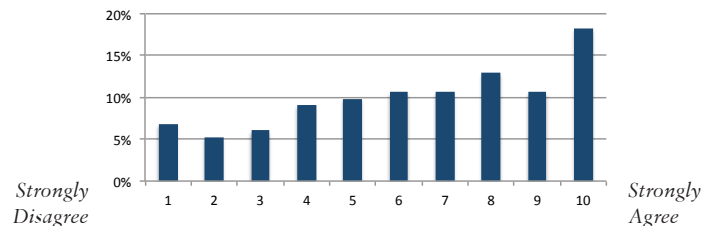
Height of addition is compatible.



Form (shape) of addition is compatible.



Form (shape) of addition is compatible.



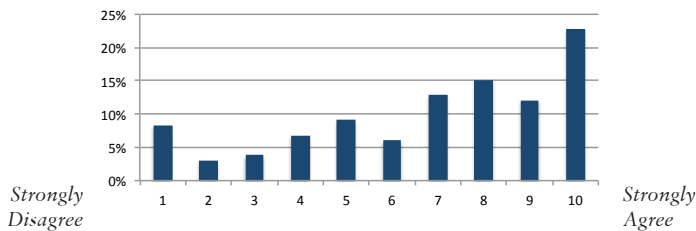
# Part 3: Houston Heights West

## Building Scenario E

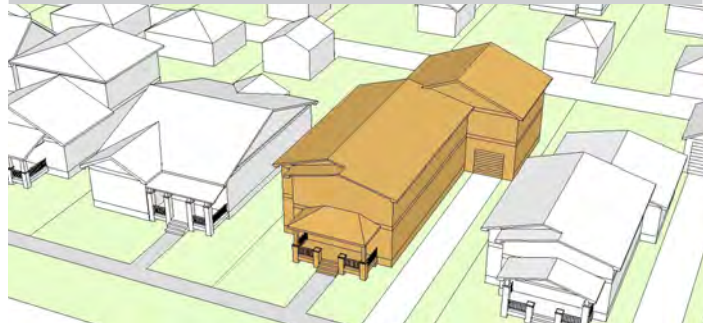


This scenario illustrates a new two-story home with a one-story portion in front. It also includes a one-and-a-half story garage located to the rear of the lot.

Lot coverage is compatible.

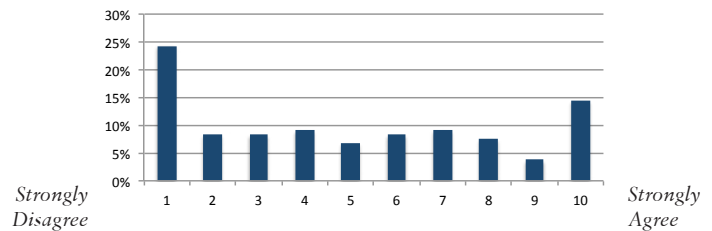


## Building Scenario F

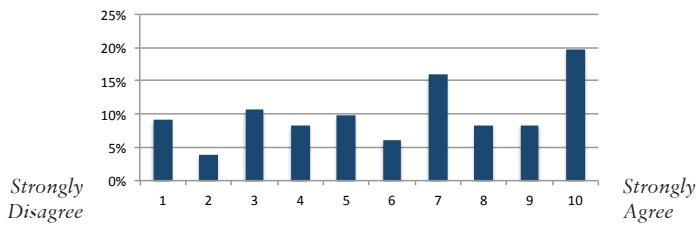


This scenario illustrates a new two-story home with an offset portion in the rear.

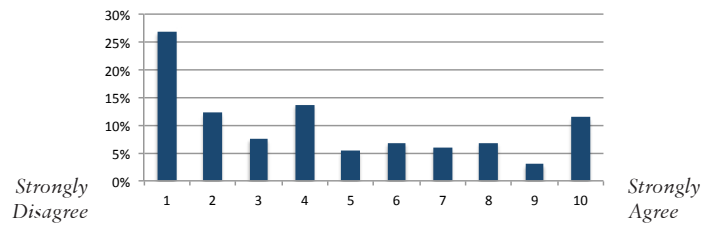
Lot coverage is compatible.



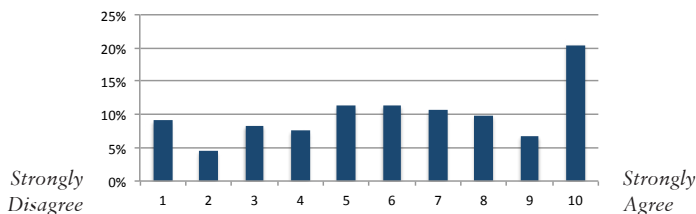
Overall size is compatible.



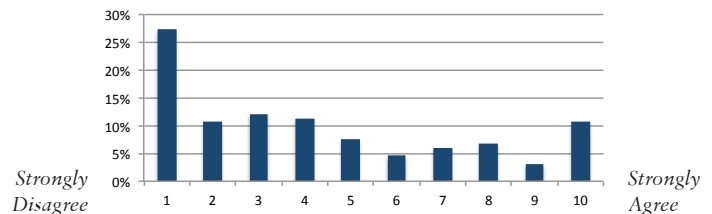
Overall size is compatible.



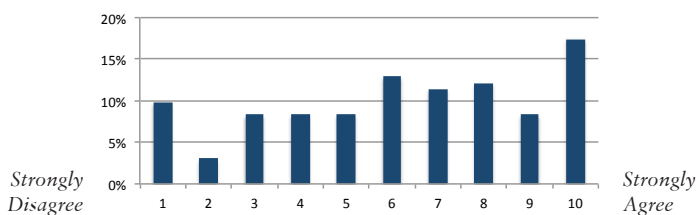
Building height is compatible.



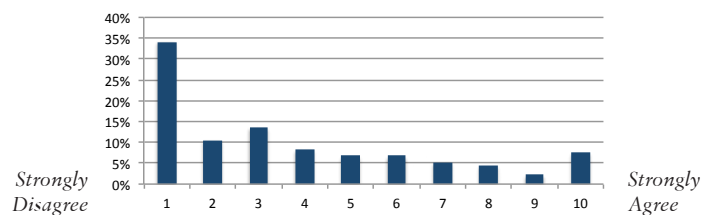
Building height is compatible.



Building form (shape) is compatible.

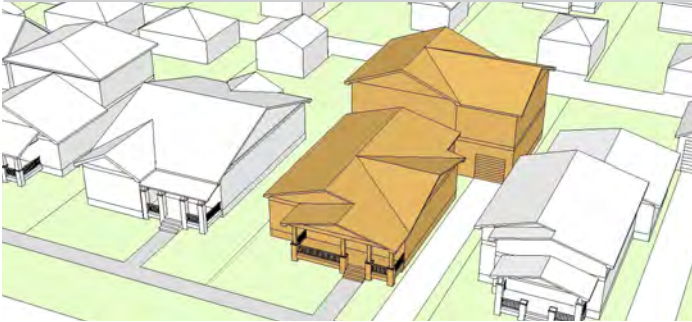


Building form (shape) is compatible.



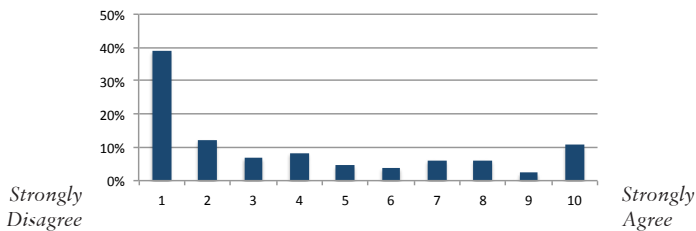
# Part 3: Houston Heights West

## Building Scenario G

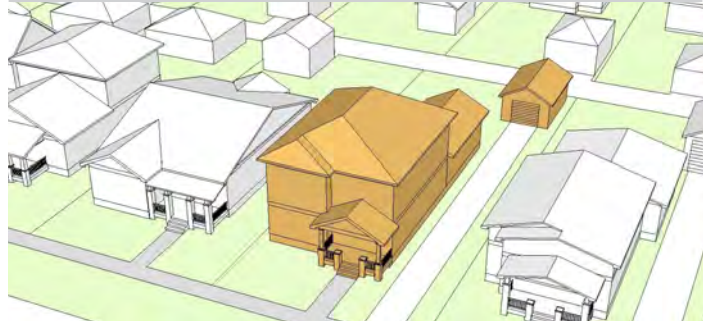


This scenario illustrates a new home with a one-story portion in the front and a two-story portion in the rear that extends to the side.

Lot coverage is compatible.

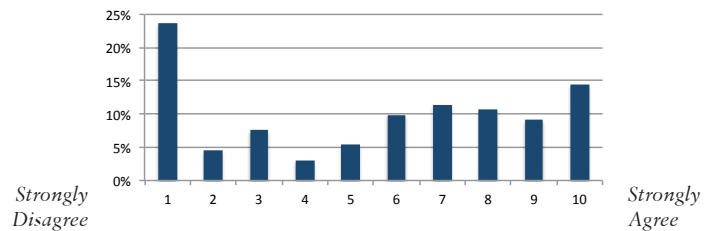


## Building Scenario H

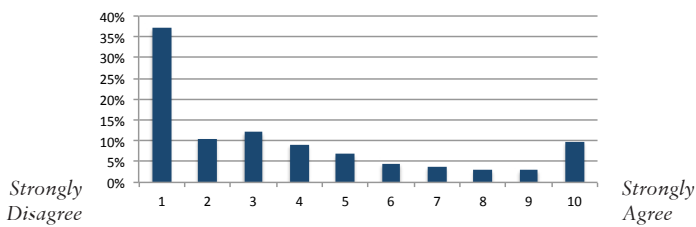


This scenario illustrates a new two-story building with a one-story front portion in the rear and a one-story front porch element.

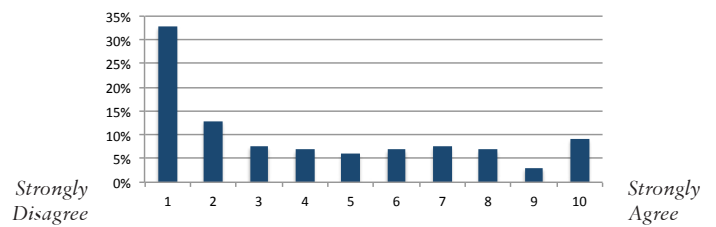
Lot coverage is compatible.



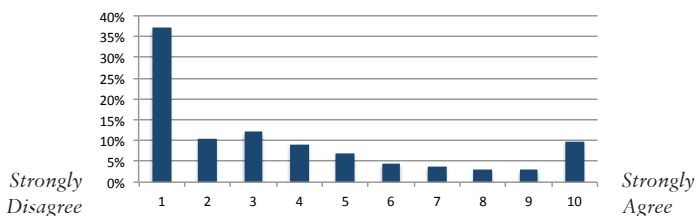
Overall size is compatible.



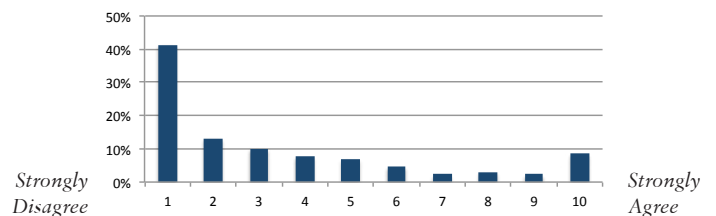
Overall size is compatible.



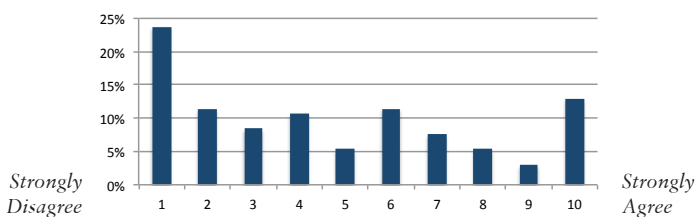
Building height is compatible.



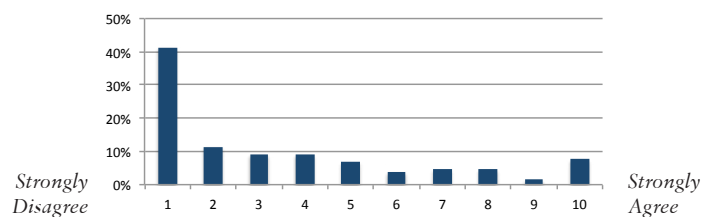
Building height is compatible.



Building form (shape) is compatible.



Building form (shape) is compatible.



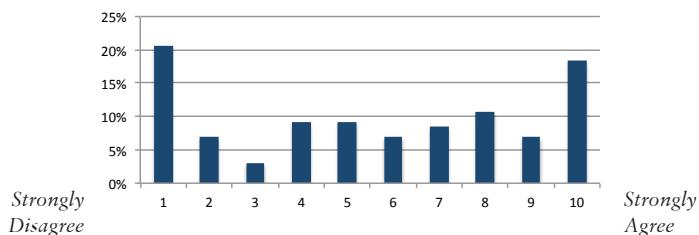
## Part 3: Houston Heights West

### Building Scenario I

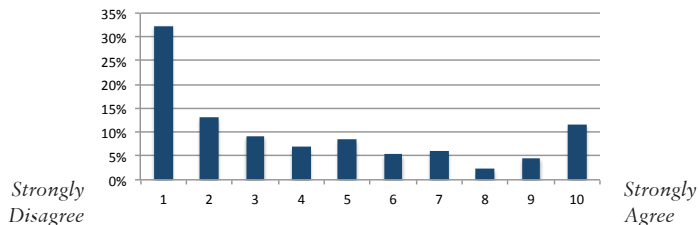


This scenario illustrates a new two-story building with a two-story front porch element.

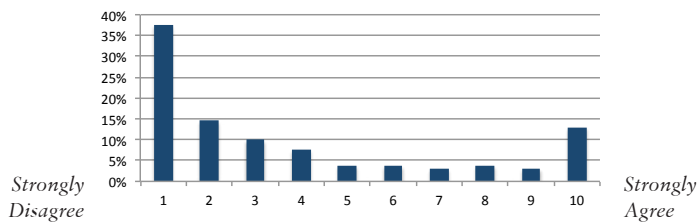
Lot coverage is compatible.



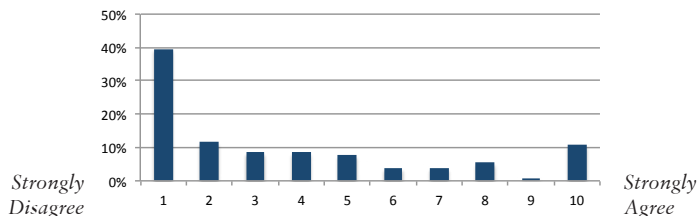
Overall size is compatible.



Building height is compatible.



Building form (shape) is compatible.





## Part 1: Norhill

1. “Some recent construction in my historic district is too large.”

<b>35%</b>		<b>16%</b>	<b>49%</b>
Disagree		Undecided	Agree

2. “The loss of green space when a larger building is constructed is a key issue.”

<b>23%</b>		<b>14%</b>	<b>63%</b>
Disagree		Undecided	Agree

3. “The loss of mature vegetation when new construction occurs is a key issue.”

<b>21%</b>		<b>15%</b>	<b>64%</b>
Disagree		Undecided	Agree

4. “Most recent new construction has been compatible.”

<b>28%</b>		<b>22%</b>	<b>50%</b>
Disagree		Undecided	Agree

5. “A large house next door diminishes privacy in neighbors’ back yards.”

<b>18%</b>		<b>14%</b>	<b>68%</b>
Disagree		Undecided	Agree

6. “Regulations that protect historic district character will enhance property values.”

<b>21%</b>		<b>16%</b>	<b>63%</b>
Disagree		Undecided	Agree

7. “A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns.”

<b>15%</b>		<b>17%</b>	<b>68%</b>
Disagree		Undecided	Agree

8. “Most recent renovation projects have been appropriate.”

<b>18%</b>		<b>23%</b>	<b>59%</b>
Disagree		Undecided	Agree

9. “An addition to a historic building should be visually subordinate to the building.”

<b>23%</b>		<b>14%</b>	<b>63%</b>
Disagree		Undecided	Agree

10. “Fences should be included in the design guidelines.”

<b>35%</b>		<b>20%</b>	<b>45%</b>
Disagree		Undecided	Agree



## Part 2: Norhill

12. “Guidelines which relate the size of a building to the size of its lot should be considered.”

<b>16%</b>		<b>10%</b>	<b>74%</b>
Disagree		Undecided	Agree

13. “A limit on the percentage of lot coverage should be considered to help maintain open space.”

<b>26%</b>		<b>14%</b>	<b>60%</b>
Disagree		Undecided	Agree

14. “Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines.”

<b>22%</b>		<b>14%</b>	<b>64%</b>
Disagree		Undecided	Agree

15. “A maximum building envelope should be considered as a tool to reduce perceived building size.”

<b>18%</b>		<b>11%</b>	<b>71%</b>
Disagree		Undecided	Agree

16. “A side wall offset should be considered as a tool to reduce perceived building size.”

<b>25%</b>		<b>18%</b>	<b>57%</b>
Disagree		Undecided	Agree

17. “A wall height limit should be considered as a tool to reduce perceived building size.”

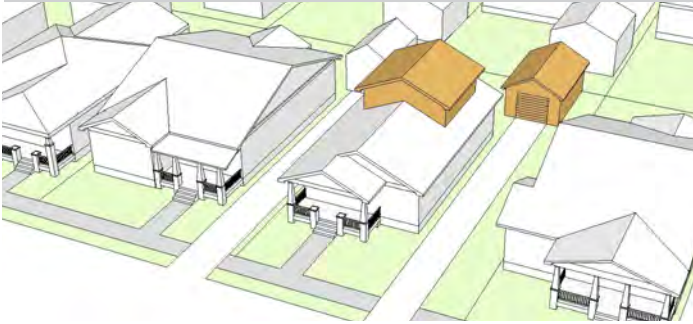
<b>23%</b>		<b>9%</b>	<b>68%</b>
Disagree		Undecided	Agree

18. “Design guidelines should address appropriate parking locations.”

<b>18%</b>		<b>12%</b>	<b>70%</b>
Disagree		Undecided	Agree

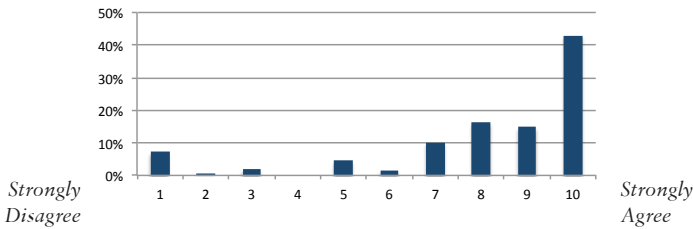
# Part 3: Norhill

## Building Scenario A

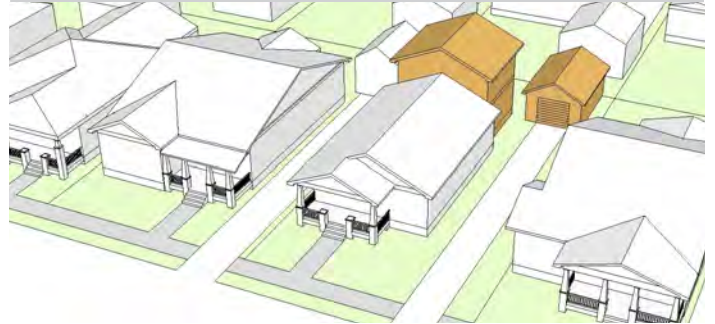


This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and set in from the side walls.

Lot coverage is compatible.

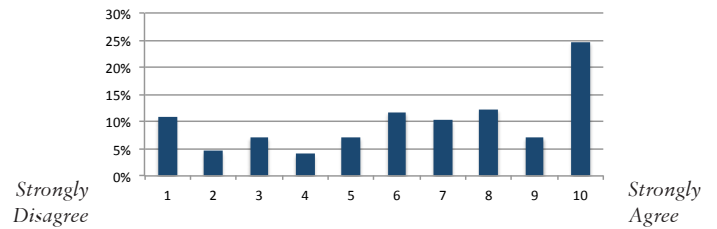


## Building Scenario B

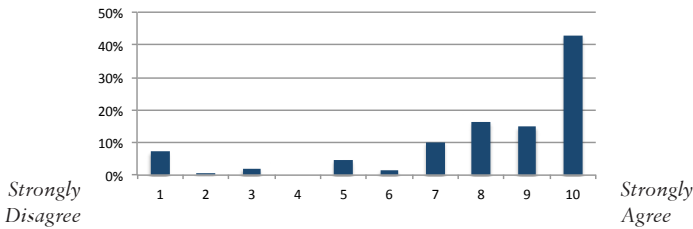


This scenario illustrates a historic one-story home with a two-story addition to the rear that is offset from the existing side walls.

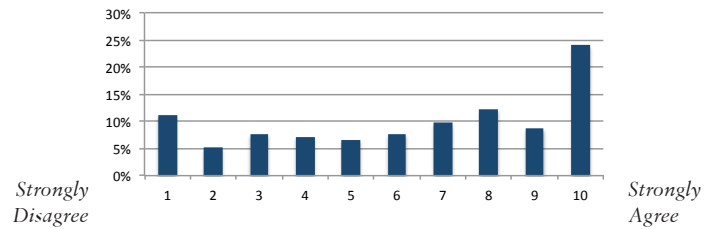
Lot coverage is compatible.



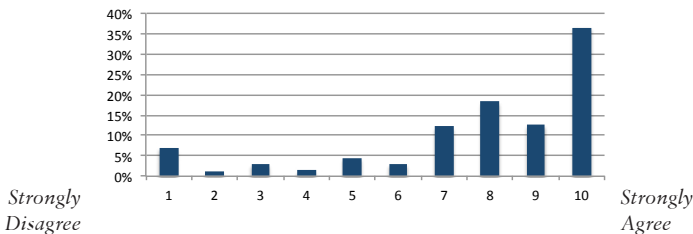
Size of addition is compatible.



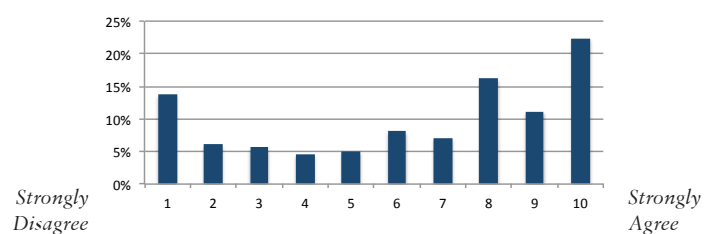
Size of addition is compatible.



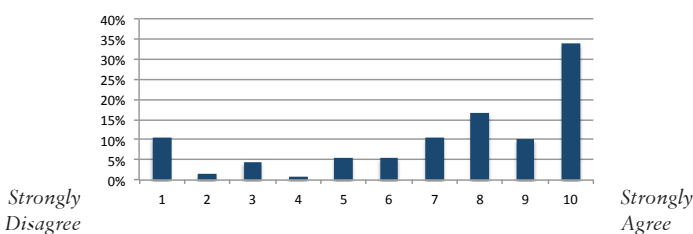
Height of addition is compatible.



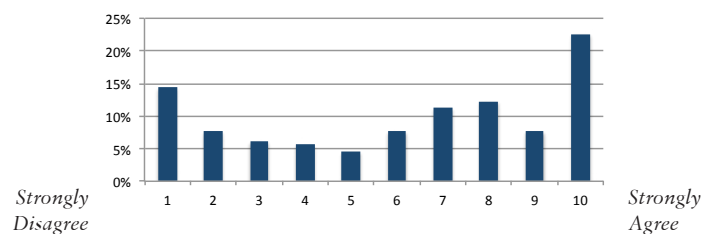
Height of addition is compatible.



Form (shape) of addition is compatible.



Form (shape) of addition is compatible.



# Part 3: Norhill

## Building Scenario C



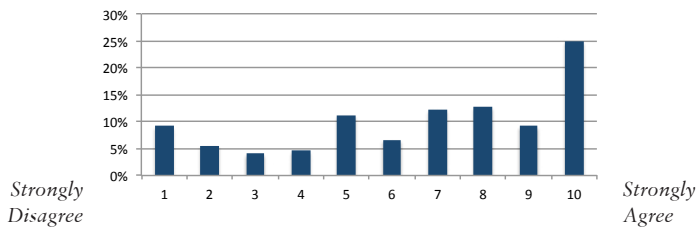
This scenario illustrates a historic one-story home with a two-story addition to the roof and rear.

## Building Scenario D

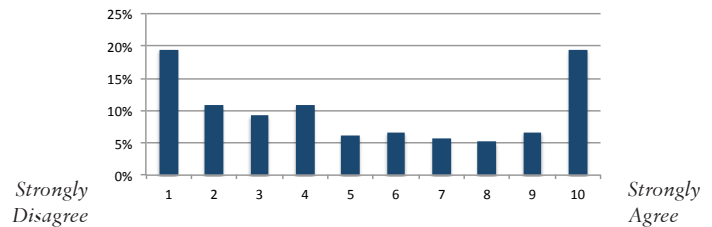


This scenario illustrates a historic one-story home with a two-story addition to the roof and rear that is centered on the lot.

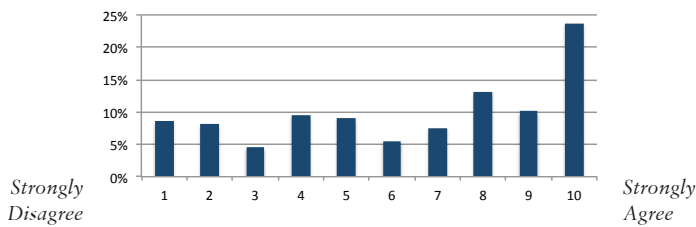
Lot coverage is compatible.



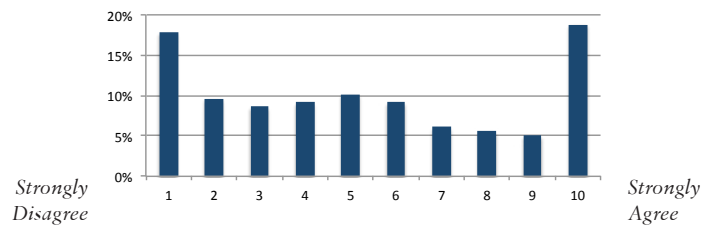
Lot coverage is compatible.



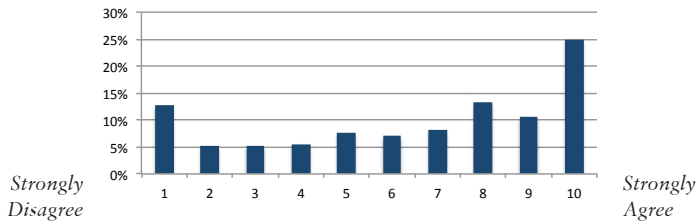
Size of addition is compatible.



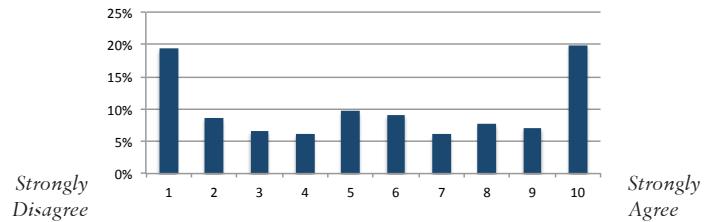
Size of addition is compatible.



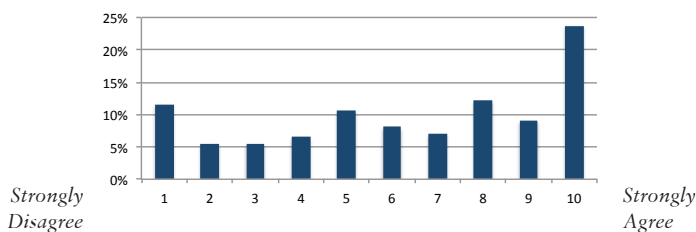
Height of addition is compatible.



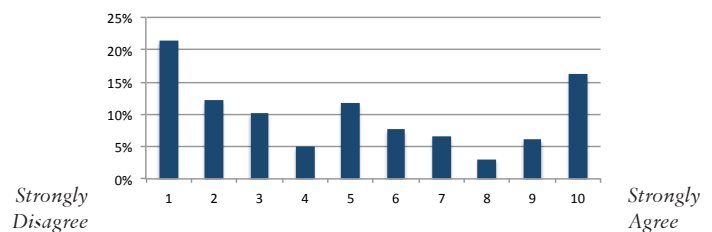
Height of addition is compatible.



Form (shape) of addition is compatible.



Form (shape) of addition is compatible.



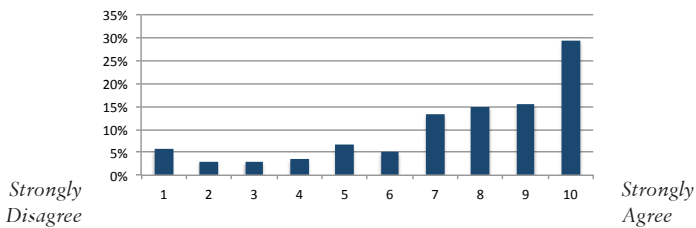
# Part 3: Norhill

## Building Scenario E

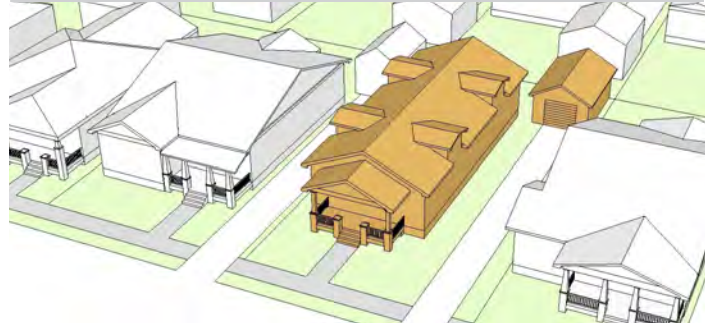


This scenario illustrates a new two-story home with a one-story portion in front.

Lot coverage is compatible.

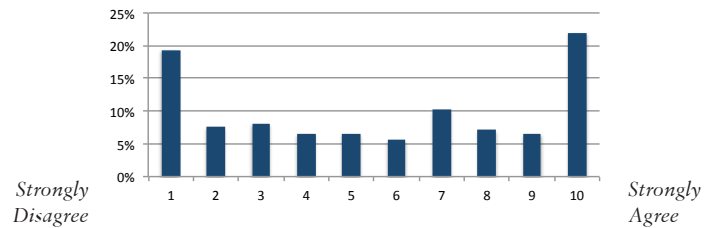


## Building Scenario F

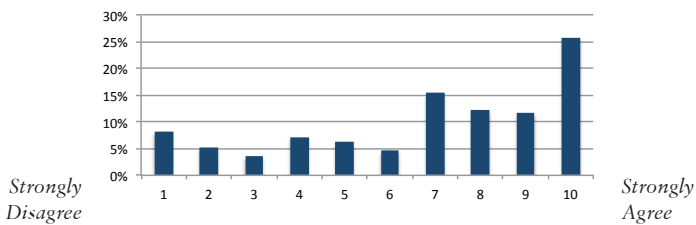


This scenario illustrates a new one-story home with dormers.

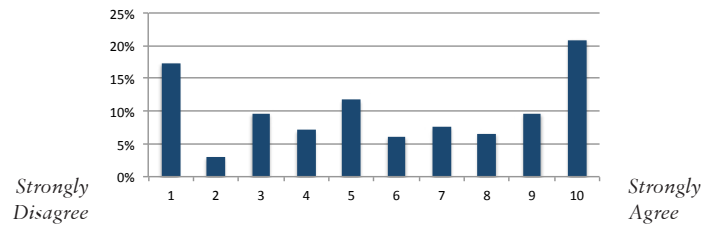
**Statement:** Lot coverage is compatible.



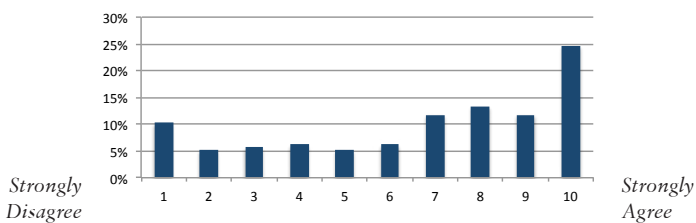
Overall size is compatible.



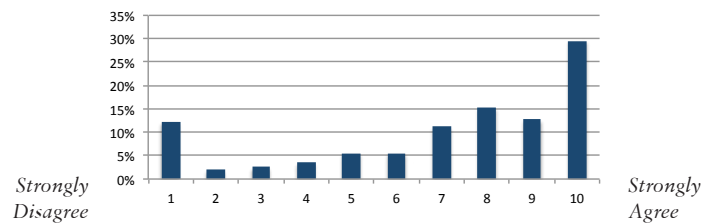
Overall size is compatible.



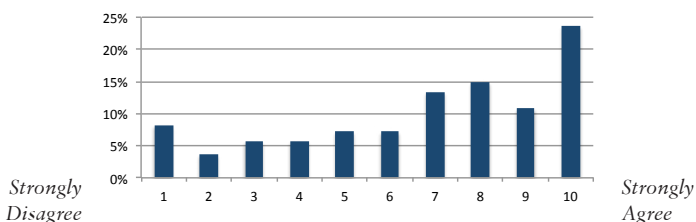
Building height is compatible.



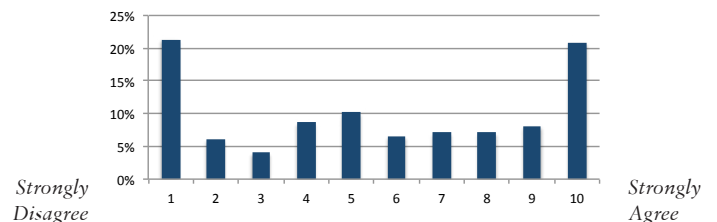
Building height is compatible.



Building form (shape) is compatible.

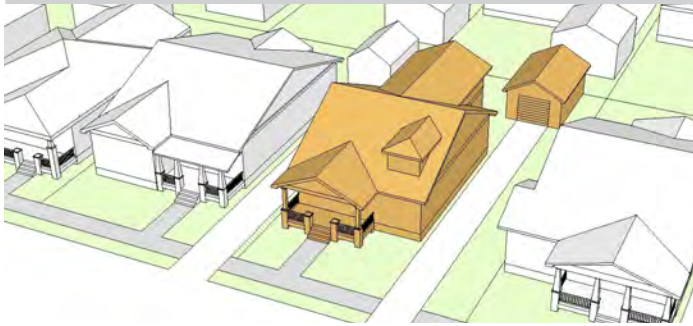


Building form (shape) is compatible.



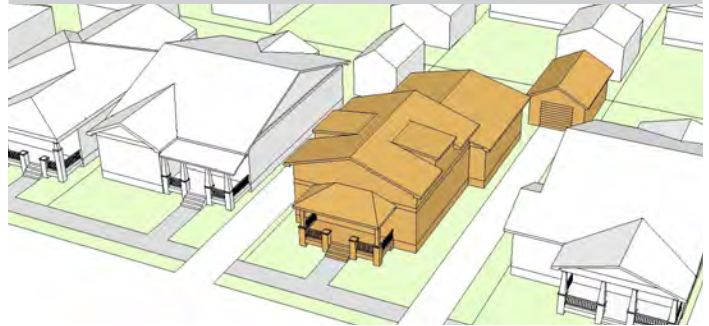
# Part 3: Norhill

## Building Scenario G



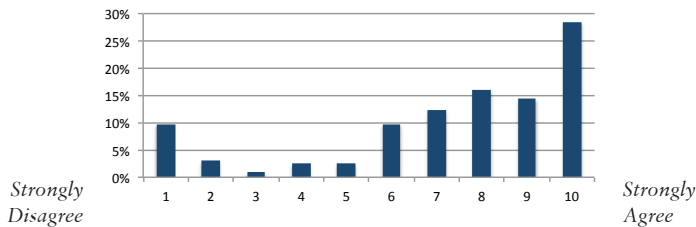
This scenario illustrates a new one-story home with a one-and-a-half story portion in the rear.

## Building Scenario H

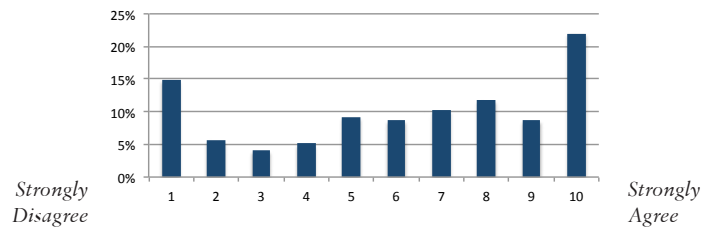


This scenario illustrates a new one-and-a-half story home with dormers in front, and a one-story portion in the rear.

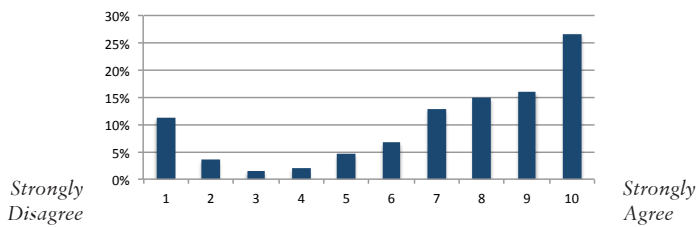
Lot coverage is compatible.



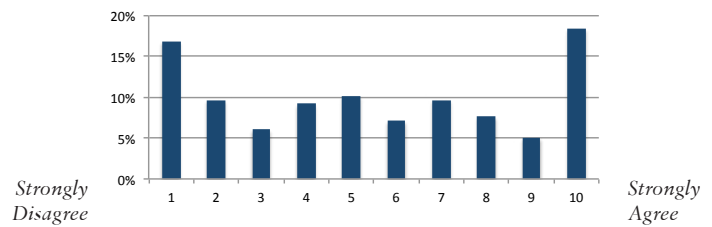
**Statement:** Lot coverage is compatible.



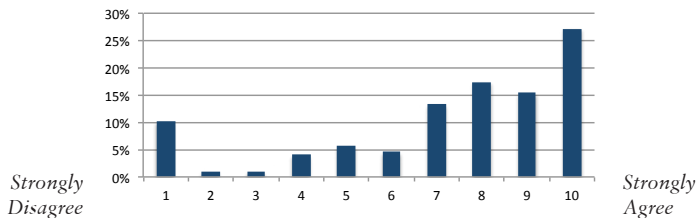
Overall size is compatible.



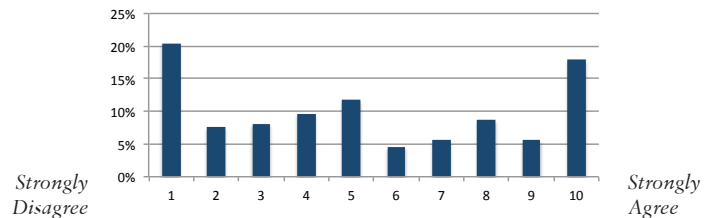
Overall size is compatible.



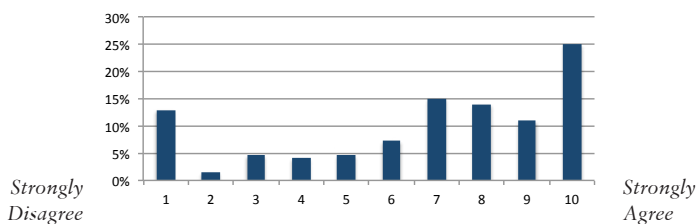
Building height is compatible.



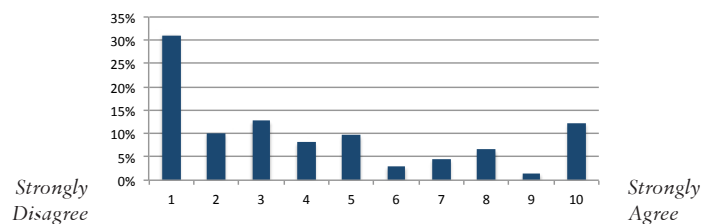
Building height is compatible.



Building form (shape) is compatible.



Building form (shape) is compatible.



## Part 1: Woodland Heights

1. “Some recent construction in my historic district is too large.”

<b>25%</b>		<b>6%</b>	<b>69%</b>
Disagree		Undecided	Agree

2. “The loss of green space when a larger building is constructed is a key issue.”

<b>20%</b>		<b>6%</b>	<b>74%</b>
Disagree		Undecided	Agree

3. “The loss of mature vegetation when new construction occurs is a key issue.”

<b>12%</b>		<b>9%</b>	<b>79%</b>
Disagree		Undecided	Agree

4. “Most recent new construction has been compatible.”

<b>45%</b>		<b>17%</b>	<b>38%</b>
Disagree		Undecided	Agree

5. “A large house next door diminishes privacy in neighbors’ back yards.”

<b>19%</b>		<b>9%</b>	<b>72%</b>
Disagree		Undecided	Agree

6. “Regulations that protect historic district character will enhance property values.”

<b>23%</b>		<b>16%</b>	<b>61%</b>
Disagree		Undecided	Agree

7. “A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns.”

<b>17%</b>		<b>14%</b>	<b>69%</b>
Disagree		Undecided	Agree

8. “Most recent renovation projects have been appropriate.”

<b>35%</b>		<b>15%</b>	<b>50%</b>
Disagree		Undecided	Agree

9. “An addition to a historic building should be visually subordinate to the building.”

<b>31%</b>		<b>13%</b>	<b>56%</b>
Disagree		Undecided	Agree



## Part 2: Woodland Heights

12. “Guidelines which relate the size of a building to the size of its lot should be considered.”

<b>19%</b>		<b>5%</b>	<b>76%</b>
Disagree		Undecided	Agree

13. “A limit on the percentage of lot coverage should be considered to help maintain open space.”

<b>23%</b>		<b>6%</b>	<b>71%</b>
Disagree		Undecided	Agree

14. “Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines.”

<b>17%</b>		<b>13%</b>	<b>70%</b>
Disagree		Undecided	Agree

15. “A maximum building envelope should be considered as a tool to reduce perceived building size.”

<b>24%</b>		<b>10%</b>	<b>66%</b>
Disagree		Undecided	Agree

16. “A side wall offset should be considered as a tool to reduce perceived building size.”

<b>21%</b>		<b>15%</b>	<b>64%</b>
Disagree		Undecided	Agree

17. “A wall height limit should be considered as a tool to reduce perceived building size.”

<b>21%</b>		<b>13%</b>	<b>66%</b>
Disagree		Undecided	Agree

18. “Design guidelines should address appropriate parking locations.”

<b>14%</b>		<b>7%</b>	<b>79%</b>
Disagree		Undecided	Agree

# Part 3: Woodland Heights

## Building Scenario A



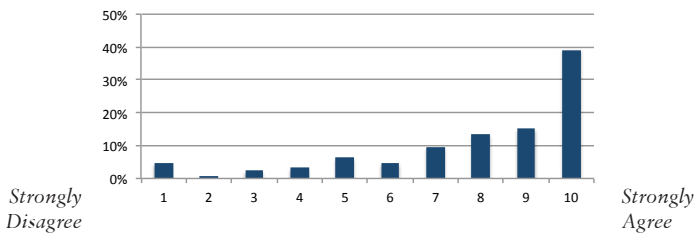
This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and set in from the side walls. It also includes a one-and-a-half story garage located to the rear of the lot.

## Building Scenario B

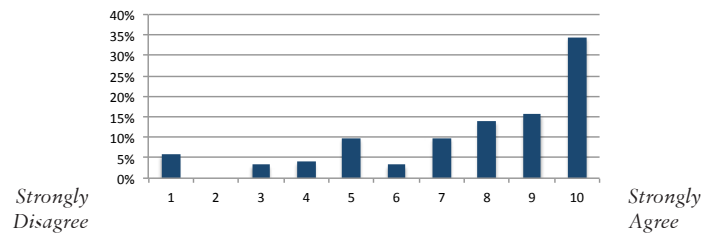


This scenario illustrates a historic one-story home with a two-story addition to the roof and rear.

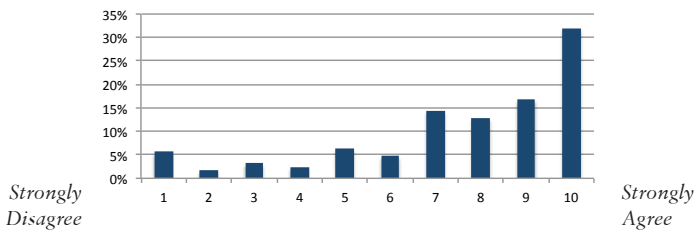
Lot coverage is compatible.



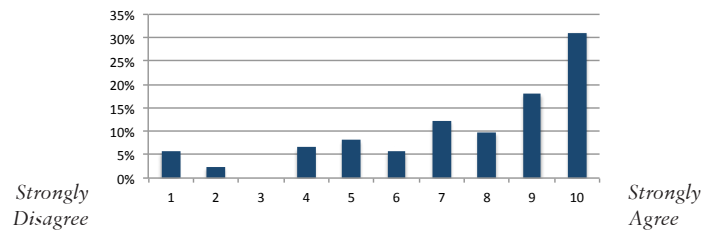
Lot coverage is compatible.



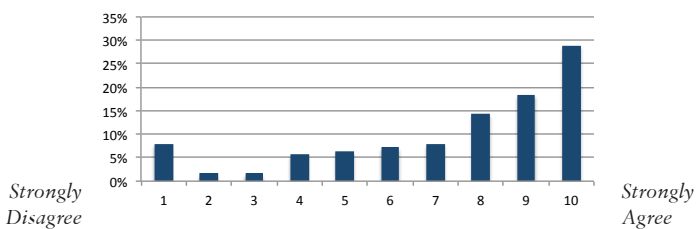
Size of addition is compatible.



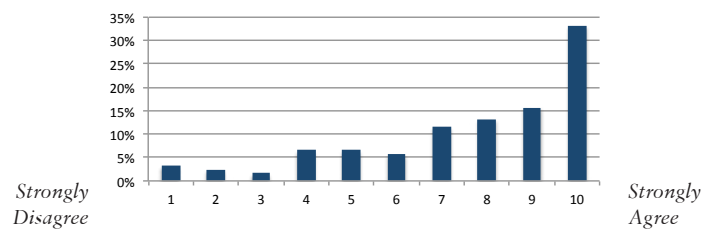
Size of addition is compatible.



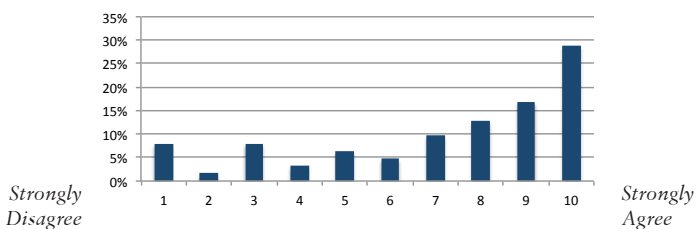
Height of addition is compatible.



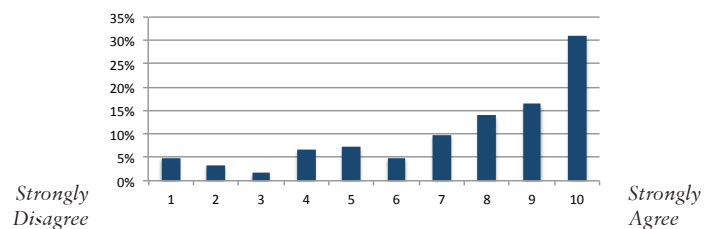
Height of addition is compatible.



Form (shape) of addition is compatible.

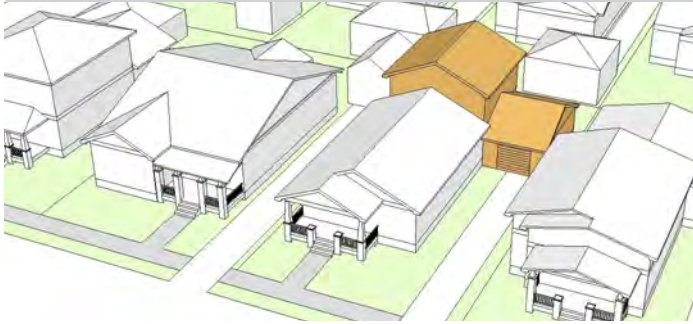


Form (shape) of addition is compatible.



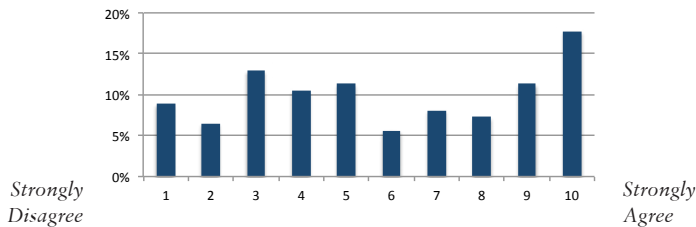
# Part 3: Woodland Heights

## Building Scenario C

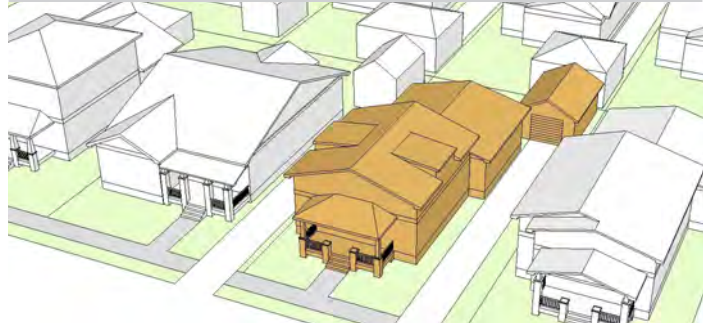


This scenario illustrates a historic one-story home with a two-story addition to the rear. It also includes an attached one-story garage that extends to the side.

Lot coverage is compatible.

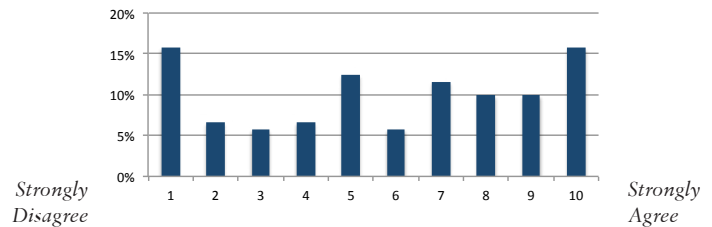


## Building Scenario D

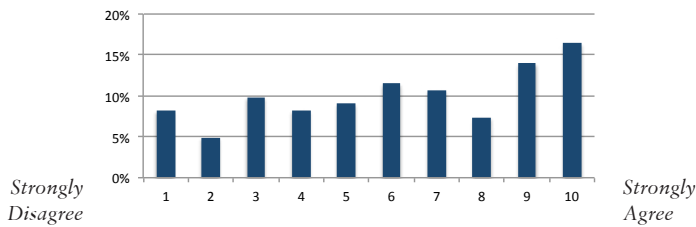


This scenario illustrates a new one-and-a-half story home with dormers in front, and a one-story portion in the rear.

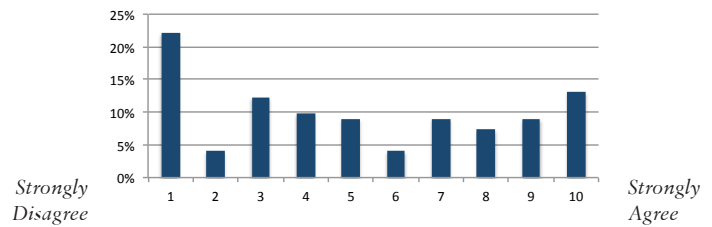
Lot coverage is compatible.



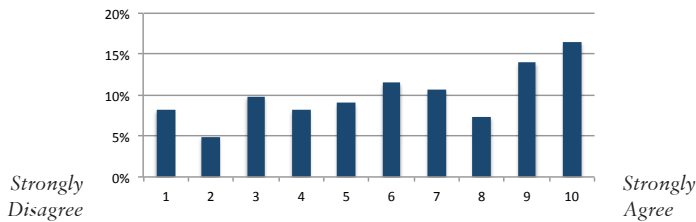
Size of addition is compatible.



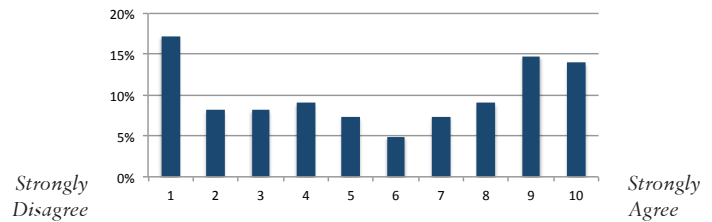
Overall size is compatible.



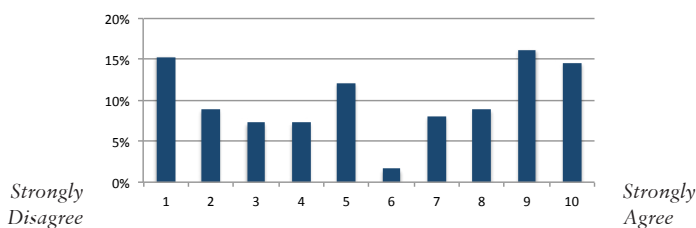
Height of addition is compatible.



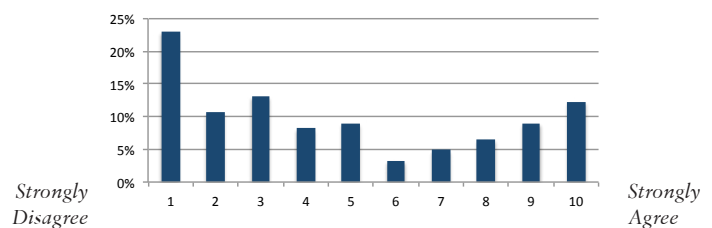
Building height is compatible.



Form (shape) of addition is compatible.



Building form (shape) is compatible.



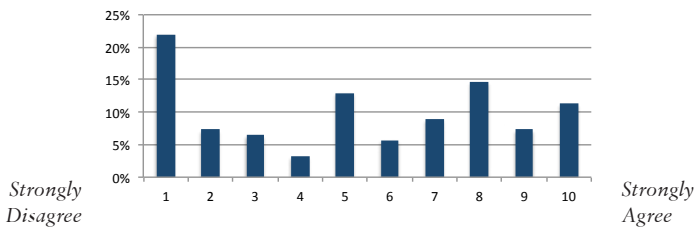
# Part 3: Woodland Heights

## Building Scenario E



This scenario illustrates a new two-story home with a one-story portion in front. It also includes a detached garage in the rear with a secondary living space above.

Lot coverage is compatible.

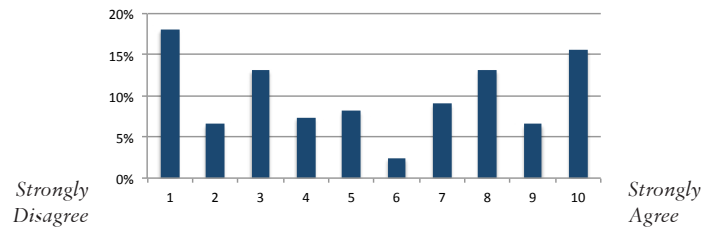


## Building Scenario F

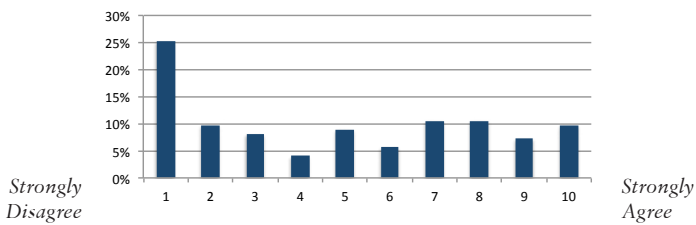


This scenario illustrates a new one-story home with variations in side walls and an attached garage in the rear.

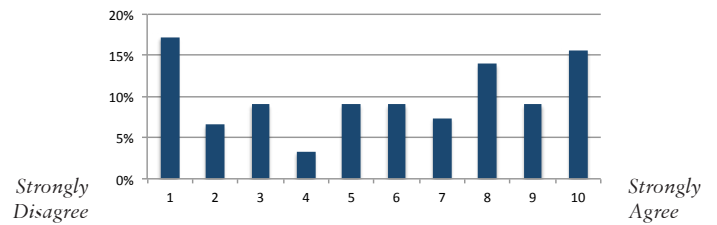
Statement: Lot coverage is compatible.



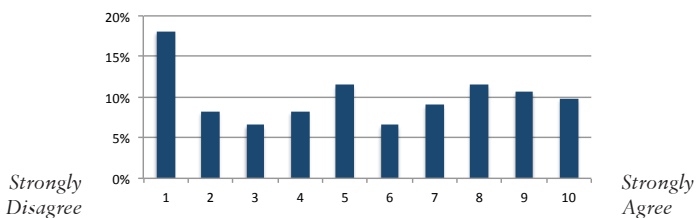
Overall size is compatible.



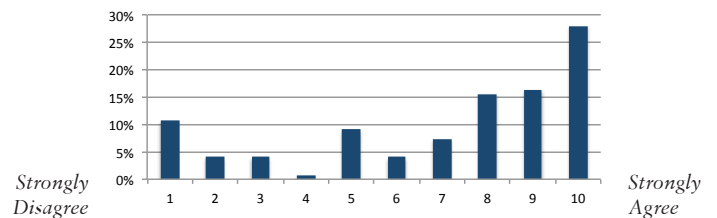
Overall size is compatible.



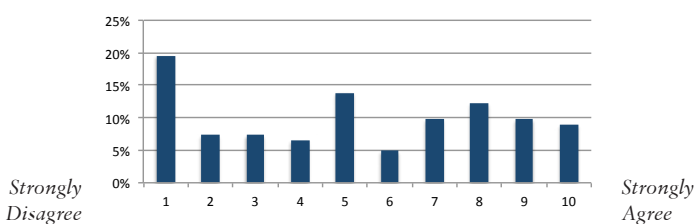
Building height is compatible.



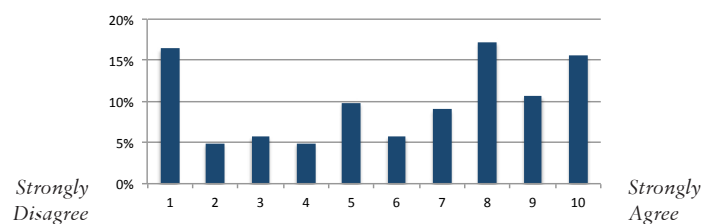
Building height is compatible.



Building form (shape) is compatible.

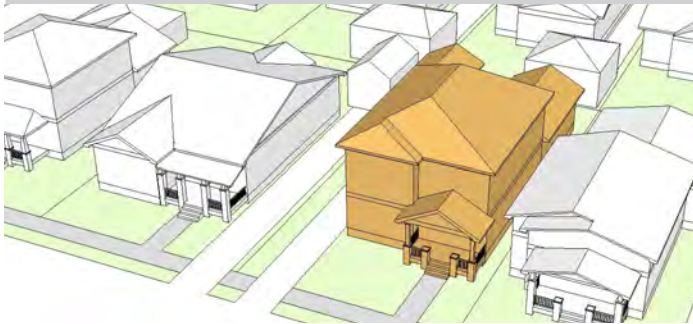


Building form (shape) is compatible.



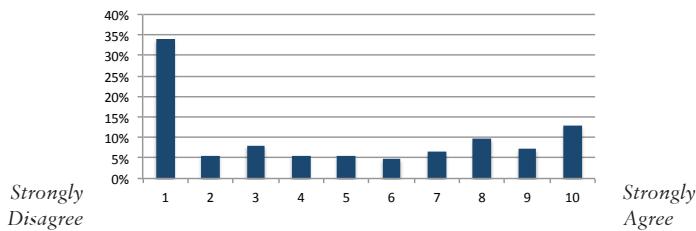
# Part 3: Woodland Heights

## Building Scenario G

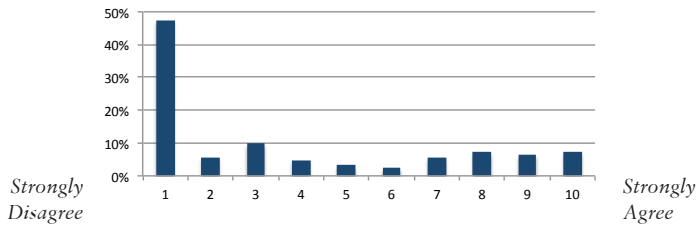


This scenario illustrates a new two-story home with a one-story portion in front.

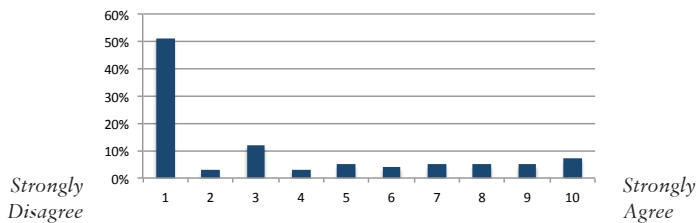
Lot coverage is compatible.



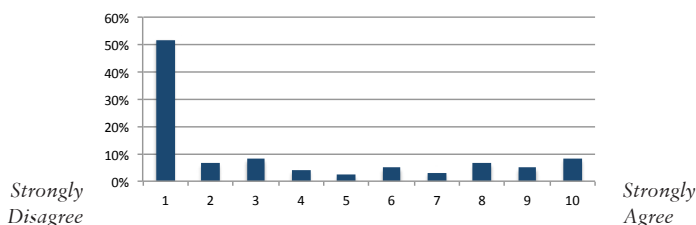
Overall size is compatible.



Building height is compatible.



Building form (shape) is compatible.







# COMPATIBLE DESIGN SURVEY: DETAILED RESPONSES

## HOUSTON HISTORIC DISTRICTS DESIGN GUIDELINES PROJECT STRATEGY REPORT

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### INTRODUCTION

This appendix provides the results of all responses to the Compatible Design Survey, which was delivered to all property owners of record in the historic districts in January 2017. The detailed responses are published by district; these appear in alphabetical order.

The survey uses a 10-point Likert scale to measure positive or negative responses to a series of statements. This ranges from position #1, for those who strongly disagree, to position #10, for those who strongly agree. For each question, the percentage of those responding in each of the ten point categories appears in a table. A bar graph accompanies each table, and illustrates the relative distribution of the answers.

Within each district report, the questions are published in the three parts as they appeared in the survey:

#### **Part 1: Overall Issues**

In this section, respondents answered questions about the character of recent development, and the value of being in a historic district.

#### **Part 2: Design Tools**

In this section, respondents answered questions about potential tools that could be applied as design standards.

#### **Part 3: Building Scenarios**

In this section, respondents answered questions about the compatibility of alternative house designs that were depicted in a setting similar to a part of their historic district.

To see the original survey documents, refer to Appendix E.

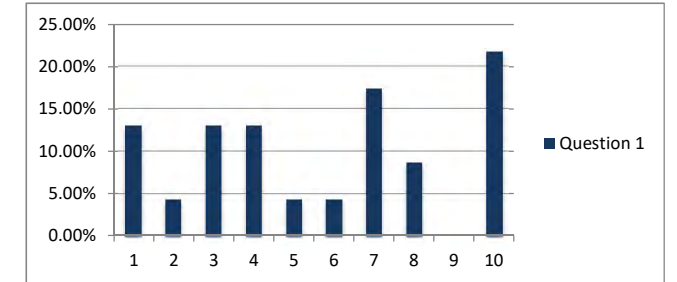


# Freeland - Compatible Design Survey - Survey Results Sheet

## Part 1: Overall Issues in the District

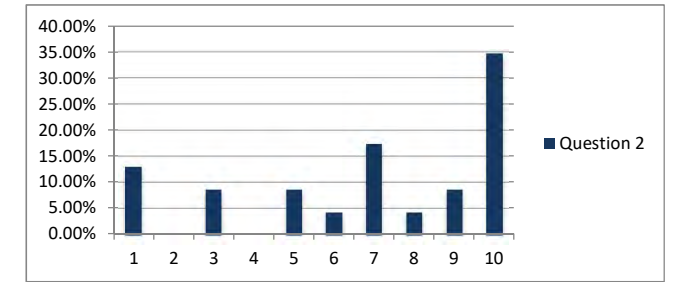
1. "Some recent construction in my historic district is too large."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	1	2	1	1	1	4	0	0	4	17
Mail-in Responses	0	0	1	2	0	0	0	2	0	1	6
Total Responses	3	1	3	3	1	1	4	2	0	5	23
Response Percentages	13.04%	4.35%	13.04%	13.04%	4.35%	4.35%	17.39%	8.70%	0.00%	21.74%	
<i>answered question</i>											23
<i>skipped question</i>											0



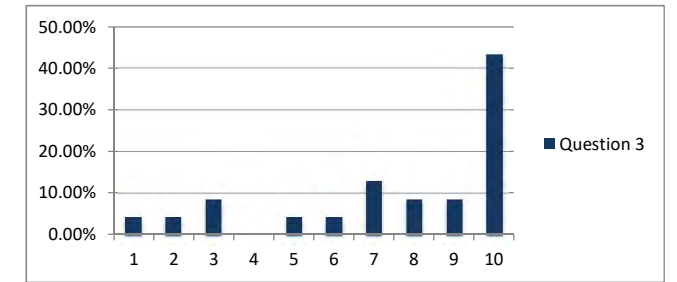
2. "The loss of green space when a larger building is constructed is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	0	1	0	2	1	3	0	2	6	17
Mail-in Responses	1	0	1	0	0	0	1	1	0	2	6
Total Responses	3	0	2	0	2	1	4	1	2	8	23
Response Percentages	13.04%	0.00%	8.70%	0.00%	8.70%	4.35%	17.39%	4.35%	8.70%	34.78%	
<i>answered question</i>											23
<i>skipped question</i>											0



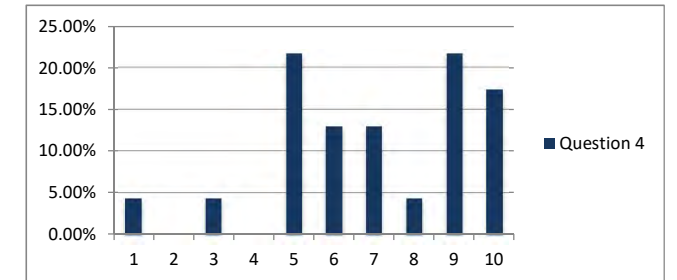
3. "The loss of mature vegetation when new construction occurs is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	1	0	1	0	1	1	2	1	2	8	17
Mail-in Responses	0	1	1	0	0	0	1	1	0	2	6
Total Responses	1	1	2	0	1	1	3	2	2	10	23
Response Percentages	4.35%	4.35%	8.70%	0.00%	4.35%	4.35%	13.04%	8.70%	8.70%	43.48%	
<i>answered question</i>											23
<i>skipped question</i>											0



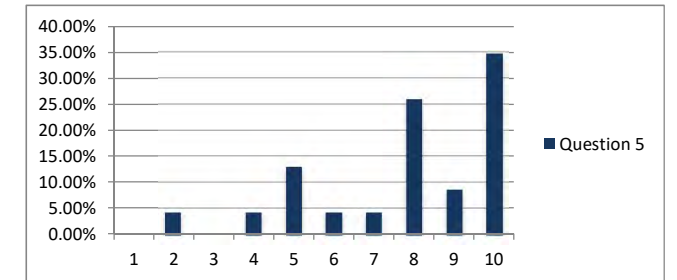
4. "Most recent new construction has been compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	1	0	1	0	4	2	2	1	2	4	17
Mail-in Responses	0	0	0	0	1	1	1	0	3	0	6
Total Responses	1	0	1	0	5	3	3	1	5	4	23
Response Percentages	4.35%	0.00%	4.35%	0.00%	21.74%	13.04%	13.04%	4.35%	21.74%	17.39%	
<i>answered question</i>											23
<i>skipped question</i>											0



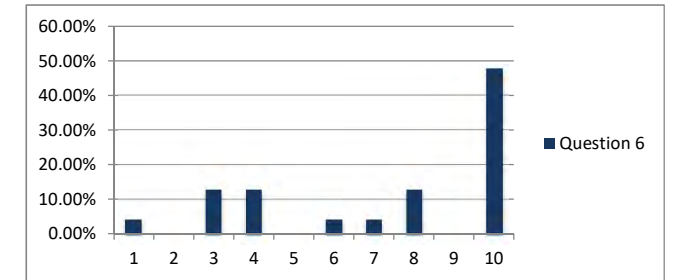
5. "A large house next door diminishes privacy in neighbors' back yards."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	0	1	0	1	2	1	1	4	1	6	17
Mail-in Responses	0	0	0	0	1	0	0	2	1	2	6
Total Responses	0	1	0	1	3	1	1	6	2	8	23
Response Percentages	0.00%	4.35%	0.00%	4.35%	13.04%	4.35%	4.35%	26.09%	8.70%	34.78%	
<i>answered question</i>											23
<i>skipped question</i>											0



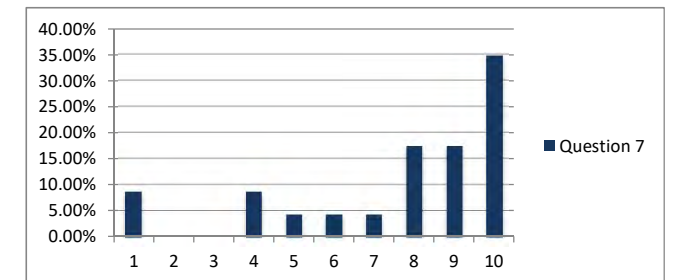
6. "Regulations that protect historic district character will enhance property values."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	1	0	3	1	0	1	0	2	0	9	17
Mail-in Responses	0	0	0	2	0	0	1	1	0	2	6
Total Responses	1	0	3	3	0	1	1	3	0	11	23
Response Percentages	4.35%	0.00%	13.04%	13.04%	0.00%	4.35%	4.35%	13.04%	0.00%	47.83%	
<i>answered question</i>											23
<i>skipped question</i>											0



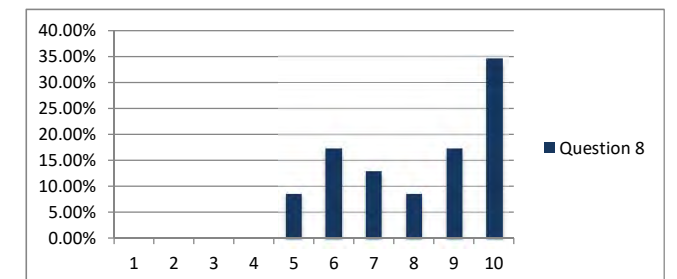
7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	0	0	1	0	0	1	4	3	6	17
Mail-in Responses	0	0	0	1	1	1	0	0	1	2	6
Total Responses	2	0	0	2	1	1	1	4	4	8	23
Response Percentages	8.70%	0.00%	0.00%	8.70%	4.35%	4.35%	4.35%	17.39%	17.39%	34.78%	
<i>answered question</i>											23
<i>skipped question</i>											0



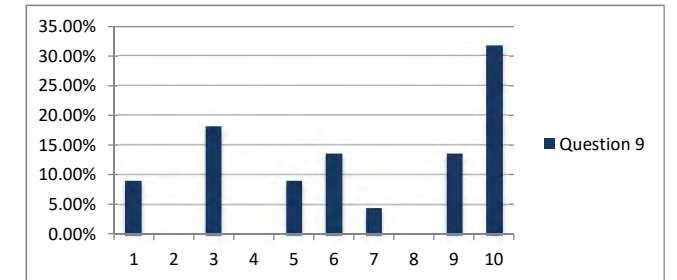
8. "Most recent renovation projects have been appropriate."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	0	0	0	0	1	3	3	2	3	5	17
Mail-in Responses	0	0	0	0	1	1	0	0	1	3	6
Total Responses	0	0	0	0	2	4	3	2	4	8	23
Response Percentages	0.00%	0.00%	0.00%	0.00%	8.70%	17.39%	13.04%	8.70%	17.39%	34.78%	
<i>answered question</i>											23
<i>skipped question</i>											0



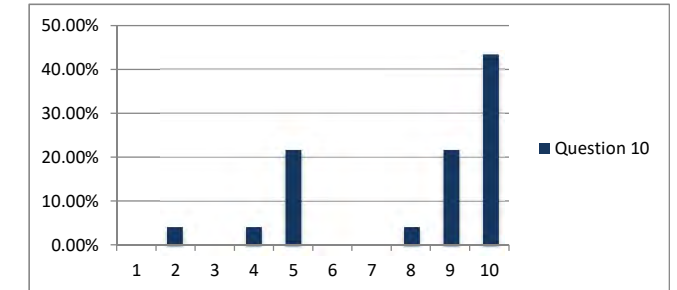
**9. "An addition to a historic building should be visually subordinate to the building."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	0	3	0	2	0	1	0	3	6	17
Mail-in Responses	0	0	1	0	0	3	0	0	0	1	5
Total Responses	2	0	4	0	2	3	1	0	3	7	22
Response Percentages	9.09%	0.00%	18.18%	0.00%	9.09%	13.64%	4.55%	0.00%	13.64%	31.82%	
<i>answered question</i>											22
<i>skipped question</i>											1



**10. "Maintaining traditional setbacks is important to retaining the character of the neighborhood."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	0	1	0	1	3	0	0	1	3	8	17
Mail-in Responses	0	0	0	0	2	0	0	0	2	2	6
Total Responses	0	1	0	1	5	0	0	1	5	10	23
Response Percentages	0.00%	4.35%	0.00%	4.35%	21.74%	0.00%	0.00%	4.35%	21.74%	43.48%	
<i>answered question</i>											23
<i>skipped question</i>											0



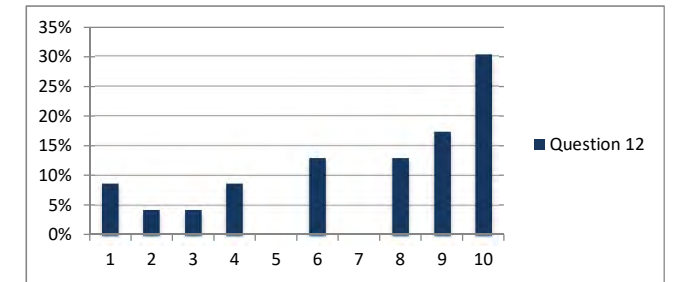
**11. What are the key issues related to the treatment of historic buildings in the district?**

Answer Options	Response Count
	15
<i>answered question</i>	15
<i>skipped question</i>	8

Part 2: Design Tools

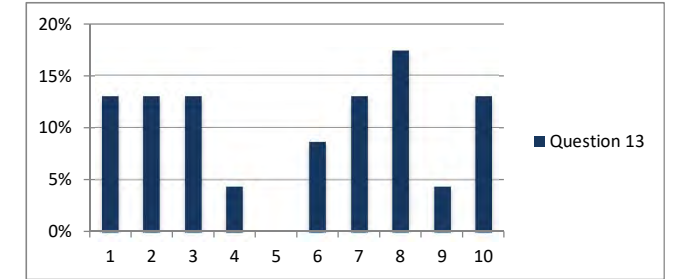
**12. Building Size in Relation to Lot Size** Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses. Please indicate the degree to which you agree or disagree with this statement: "Guidelines which relate the size of a building to the size of its lot should be considered."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	1	1	0	0	2	0	2	4	5	17
Mail-in Responses	0	0	0	2	0	1	0	1	0	2	6
Total Responses	2	1	1	2	0	3	0	3	4	7	23
Response Percentages	9%	4%	4%	9%	0%	13%	0%	13%	17%	30%	
answered question											23
skipped question											0



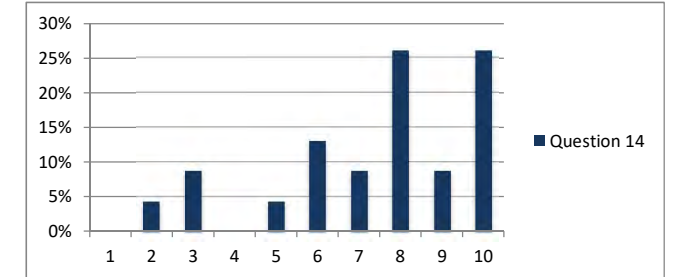
**13. Lot Coverage** All areas of a property that are covered by buildings and roofed porches are included in lot coverage. Please indicate the degree to which you agree or disagree with this statement: "A limit on the percentage of lot coverage should be considered to help maintain open space."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	3	2	0	0	1	2	3	1	2	17
Mail-in Responses	0	0	1	1	0	1	1	1	0	1	6
Total Responses	3	3	3	1	0	2	3	4	1	3	23
Response Percentages	13%	13%	13%	4%	0%	9%	13%	17%	4%	13%	
answered question											23
skipped question											0



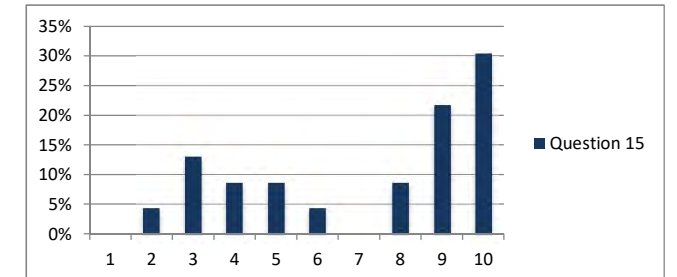
**14. One-Story Element** A one-story element (to the front or side of a house) can help reduce its perceived size. Please indicate the degree to which you agree or disagree with this statement: "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	0	1	1	0	1	1	2	4	2	5	17
Mail-in Responses	0	0	1	0	0	2	0	2	0	1	6
Total Responses	0	1	2	0	1	3	2	6	2	6	23
Response Percentages	0%	4%	9%	0%	4%	13%	9%	26%	9%	26%	
answered question											23
skipped question											0



**15. Maximum Building Envelope** A maximum building envelope can modify the shape and limit the overall size of a building on its lot. Please indicate the degree to which you agree or disagree with this statement: "A maximum building envelope should be considered as a tool to reduce perceived building size."

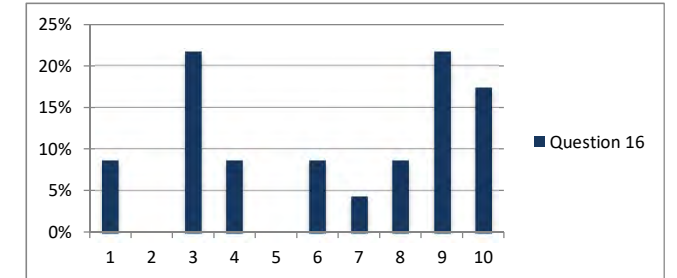
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	0	1	2	1	1	1	0	1	4	6	17
Mail-in Responses	0	0	1	1	1	0	0	1	1	1	6
Total Responses	0	1	3	2	2	1	0	2	5	7	23
Response Percentages	0%	4%	13%	9%	9%	4%	0%	9%	22%	30%	
answered question											23
skipped question											0





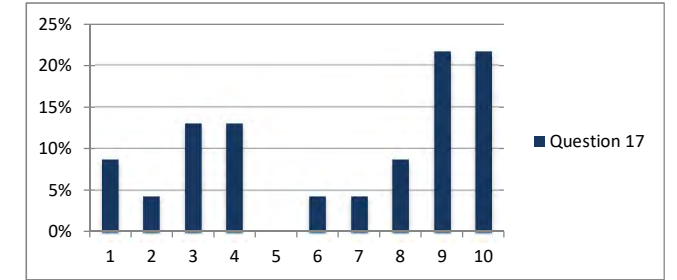
**16. Side Wall Offset** Limiting the length of a side wall can reduce the perceived size of a house. Please indicate the degree to which you agree or disagree with this statement: "A side wall offset should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	0	3	1	0	2	1	1	4	3	17
Mail-in Responses	0	0	2	1	0	0	0	1	1	1	6
Total Responses	2	0	5	2	0	2	1	2	5	4	23
Response Percentages	9%	0%	22%	9%	0%	9%	4%	9%	22%	17%	
answered question											23
skipped question											0



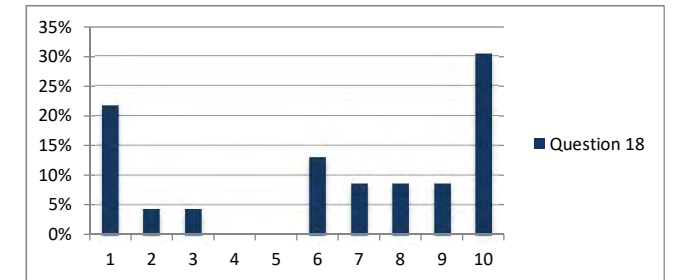
**17. Wall Height Guidelines** can limit the height of all or part of a wall to reduce perceived building size. Please indicate the degree to which you agree or disagree with this statement: "A wall height limit should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	1	1	1	0	1	1	2	4	4	17
Mail-in Responses	0	0	2	2	0	0	0	0	1	1	6
Total Responses	2	1	3	3	0	1	1	2	5	5	23
Response Percentages	9%	4%	13%	13%	0%	4%	4%	9%	22%	22%	
answered question											23
skipped question											0



**18. Parking Location** The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site. Please indicate the degree to which you agree or disagree with this statement: "Design guidelines should address appropriate parking locations."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	1	1	0	0	1	0	1	2	6	17
Mail-in Responses	0	0	0	0	0	2	2	1	0	1	6
Total Responses	5	1	1	0	0	3	2	2	2	7	23
Response Percentages	22%	4%	4%	0%	0%	13%	9%	9%	9%	30%	
answered question											23
skipped question											0

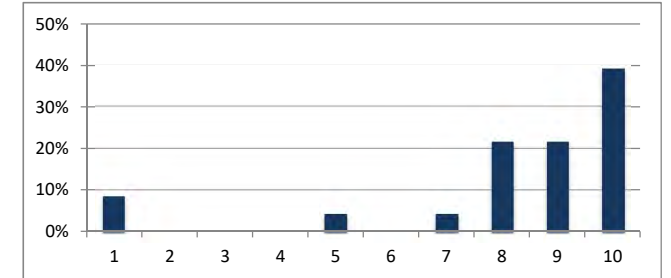


Part 3: Building Scenarios

Building Scenario A

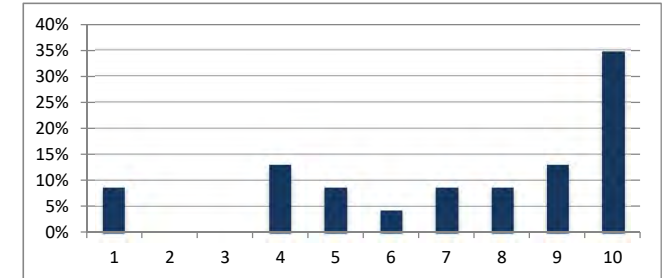
19. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	0	0	0	0	1	3	4	7	17
Mail-in Responses	0	0	0	0	1	0	0	2	1	2	6
Total Responses	2	0	0	0	1	0	1	5	5	9	23
Response Percentages	9%	0%	0%	0%	4%	0%	4%	22%	22%	39%	
<i>answered question</i>											23
<i>skipped question</i>											0



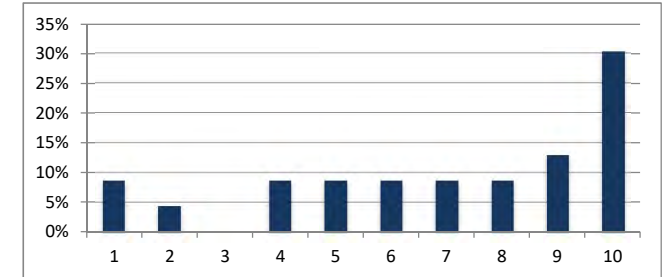
20. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	0	1	0	1	2	2	3	6	17
Mail-in Responses	0	0	0	2	2	0	0	0	0	2	6
Total Responses	2	0	0	3	2	1	2	2	3	8	23
Response Percentages	9%	0%	0%	13%	9%	4%	9%	9%	13%	35%	
<i>answered question</i>											23
<i>skipped question</i>											0



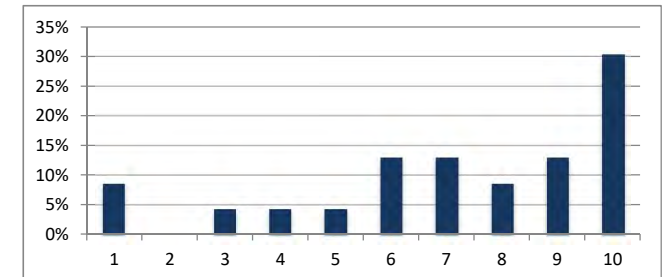
21. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	0	1	1	1	2	2	3	5	17
Mail-in Responses	0	1	0	1	1	1	0	0	0	2	6
Total Responses	2	1	0	2	2	2	2	2	3	7	23
Response Percentages	9%	4%	0%	9%	9%	9%	9%	9%	13%	30%	
<i>answered question</i>											23
<i>skipped question</i>											0



22. "Form (shape) of addition is compatible."

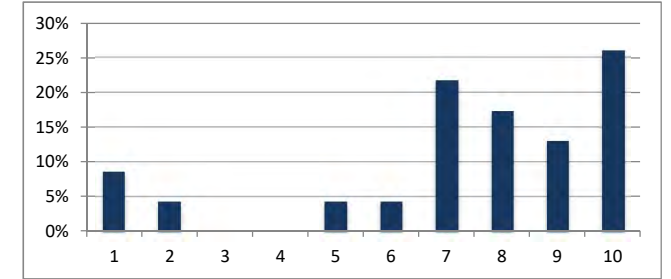
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	0	1	1	1	1	2	3	6	17
Mail-in Responses	0	0	1	0	0	2	2	0	0	1	6
Total Responses	2	0	1	1	1	3	3	2	3	7	23
Response Percentages	9%	0%	4%	4%	4%	13%	13%	9%	13%	30%	
<i>answered question</i>											23
<i>skipped question</i>											0



**Building Scenario B**

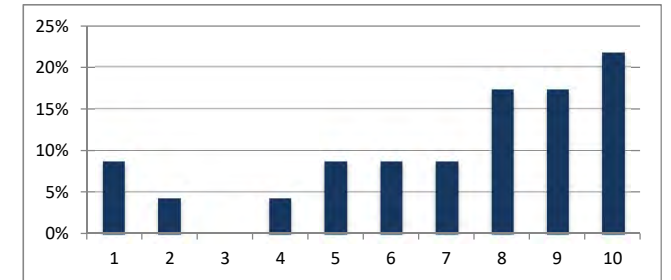
**23. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	0	0	0	1	2	3	3	6	17
Mail-in Responses	0	1	0	0	1	0	3	1	0	0	6
Total Responses	2	1	0	0	1	1	5	4	3	6	23
Response Percentages	9%	4%	0%	0%	4%	4%	22%	17%	13%	26%	
<i>answered question</i>											23
<i>skipped question</i>											0



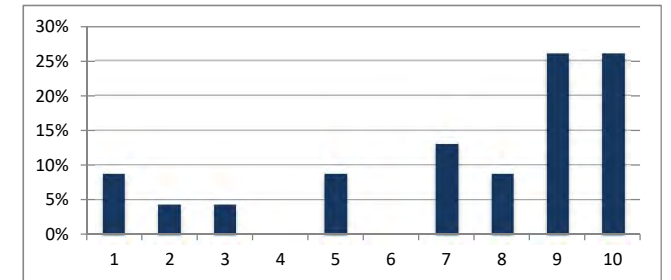
**24. "Size of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	0	0	1	2	1	2	4	5	17
Mail-in Responses	0	1	0	1	1	0	1	2	0	0	6
Total Responses	2	1	0	1	2	2	2	4	4	5	23
Response Percentages	9%	4%	0%	4%	9%	9%	9%	17%	17%	22%	
<i>answered question</i>											23
<i>skipped question</i>											0



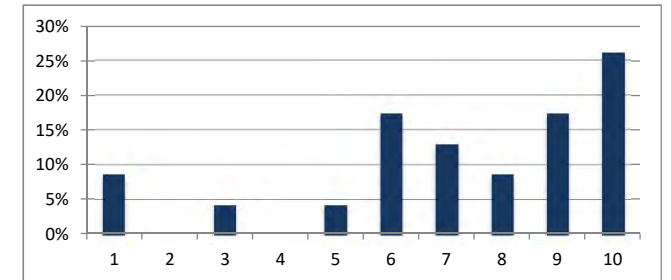
**25. "Height of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	0	0	1	0	2	2	5	5	17
Mail-in Responses	0	1	1	0	1	0	1	0	1	1	6
Total Responses	2	1	1	0	2	0	3	2	6	6	23
Response Percentages	9%	4%	4%	0%	9%	0%	13%	9%	26%	26%	
<i>answered question</i>											23
<i>skipped question</i>											0



**26. "Form (shape) of addition is compatible."**

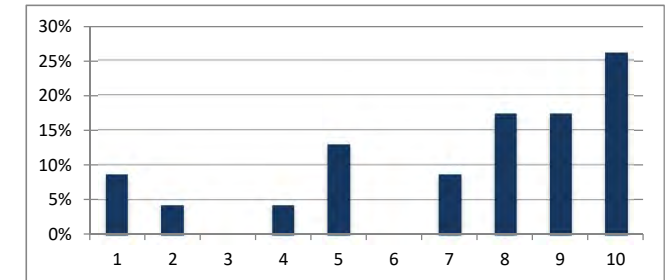
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	0	0	0	3	1	2	4	5	17
Mail-in Responses	0	0	1	0	1	1	2	0	0	1	6
Total Responses	2	0	1	0	1	4	3	2	4	6	23
Response Percentages	9%	0%	4%	0%	4%	17%	13%	9%	17%	26%	
<i>answered question</i>											23
<i>skipped question</i>											0



**Building Scenario C**

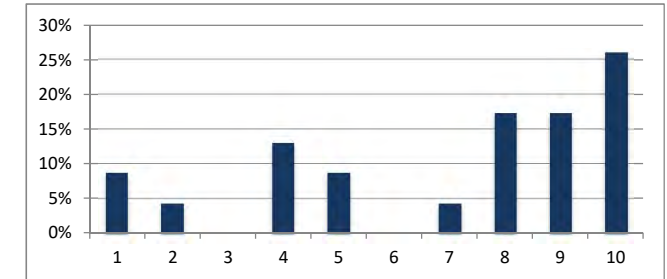
**27. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	0	0	0	2	0	1	3	4	5	17
Mail-in Responses	0	1	0	1	1	0	1	1	0	1	6
<b>Total Responses</b>	<b>2</b>	<b>1</b>	<b>0</b>	<b>1</b>	<b>3</b>	<b>0</b>	<b>2</b>	<b>4</b>	<b>4</b>	<b>6</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>4%</b>	<b>0%</b>	<b>4%</b>	<b>13%</b>	<b>0%</b>	<b>9%</b>	<b>17%</b>	<b>17%</b>	<b>26%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



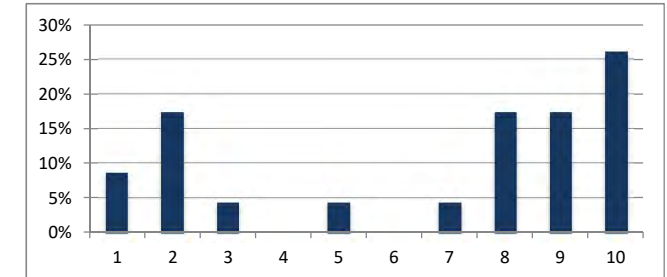
**28. "Size of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	0	0	2	1	0	0	3	4	5	17
Mail-in Responses	0	1	0	1	1	0	1	1	0	1	6
<b>Total Responses</b>	<b>2</b>	<b>1</b>	<b>0</b>	<b>3</b>	<b>2</b>	<b>0</b>	<b>1</b>	<b>4</b>	<b>4</b>	<b>6</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>4%</b>	<b>0%</b>	<b>13%</b>	<b>9%</b>	<b>0%</b>	<b>4%</b>	<b>17%</b>	<b>17%</b>	<b>26%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



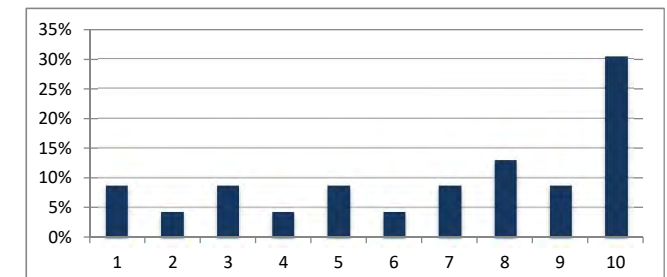
**29. "Height of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	2	1	0	0	0	0	3	4	5	17
Mail-in Responses	0	2	0	0	1	0	1	1	0	1	6
<b>Total Responses</b>	<b>2</b>	<b>4</b>	<b>1</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>1</b>	<b>4</b>	<b>4</b>	<b>6</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>17%</b>	<b>4%</b>	<b>0%</b>	<b>4%</b>	<b>0%</b>	<b>4%</b>	<b>17%</b>	<b>17%</b>	<b>26%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**30. "Form (shape) of addition is compatible."**

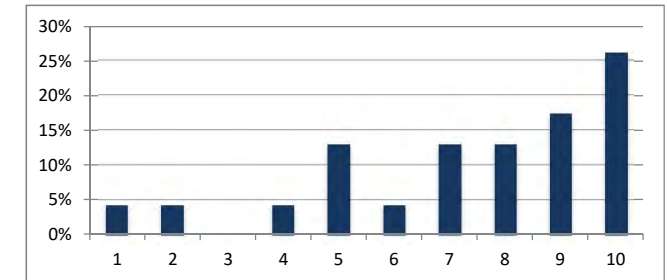
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	0	2	1	1	1	0	2	2	6	17
Mail-in Responses	0	1	0	0	1	0	2	1	0	1	6
<b>Total Responses</b>	<b>2</b>	<b>1</b>	<b>2</b>	<b>1</b>	<b>2</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>2</b>	<b>7</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>4%</b>	<b>9%</b>	<b>4%</b>	<b>9%</b>	<b>4%</b>	<b>9%</b>	<b>13%</b>	<b>9%</b>	<b>30%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**Building Scenario D**

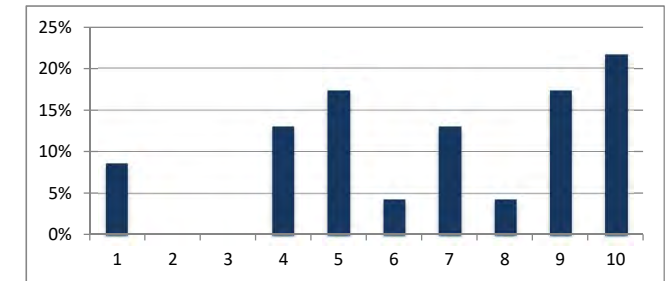
**31. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	1	0	0	0	2	1	2	2	3	6	17
Mail-in Responses	0	1	0	1	1	0	1	1	1	0	6
<b>Total Responses</b>	<b>1</b>	<b>1</b>	<b>0</b>	<b>1</b>	<b>3</b>	<b>1</b>	<b>3</b>	<b>3</b>	<b>4</b>	<b>6</b>	<b>23</b>
<b>Response Percentages</b>	<b>4%</b>	<b>4%</b>	<b>0%</b>	<b>4%</b>	<b>13%</b>	<b>4%</b>	<b>13%</b>	<b>13%</b>	<b>17%</b>	<b>26%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



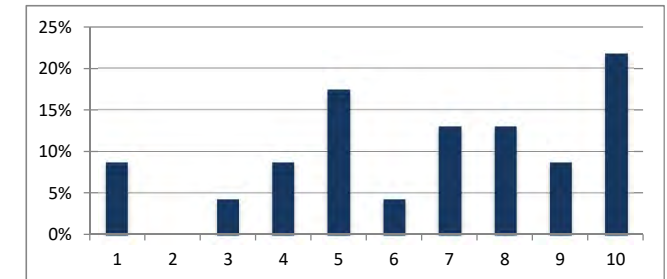
**32. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	1	0	0	0	4	1	2	1	3	5	17
Mail-in Responses	1	0	0	3	0	0	1	0	1	0	6
<b>Total Responses</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>3</b>	<b>4</b>	<b>1</b>	<b>3</b>	<b>1</b>	<b>4</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>0%</b>	<b>0%</b>	<b>13%</b>	<b>17%</b>	<b>4%</b>	<b>13%</b>	<b>4%</b>	<b>17%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



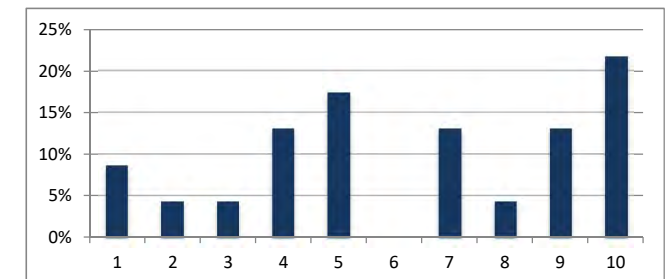
**33. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	1	0	0	0	4	1	2	3	1	5	17
Mail-in Responses	1	0	1	2	0	0	1	0	1	0	6
<b>Total Responses</b>	<b>2</b>	<b>0</b>	<b>1</b>	<b>2</b>	<b>4</b>	<b>1</b>	<b>3</b>	<b>3</b>	<b>2</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>0%</b>	<b>4%</b>	<b>9%</b>	<b>17%</b>	<b>4%</b>	<b>13%</b>	<b>13%</b>	<b>9%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**34. "Building form (shape) is compatible."**

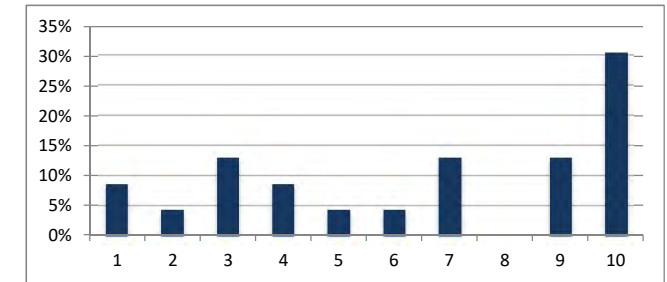
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	1	1	0	1	3	0	2	1	3	5	17
Mail-in Responses	1	0	1	2	1	0	1	0	0	0	6
<b>Total Responses</b>	<b>2</b>	<b>1</b>	<b>1</b>	<b>3</b>	<b>4</b>	<b>0</b>	<b>3</b>	<b>1</b>	<b>3</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>4%</b>	<b>4%</b>	<b>13%</b>	<b>17%</b>	<b>0%</b>	<b>13%</b>	<b>4%</b>	<b>13%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**Building Scenario E**

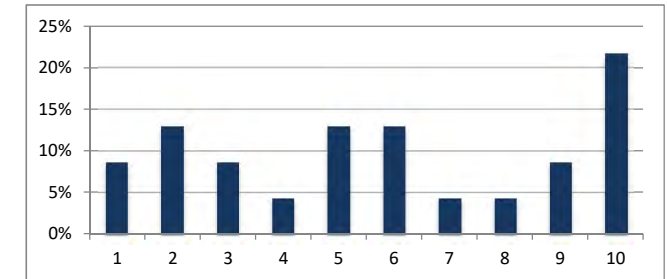
**35. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	0	2	1	0	1	2	0	3	6	17
Mail-in Responses	0	1	1	1	1	0	1	0	0	1	6
<b>Total Responses</b>	<b>2</b>	<b>1</b>	<b>3</b>	<b>2</b>	<b>1</b>	<b>1</b>	<b>3</b>	<b>0</b>	<b>3</b>	<b>7</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>4%</b>	<b>13%</b>	<b>9%</b>	<b>4%</b>	<b>4%</b>	<b>13%</b>	<b>0%</b>	<b>13%</b>	<b>30%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



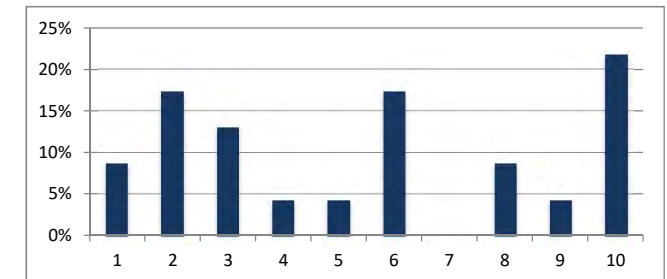
**36. "Building size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	1	2	0	2	3	0	1	1	5	17
Mail-in Responses	0	2	0	1	1	0	1	0	1	0	6
<b>Total Responses</b>	<b>2</b>	<b>3</b>	<b>2</b>	<b>1</b>	<b>3</b>	<b>3</b>	<b>1</b>	<b>1</b>	<b>2</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>13%</b>	<b>9%</b>	<b>4%</b>	<b>13%</b>	<b>13%</b>	<b>4%</b>	<b>4%</b>	<b>9%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



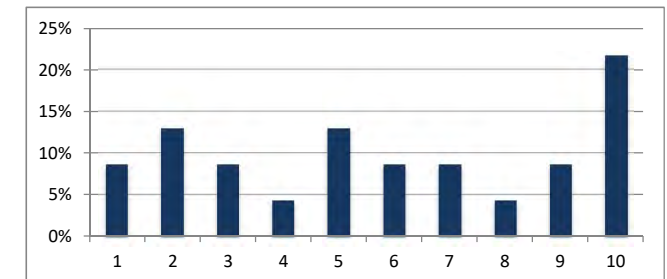
**37. "Overall height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	2	3	0	0	3	0	2	1	4	17
Mail-in Responses	0	2	0	1	1	1	0	0	0	1	6
<b>Total Responses</b>	<b>2</b>	<b>4</b>	<b>3</b>	<b>1</b>	<b>1</b>	<b>4</b>	<b>0</b>	<b>2</b>	<b>1</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>17%</b>	<b>13%</b>	<b>4%</b>	<b>4%</b>	<b>17%</b>	<b>0%</b>	<b>9%</b>	<b>4%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**38. "Building shape (form) is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	2	2	0	3	1	0	1	1	5	17
Mail-in Responses	0	1	0	1	0	1	2	0	1	0	6
<b>Total Responses</b>	<b>2</b>	<b>3</b>	<b>2</b>	<b>1</b>	<b>3</b>	<b>2</b>	<b>2</b>	<b>1</b>	<b>2</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>9%</b>	<b>13%</b>	<b>9%</b>	<b>4%</b>	<b>13%</b>	<b>9%</b>	<b>9%</b>	<b>4%</b>	<b>9%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>

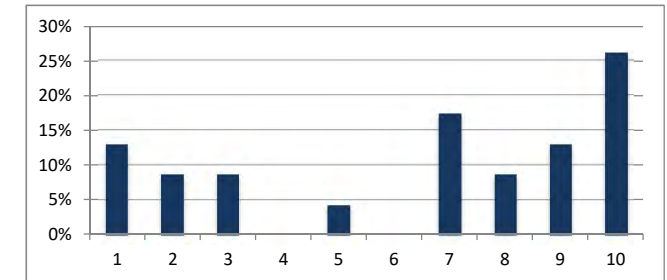




**Building Scenario F**

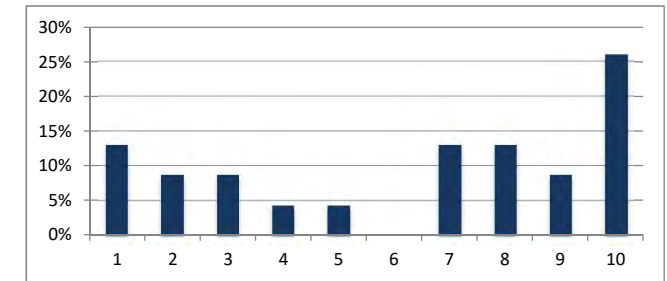
**39. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	1	2	0	0	0	3	1	2	6	17
Mail-in Responses	1	1	0	0	1	0	1	1	1	0	6
<b>Total Responses</b>	<b>3</b>	<b>2</b>	<b>2</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>4</b>	<b>2</b>	<b>3</b>	<b>6</b>	<b>23</b>
<b>Response Percentages</b>	<b>13%</b>	<b>9%</b>	<b>9%</b>	<b>0%</b>	<b>4%</b>	<b>0%</b>	<b>17%</b>	<b>9%</b>	<b>13%</b>	<b>26%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



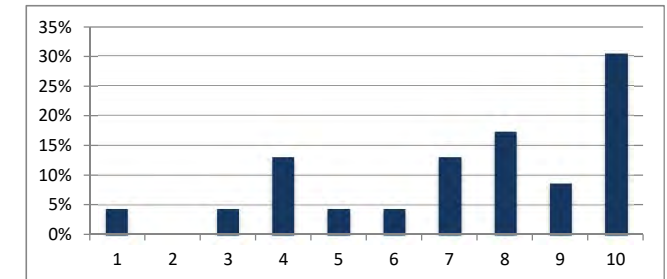
**40. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	2	1	2	0	1	0	2	1	2	6	17
Mail-in Responses	1	1	0	1	0	0	1	2	0	0	6
<b>Total Responses</b>	<b>3</b>	<b>2</b>	<b>2</b>	<b>1</b>	<b>1</b>	<b>0</b>	<b>3</b>	<b>3</b>	<b>2</b>	<b>6</b>	<b>23</b>
<b>Response Percentages</b>	<b>13%</b>	<b>9%</b>	<b>9%</b>	<b>4%</b>	<b>4%</b>	<b>0%</b>	<b>13%</b>	<b>13%</b>	<b>9%</b>	<b>26%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



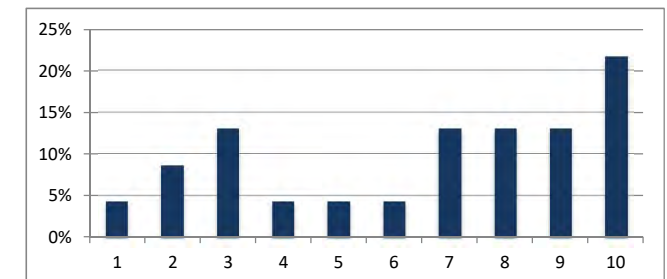
**41. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	1	0	1	1	1	1	1	3	2	6	17
Mail-in Responses	0	0	0	2	0	0	2	1	0	1	6
<b>Total Responses</b>	<b>1</b>	<b>0</b>	<b>1</b>	<b>3</b>	<b>1</b>	<b>1</b>	<b>3</b>	<b>4</b>	<b>2</b>	<b>7</b>	<b>23</b>
<b>Response Percentages</b>	<b>4%</b>	<b>0%</b>	<b>4%</b>	<b>13%</b>	<b>4%</b>	<b>4%</b>	<b>13%</b>	<b>17%</b>	<b>9%</b>	<b>30%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**42. "Building shape (form) is compatible."**

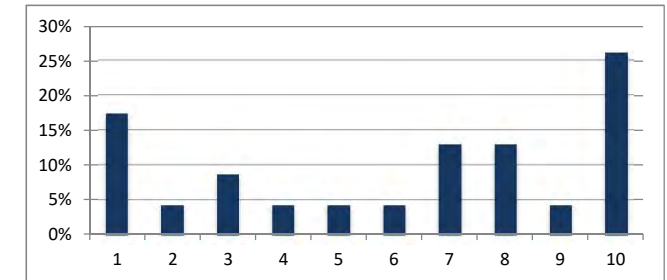
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	1	2	3	4	5	
On-line Responses	1	1	2	0	1	1	2	2	2	5	17
Mail-in Responses	0	1	1	1	0	0	1	1	1	0	6
<b>Total Responses</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>4%</b>	<b>9%</b>	<b>13%</b>	<b>4%</b>	<b>4%</b>	<b>4%</b>	<b>13%</b>	<b>13%</b>	<b>13%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**Building Scenario G**

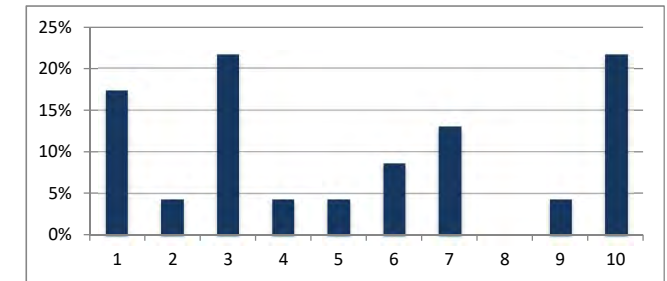
**43. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	1	2	0	0	1	1	2	1	6	17
Mail-in Responses	1	0	0	1	1	0	2	1	0	0	6
<b>Total Responses</b>	<b>4</b>	<b>1</b>	<b>2</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>3</b>	<b>3</b>	<b>1</b>	<b>6</b>	<b>23</b>
<b>Response Percentages</b>	<b>17%</b>	<b>4%</b>	<b>9%</b>	<b>4%</b>	<b>4%</b>	<b>4%</b>	<b>13%</b>	<b>13%</b>	<b>4%</b>	<b>26%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



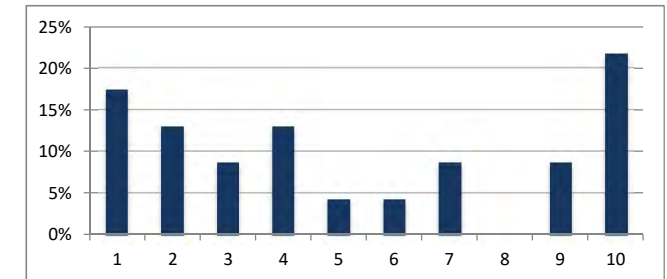
**44. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	1	4	0	1	2	0	0	1	5	17
Mail-in Responses	1	0	1	1	0	0	3	0	0	0	6
<b>Total Responses</b>	<b>4</b>	<b>1</b>	<b>5</b>	<b>1</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>0</b>	<b>1</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>17%</b>	<b>4%</b>	<b>22%</b>	<b>4%</b>	<b>4%</b>	<b>9%</b>	<b>13%</b>	<b>0%</b>	<b>4%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



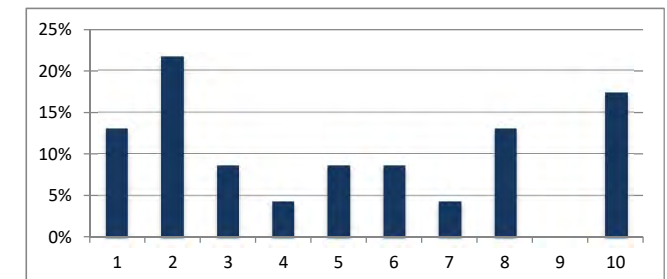
**45. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	1	2	2	1	1	0	0	1	5	17
Mail-in Responses	0	2	0	1	0	0	2	0	1	0	6
<b>Total Responses</b>	<b>4</b>	<b>3</b>	<b>2</b>	<b>3</b>	<b>1</b>	<b>1</b>	<b>2</b>	<b>0</b>	<b>2</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>17%</b>	<b>13%</b>	<b>9%</b>	<b>13%</b>	<b>4%</b>	<b>4%</b>	<b>9%</b>	<b>0%</b>	<b>9%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**46. "Building shape (form) is compatible."**

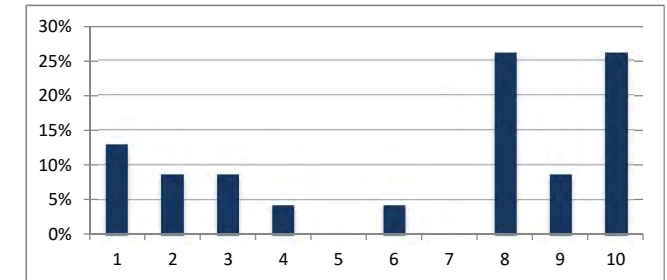
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	3	2	0	2	2	0	1	0	4	17
Mail-in Responses	0	2	0	1	0	0	1	2	0	0	6
<b>Total Responses</b>	<b>3</b>	<b>5</b>	<b>2</b>	<b>1</b>	<b>2</b>	<b>2</b>	<b>1</b>	<b>3</b>	<b>0</b>	<b>4</b>	<b>23</b>
<b>Response Percentages</b>	<b>13%</b>	<b>22%</b>	<b>9%</b>	<b>4%</b>	<b>9%</b>	<b>9%</b>	<b>4%</b>	<b>13%</b>	<b>0%</b>	<b>17%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**Building Scenario H**

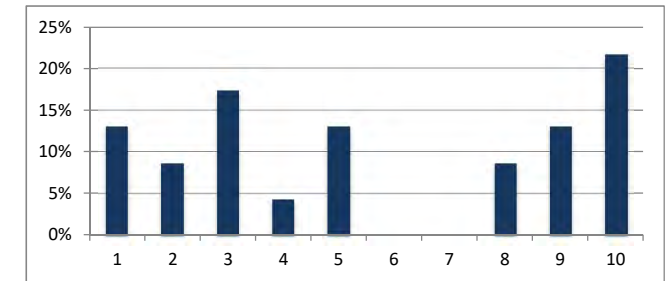
**47. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	0	2	1	0	0	0	3	2	6	17
Mail-in Responses	0	2	0	0	0	1	0	3	0	0	6
<b>Total Responses</b>	<b>3</b>	<b>2</b>	<b>2</b>	<b>1</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>6</b>	<b>2</b>	<b>6</b>	<b>23</b>
<b>Response Percentages</b>	<b>13%</b>	<b>9%</b>	<b>9%</b>	<b>4%</b>	<b>0%</b>	<b>4%</b>	<b>0%</b>	<b>26%</b>	<b>9%</b>	<b>26%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



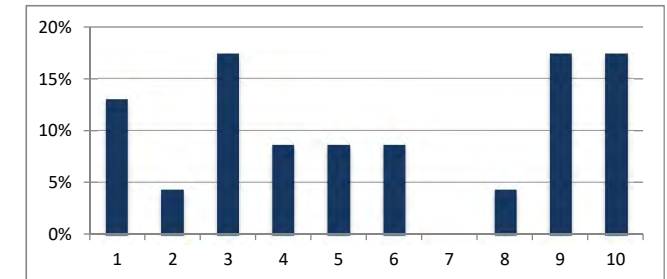
**48. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	0	4	1	1	0	0	0	3	5	17
Mail-in Responses	0	2	0	0	2	0	0	2	0	0	6
<b>Total Responses</b>	<b>3</b>	<b>2</b>	<b>4</b>	<b>1</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>3</b>	<b>5</b>	<b>23</b>
<b>Response Percentages</b>	<b>13%</b>	<b>9%</b>	<b>17%</b>	<b>4%</b>	<b>13%</b>	<b>0%</b>	<b>0%</b>	<b>9%</b>	<b>13%</b>	<b>22%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



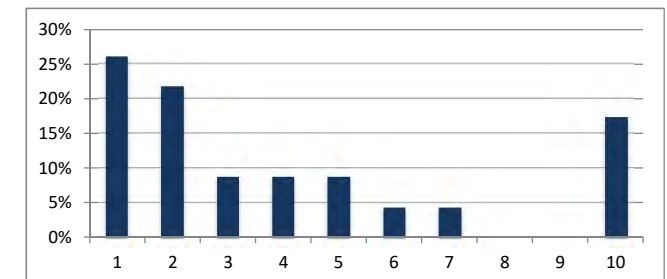
**49. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	0	3	2	2	0	0	0	3	4	17
Mail-in Responses	0	1	1	0	0	2	0	1	1	0	6
<b>Total Responses</b>	<b>3</b>	<b>1</b>	<b>4</b>	<b>2</b>	<b>2</b>	<b>2</b>	<b>0</b>	<b>1</b>	<b>4</b>	<b>4</b>	<b>23</b>
<b>Response Percentages</b>	<b>13%</b>	<b>4%</b>	<b>17%</b>	<b>9%</b>	<b>9%</b>	<b>9%</b>	<b>0%</b>	<b>4%</b>	<b>17%</b>	<b>17%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>



**50. "Building shape (form) is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	2	2	1	2	0	1	0	0	4	17
Mail-in Responses	1	3	0	1	0	1	0	0	0	0	6
<b>Total Responses</b>	<b>6</b>	<b>5</b>	<b>2</b>	<b>2</b>	<b>2</b>	<b>1</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>4</b>	<b>23</b>
<b>Response Percentages</b>	<b>26%</b>	<b>22%</b>	<b>9%</b>	<b>9%</b>	<b>9%</b>	<b>4%</b>	<b>4%</b>	<b>0%</b>	<b>0%</b>	<b>17%</b>	
<i>answered question</i>											<b>23</b>
<i>skipped question</i>											<b>0</b>

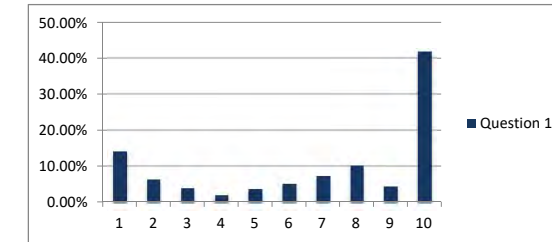


# Houston Heights East - Compatible Design Survey - Survey Results Sheet

## Part 1: Overall Issues in the District

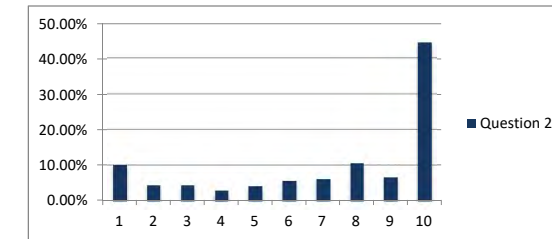
### 1. "Some recent construction in my historic district is too large."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	15	9	4	2	1	6	9	14	5	34	99
Mail-in Responses	20	7	6	3	8	7	9	11	6	69	146
Total Responses	35	16	10	5	9	13	18	25	11	103	245
Response Percentages	14.29%	6.53%	4.08%	2.04%	3.67%	5.31%	7.35%	10.20%	4.49%	42.04%	
	answered question										245
	skipped question										7



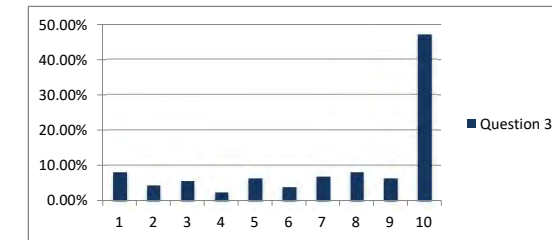
### 2. "The loss of green space when a larger building is constructed is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	10	7	4	1	7	8	5	11	10	35	98
Mail-in Responses	15	4	7	6	3	6	10	15	6	74	146
Total Responses	25	11	11	7	10	14	15	26	16	109	244
Response Percentages	10.25%	4.51%	4.51%	2.87%	4.10%	5.74%	6.15%	10.66%	6.56%	44.67%	
	answered question										244
	skipped question										8



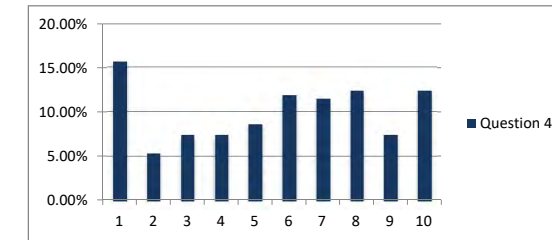
### 3. "The loss of mature vegetation when new construction occurs is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	9	6	5	2	7	4	10	8	9	40	100
Mail-in Responses	11	5	9	4	9	6	7	12	7	76	146
Total Responses	20	11	14	6	16	10	17	20	16	116	246
Response Percentages	8.13%	4.47%	5.69%	2.44%	6.50%	4.07%	6.91%	8.13%	6.50%	47.15%	
	answered question										246
	skipped question										6



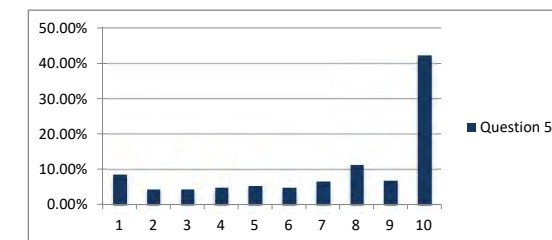
### 4. "Most recent new construction has been compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	11	6	8	8	13	11	11	10	10	11	99
Mail-in Responses	27	7	10	10	8	18	17	20	8	19	144
Total Responses	38	13	18	18	21	29	28	30	18	30	243
Response Percentages	15.64%	5.35%	7.41%	7.41%	8.64%	11.93%	11.52%	12.35%	7.41%	12.35%	
	answered question										243
	skipped question										9



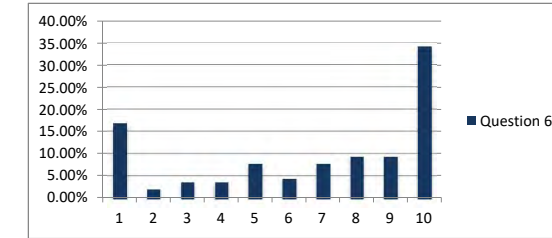
### 5. "A large house next door diminishes privacy in neighbors' back yards."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	10	5	3	6	7	6	8	10	9	35	99
Mail-in Responses	11	6	8	6	6	6	8	18	8	69	146
Total Responses	21	11	11	12	13	12	16	28	17	104	245
Response Percentages	8.57%	4.49%	4.49%	4.90%	5.31%	4.90%	6.53%	11.43%	6.94%	42.45%	
	answered question										245
	skipped question										7



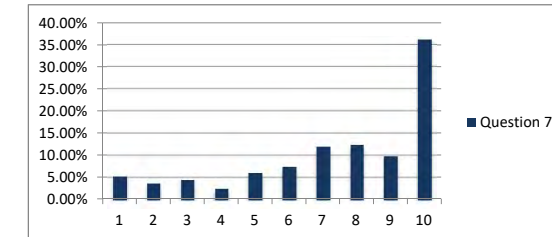
**6. "Regulations that protect historic district character will enhance property values."**

Answer Options	Strongly Disagree										Strongly Agree										Response Count
On-line Responses	20	3	3	2	8	5	6	8	15	29	20	13	15	8	54	99					
Mail-in Responses	21	2	6	7	11	6	13	15	8	54	143										
Total Responses	41	5	9	9	19	11	19	23	23	83	242										
Response Percentages	16.94%	2.07%	3.72%	3.72%	7.85%	4.55%	7.85%	9.50%	9.50%	34.30%											
												answered question	242								
												skipped question	10								



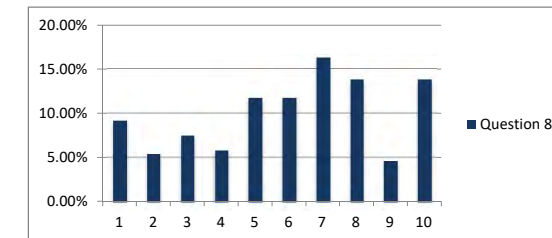
**7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."**

Answer Options	Strongly Disagree										Strongly Agree										Response Count
On-line Responses	4	3	3	0	6	10	13	13	8	39	99										
Mail-in Responses	9	6	8	6	9	8	16	17	16	49	144										
Total Responses	13	9	11	6	15	18	29	30	24	88	243										
Response Percentages	5.35%	3.70%	4.53%	2.47%	6.17%	7.41%	11.93%	12.35%	9.88%	36.21%											
												answered question	243								
												skipped question	9								



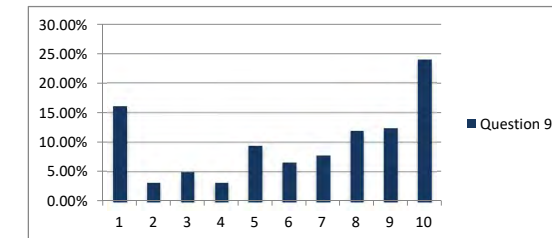
**8. "Most recent renovation projects have been appropriate."**

Answer Options	Strongly Disagree										Strongly Agree										Response Count
On-line Responses	7	5	7	7	9	13	16	18	4	13	99										
Mail-in Responses	15	8	11	7	19	15	23	15	7	20	140										
Total Responses	22	13	18	14	28	28	39	33	11	33	239										
Response Percentages	9.21%	5.44%	7.53%	5.86%	11.72%	11.72%	16.32%	13.81%	4.60%	13.81%											
												answered question	239								
												skipped question	13								



**9. "An addition to a historic building should be visually subordinate to the building."**

Answer Options	Strongly Disagree										Strongly Agree										Response Count
On-line Responses	22	4	4	3	9	5	9	11	12	19	98										
Mail-in Responses	17	4	8	5	14	11	10	18	18	39	144										
Total Responses	39	8	12	8	23	16	19	29	30	58	242										
Response Percentages	16.12%	3.31%	4.96%	3.31%	9.50%	6.61%	7.85%	11.98%	12.40%	23.97%											
												answered question	242								
												skipped question	10								



**10. Have you previously attended a community workshop for this project?**

Answer Options	Response Percent	Response Count	
Yes	26.0%	26	
No	74.0%	72	
		answered question	98
		skipped question	3

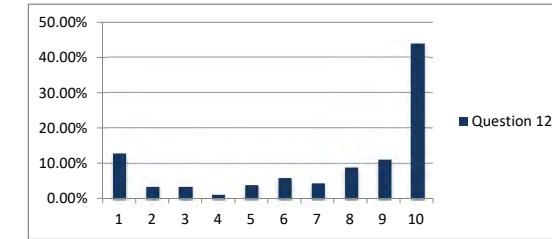
**11. What are the key issues related to the treatment of historic buildings in the district?**

Answer Options	Response Count
	116
answered question	116
skipped question	136

Part 2: Design Tools

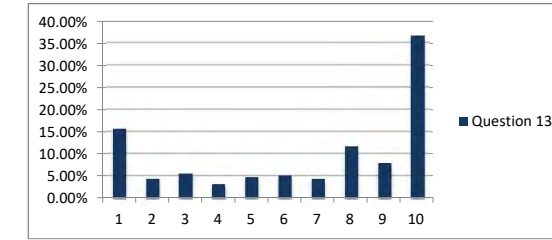
12. Building Size in Relation to Lot Size Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses. Please indicate the degree to which you agree or disagree with this statement: "Guidelines which relate the size of a building to the size of its lot should be considered."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	13	6	1	1	6	9	2	7	18	35	98
Mail-in Responses	19	3	8	2	4	6	9	15	10	74	150
Total Responses	32	9	9	3	10	15	11	22	28	109	248
Response Percentages	12.90%	3.63%	3.63%	1.21%	4.03%	6.05%	4.44%	8.87%	11.29%	43.95%	
answered question											248
skipped question											4



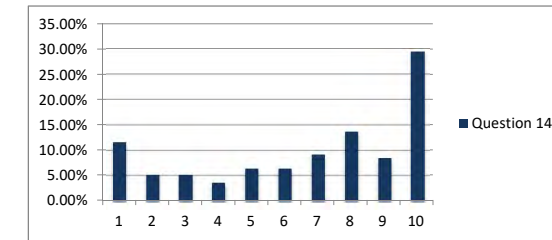
13. Lot Coverage All areas of a property that are covered by buildings and roofed porches are included in lot coverage. Please indicate the degree to which you agree or disagree with this statement: "A limit on the percentage of lot coverage should be considered to help maintain open space."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	17	5	3	2	7	10	2	11	10	31	98
Mail-in Responses	22	6	11	6	5	3	9	18	10	60	150
Total Responses	39	11	14	8	12	13	11	29	20	91	248
Response Percentages	15.73%	4.44%	5.65%	3.23%	4.84%	5.24%	4.44%	11.69%	8.06%	36.69%	
answered question											248
skipped question											4



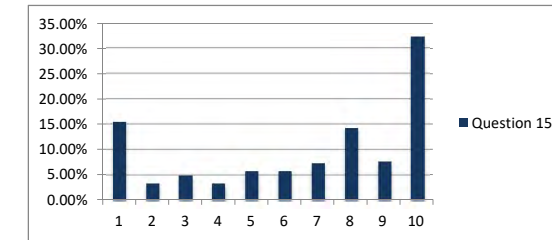
14. One-Story Element A one-story element (to the front or side of a house) can help reduce its perceived size. Please indicate the degree to which you agree or disagree with this statement: "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	11	6	5	2	6	6	12	14	12	25	99
Mail-in Responses	18	7	8	7	10	10	11	20	9	48	148
Total Responses	29	13	13	9	16	16	23	34	21	73	247
Response Percentages	11.74%	5.26%	5.26%	3.64%	6.48%	6.48%	9.31%	13.77%	8.50%	29.55%	
answered question											247
skipped question											5



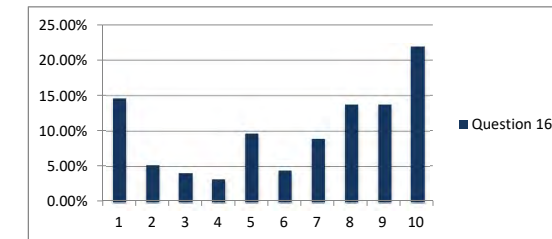
15. Maximum Building Envelope A maximum building envelope can modify the shape and limit the overall size of a building on its lot. Please indicate the degree to which you agree or disagree with this statement: "A maximum building envelope should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	18	3	3	3	6	8	6	16	9	26	98
Mail-in Responses	20	5	9	5	8	6	12	19	10	53	147
Total Responses	38	8	12	8	14	14	18	35	19	79	245
Response Percentages	15.51%	3.27%	4.90%	3.27%	5.71%	5.71%	7.35%	14.29%	7.76%	32.24%	
answered question											245
skipped question											7



16. Side Wall Offset Limiting the length of a side wall can reduce the perceived size of a house. Please indicate the degree to which you agree or disagree with this statement: "A side wall offset should be considered as a tool to reduce perceived building size."

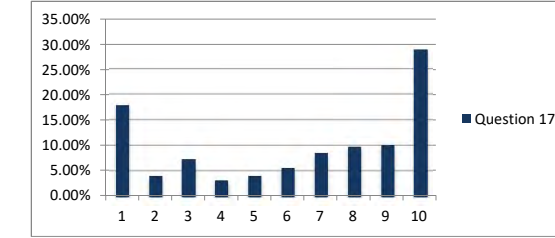
Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	19	6	1	4	7	9	7	13	13	19	98
Mail-in Responses	17	7	9	4	17	2	15	21	21	35	148
Total Responses	36	13	10	8	24	11	22	34	34	54	246
Response Percentages	14.63%	5.28%	4.07%	3.25%	9.76%	4.47%	8.94%	13.82%	13.82%	21.95%	
answered question											246
skipped question											6





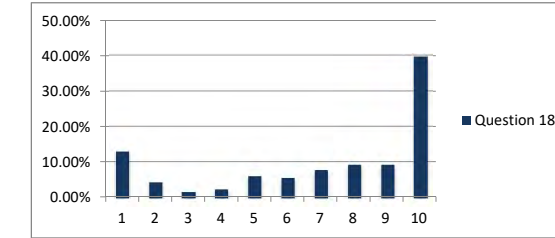
17. Wall Height Guidelines can limit the height of all or part of a wall to reduce perceived building size. Please indicate the degree to which you agree or disagree with this statement: "A wall height limit should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	20	3	6	3	7	9	8	7	7	28	98	
Mail-in Responses	24	7	12	5	3	5	13	17	18	43	147	
Total Responses	44	10	18	8	10	14	21	24	25	71	245	
Response Percentages	17.96%	4.08%	7.35%	3.27%	4.08%	5.71%	8.57%	9.80%	10.20%	28.98%		
											answered question	245
											skipped question	7



18. Parking Location The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site. Please indicate the degree to which you agree or disagree with this statement: "Design guidelines should address appropriate parking locations."

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	11	7	2	2	6	10	11	11	10	28	98	
Mail-in Responses	21	4	2	4	9	4	8	12	13	69	146	
Total Responses	32	11	4	6	15	14	19	23	23	97	244	
Response Percentages	13.11%	4.51%	1.64%	2.46%	6.15%	5.74%	7.79%	9.43%	9.43%	39.75%		
											answered question	244
											skipped question	8

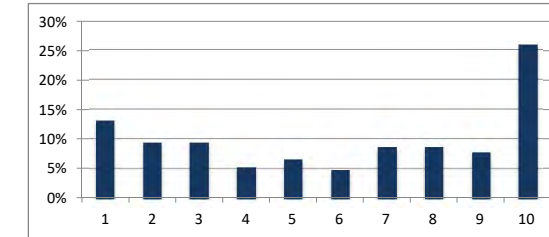


Part 3: Building Scenarios

Building Scenario A

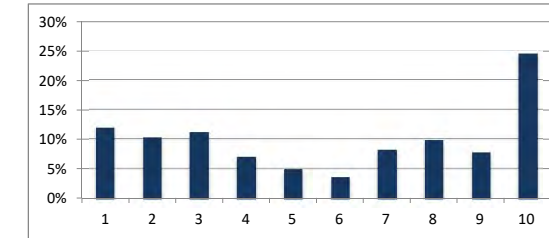
19. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	13	5	6	4	7	5	10	8	10	27	95
Mail-in Responses	19	18	17	9	9	7	11	13	9	36	148
Total Responses	32	23	23	13	16	12	21	21	19	63	243
Response Percentages	13%	9%	9%	5%	7%	5%	9%	9%	8%	26%	
	<i>answered question</i>										243
	<i>skipped question</i>										9



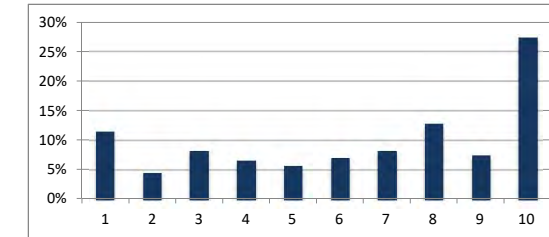
20. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	10	5	8	5	8	3	9	6	11	28	93
Mail-in Responses	19	20	19	12	4	6	11	18	8	31	148
Total Responses	29	25	27	17	12	9	20	24	19	59	241
Response Percentages	12%	10%	11%	7%	5%	4%	8%	10%	8%	24%	
	<i>answered question</i>										241
	<i>skipped question</i>										11



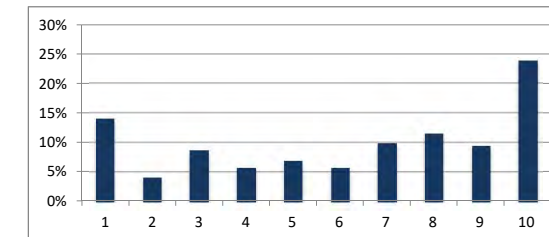
21. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	10	1	5	3	7	7	9	14	8	31	95
Mail-in Responses	18	10	15	13	7	10	11	17	10	35	146
Total Responses	28	11	20	16	14	17	20	31	18	66	241
Response Percentages	12%	5%	8%	7%	6%	7%	8%	13%	7%	27%	
	<i>answered question</i>										241
	<i>skipped question</i>										11



22. "Form (shape) of addition is compatible."

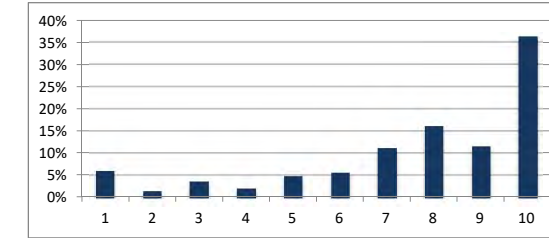
Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	12	2	8	3	9	5	10	11	10	25	95
Mail-in Responses	22	8	13	11	8	9	14	17	13	33	148
Total Responses	34	10	21	14	17	14	24	28	23	58	243
Response Percentages	14%	4%	9%	6%	7%	6%	10%	12%	9%	24%	
	<i>answered question</i>										243
	<i>skipped question</i>										9



Building Scenario B

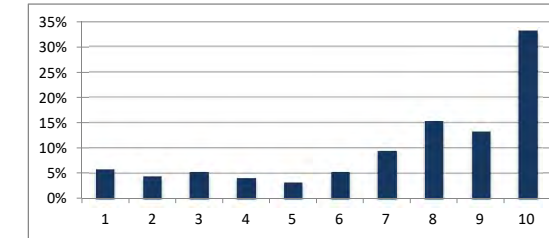
23. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	8	0	1	2	4	6	12	15	14	31	93	
Mail-in Responses	7	4	8	3	8	8	15	24	14	57	148	
<b>Total Responses</b>	<b>15</b>	<b>4</b>	<b>9</b>	<b>5</b>	<b>12</b>	<b>14</b>	<b>27</b>	<b>39</b>	<b>28</b>	<b>88</b>	<b>241</b>	
Response Percentages	6%	2%	4%	2%	5%	6%	11%	16%	12%	37%		
											<i>answered question</i>	241
											<i>skipped question</i>	11



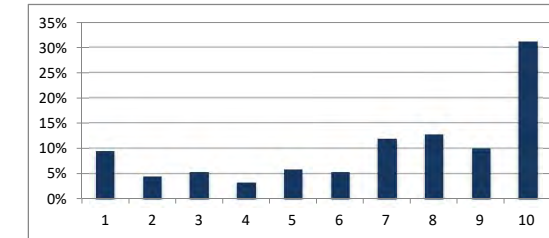
24. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	7	2	4	1	3	5	12	13	15	31	93	
Mail-in Responses	7	9	9	5	5	8	11	24	17	49	148	
<b>Total Responses</b>	<b>14</b>	<b>11</b>	<b>13</b>	<b>10</b>	<b>8</b>	<b>13</b>	<b>23</b>	<b>37</b>	<b>32</b>	<b>80</b>	<b>241</b>	
Response Percentages	6%	5%	5%	4%	3%	5%	10%	15%	13%	33%		
											<i>answered question</i>	241
											<i>skipped question</i>	11



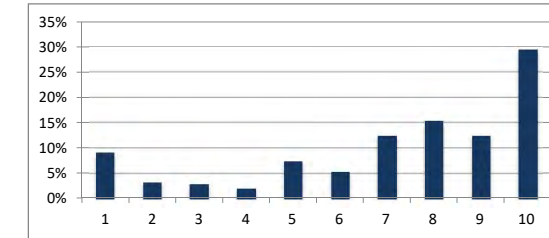
25. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	8	0	3	3	5	5	14	11	12	32	93	
Mail-in Responses	15	11	10	5	9	8	15	20	12	43	148	
<b>Total Responses</b>	<b>23</b>	<b>11</b>	<b>13</b>	<b>8</b>	<b>14</b>	<b>13</b>	<b>29</b>	<b>31</b>	<b>24</b>	<b>75</b>	<b>241</b>	
Response Percentages	10%	5%	5%	3%	6%	5%	12%	13%	10%	31%		
											<i>answered question</i>	241
											<i>skipped question</i>	11



26. "Form (shape) of addition is compatible."

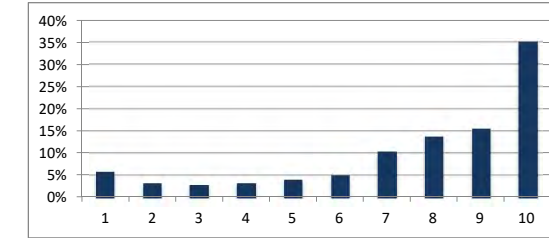
Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	10	1	3	2	4	4	11	13	16	29	93	
Mail-in Responses	12	7	4	3	14	9	19	24	14	42	148	
<b>Total Responses</b>	<b>22</b>	<b>8</b>	<b>7</b>	<b>5</b>	<b>18</b>	<b>13</b>	<b>30</b>	<b>37</b>	<b>30</b>	<b>71</b>	<b>241</b>	
Response Percentages	9%	3%	3%	2%	7%	5%	12%	15%	12%	29%		
											<i>answered question</i>	241
											<i>skipped question</i>	11



Building Scenario C

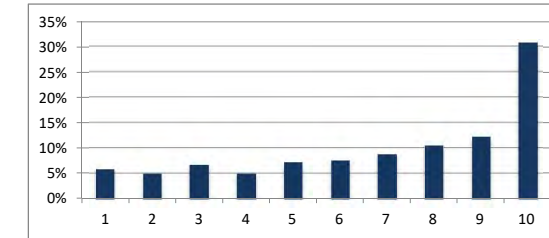
27. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	2	4	3	1	6	11	12	15	33	93
Mail-in Responses	8	6	3	5	9	6	14	21	22	51	145
<b>Total Responses</b>	<b>14</b>	<b>8</b>	<b>7</b>	<b>8</b>	<b>10</b>	<b>12</b>	<b>25</b>	<b>33</b>	<b>37</b>	<b>84</b>	<b>238</b>
Response Percentages	6%	3%	3%	3%	4%	5%	11%	14%	16%	35%	
<i>answered question</i>											<b>238</b>
<i>skipped question</i>											<b>14</b>



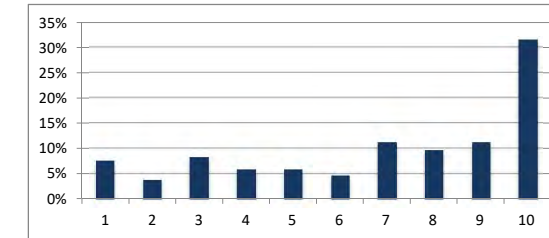
28. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	2	7	5	5	8	8	9	12	29	93
Mail-in Responses	6	10	9	7	12	10	13	16	17	44	144
<b>Total Responses</b>	<b>14</b>	<b>12</b>	<b>16</b>	<b>12</b>	<b>17</b>	<b>18</b>	<b>21</b>	<b>25</b>	<b>29</b>	<b>73</b>	<b>237</b>
Response Percentages	6%	5%	7%	5%	7%	8%	9%	11%	12%	31%	
<i>answered question</i>											<b>237</b>
<i>skipped question</i>											<b>15</b>



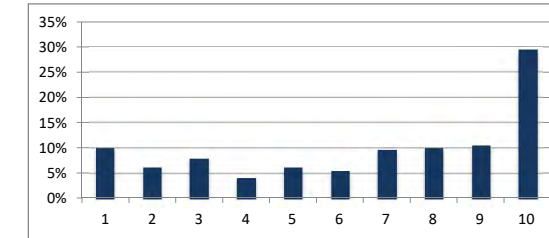
29. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	9	2	10	7	3	3	9	11	9	30	93
Mail-in Responses	9	7	10	7	11	8	18	12	18	45	145
<b>Total Responses</b>	<b>18</b>	<b>9</b>	<b>20</b>	<b>14</b>	<b>14</b>	<b>11</b>	<b>27</b>	<b>23</b>	<b>27</b>	<b>75</b>	<b>238</b>
Response Percentages	8%	4%	8%	6%	6%	5%	11%	10%	11%	32%	
<i>answered question</i>											<b>238</b>
<i>skipped question</i>											<b>14</b>



30. "Form (shape) of addition is compatible."

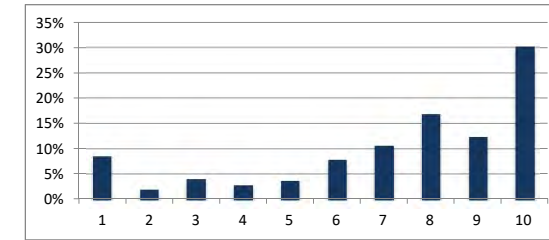
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	4	10	5	4	7	10	9	8	23	93
Mail-in Responses	11	11	9	5	11	6	13	15	17	47	145
<b>Total Responses</b>	<b>24</b>	<b>15</b>	<b>19</b>	<b>10</b>	<b>15</b>	<b>13</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>70</b>	<b>238</b>
Response Percentages	10%	6%	8%	4%	6%	5%	10%	10%	11%	29%	
<i>answered question</i>											<b>238</b>
<i>skipped question</i>											<b>14</b>



**Building Scenario D**

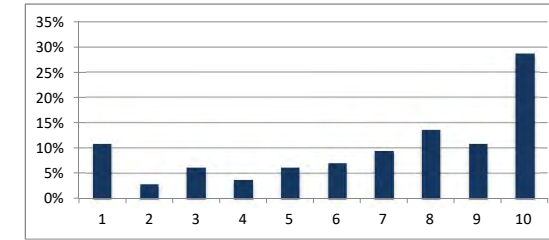
**31. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	2	1	1	5	8	12	19	13	30	94
Mail-in Responses	18	3	9	6	4	11	14	22	17	43	147
<b>Total Responses</b>	<b>21</b>	<b>5</b>	<b>10</b>	<b>7</b>	<b>9</b>	<b>19</b>	<b>26</b>	<b>41</b>	<b>30</b>	<b>73</b>	<b>241</b>
Response Percentages	9%	2%	4%	3%	4%	8%	11%	17%	12%	30%	
<i>answered question</i>											<b>241</b>
<i>skipped question</i>											<b>11</b>



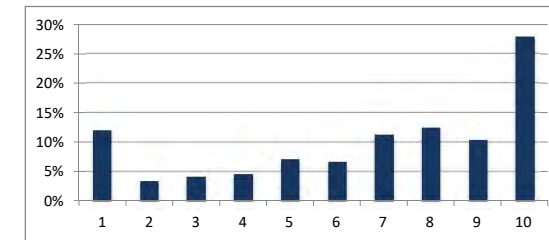
**32. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	3	1	1	8	10	10	14	12	30	93
Mail-in Responses	22	4	14	8	7	7	13	19	14	39	147
<b>Total Responses</b>	<b>26</b>	<b>7</b>	<b>15</b>	<b>9</b>	<b>15</b>	<b>17</b>	<b>23</b>	<b>33</b>	<b>26</b>	<b>69</b>	<b>240</b>
Response Percentages	11%	3%	6%	4%	6%	7%	10%	14%	11%	29%	
<i>answered question</i>											<b>240</b>
<i>skipped question</i>											<b>12</b>



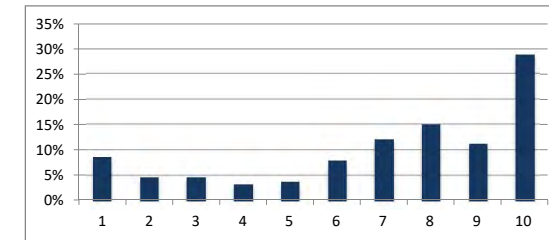
**33. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	3	2	4	6	8	14	8	15	28	93
Mail-in Responses	24	5	8	7	11	8	13	22	10	39	147
<b>Total Responses</b>	<b>29</b>	<b>8</b>	<b>10</b>	<b>11</b>	<b>17</b>	<b>16</b>	<b>27</b>	<b>30</b>	<b>25</b>	<b>67</b>	<b>240</b>
Response Percentages	12%	3%	4%	5%	7%	7%	11%	13%	10%	28%	
<i>answered question</i>											<b>240</b>
<i>skipped question</i>											<b>12</b>



**34. "Building form (shape) is compatible."**

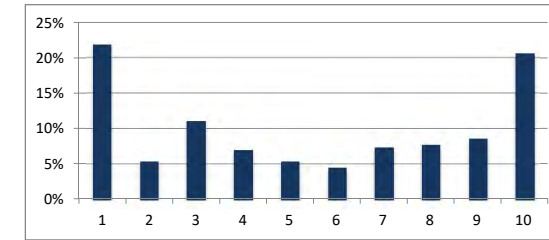
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	9	2	3	3	4	8	9	15	13	27	93
Mail-in Responses	12	9	8	5	5	11	20	21	14	42	147
<b>Total Responses</b>	<b>21</b>	<b>11</b>	<b>11</b>	<b>8</b>	<b>9</b>	<b>19</b>	<b>29</b>	<b>36</b>	<b>27</b>	<b>69</b>	<b>240</b>
Response Percentages	9%	5%	5%	3%	4%	8%	12%	15%	11%	29%	
<i>answered question</i>											<b>240</b>
<i>skipped question</i>											<b>12</b>



**Building Scenario E**

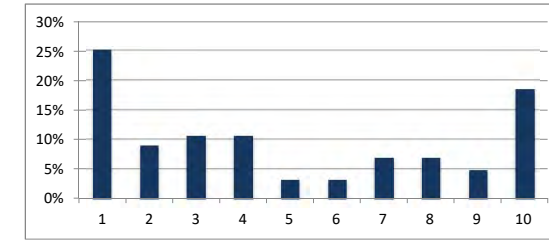
**35. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	15	2	10	11	4	5	9	7	8	22	93
Mail-in Responses	38	11	17	6	9	6	9	12	13	28	149
<b>Total Responses</b>	<b>53</b>	<b>13</b>	<b>27</b>	<b>17</b>	<b>13</b>	<b>11</b>	<b>18</b>	<b>19</b>	<b>21</b>	<b>50</b>	<b>242</b>
Response Percentages	22%	5%	11%	7%	5%	5%	7%	8%	9%	21%	
<i>answered question</i>											<b>242</b>
<i>skipped question</i>											<b>10</b>



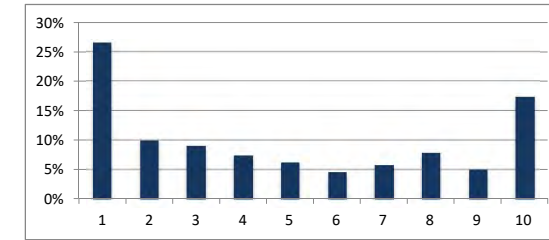
**36. "Building size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	15	7	10	17	4	3	5	6	5	21	93
Mail-in Responses	46	15	16	9	4	5	12	11	7	24	149
<b>Total Responses</b>	<b>61</b>	<b>22</b>	<b>26</b>	<b>26</b>	<b>8</b>	<b>8</b>	<b>17</b>	<b>17</b>	<b>12</b>	<b>45</b>	<b>242</b>
Response Percentages	25%	9%	11%	11%	3%	3%	7%	7%	5%	19%	
<i>answered question</i>											<b>242</b>
<i>skipped question</i>											<b>10</b>



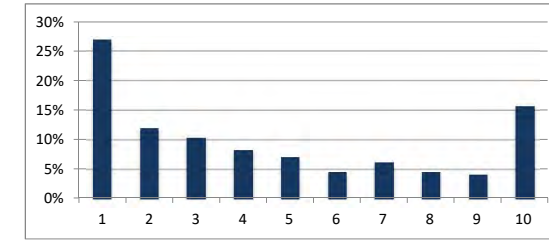
**37. "Overall height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	17	9	10	11	7	6	5	2	4	21	92
Mail-in Responses	47	15	12	7	8	5	9	17	8	21	149
<b>Total Responses</b>	<b>64</b>	<b>24</b>	<b>22</b>	<b>18</b>	<b>15</b>	<b>11</b>	<b>14</b>	<b>19</b>	<b>12</b>	<b>42</b>	<b>241</b>
Response Percentages	27%	10%	9%	7%	6%	5%	6%	8%	5%	17%	
<i>answered question</i>											<b>241</b>
<i>skipped question</i>											<b>11</b>



**38. "Building shape (form) is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	19	10	16	8	7	4	6	2	4	17	93
Mail-in Responses	46	19	9	12	10	7	9	9	6	21	148
<b>Total Responses</b>	<b>65</b>	<b>29</b>	<b>25</b>	<b>20</b>	<b>17</b>	<b>11</b>	<b>15</b>	<b>11</b>	<b>10</b>	<b>38</b>	<b>241</b>
Response Percentages	27%	12%	10%	8%	7%	5%	6%	5%	4%	16%	
<i>answered question</i>											<b>241</b>
<i>skipped question</i>											<b>11</b>

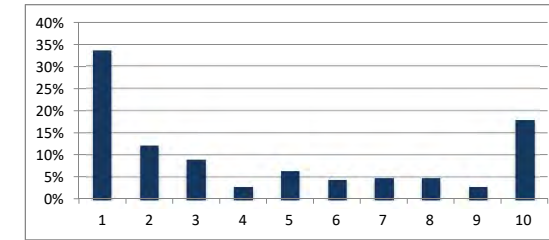




Building Scenario F

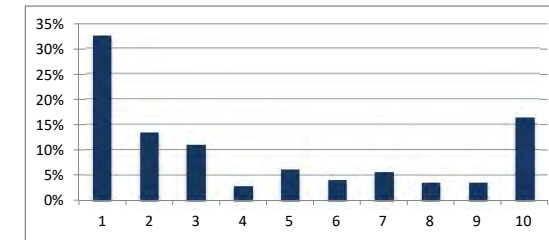
39. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	30	10	7	1	10	2	6	5	2	20	93
Mail-in Responses	52	20	15	6	6	9	6	7	5	24	150
<b>Total Responses</b>	<b>82</b>	<b>30</b>	<b>22</b>	<b>7</b>	<b>16</b>	<b>11</b>	<b>12</b>	<b>12</b>	<b>7</b>	<b>44</b>	<b>243</b>
Response Percentages	34%	12%	9%	3%	7%	5%	5%	5%	3%	18%	
<i>answered question</i>											243
<i>skipped question</i>											9



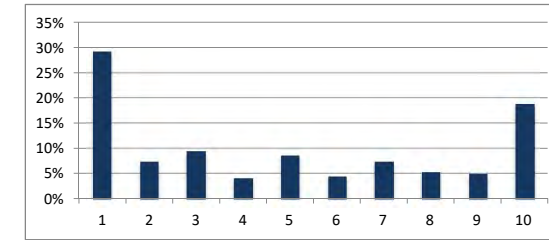
40. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	29	10	10	2	6	5	5	4	4	18	93
Mail-in Responses	50	23	17	5	9	5	9	5	5	22	150
<b>Total Responses</b>	<b>79</b>	<b>33</b>	<b>27</b>	<b>7</b>	<b>15</b>	<b>10</b>	<b>14</b>	<b>9</b>	<b>9</b>	<b>40</b>	<b>243</b>
Response Percentages	33%	14%	11%	3%	6%	4%	6%	4%	4%	16%	
<i>answered question</i>											243
<i>skipped question</i>											9



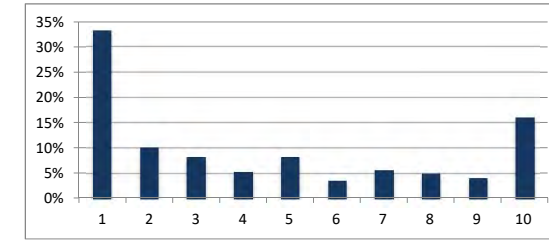
41. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	25	7	10	2	9	4	7	3	4	22	93
Mail-in Responses	46	11	13	8	12	7	11	10	8	24	150
<b>Total Responses</b>	<b>71</b>	<b>18</b>	<b>23</b>	<b>10</b>	<b>21</b>	<b>11</b>	<b>18</b>	<b>13</b>	<b>12</b>	<b>46</b>	<b>243</b>
Response Percentages	29%	7%	9%	4%	9%	5%	7%	5%	5%	19%	
<i>answered question</i>											243
<i>skipped question</i>											9



42. "Building shape (form) is compatible."

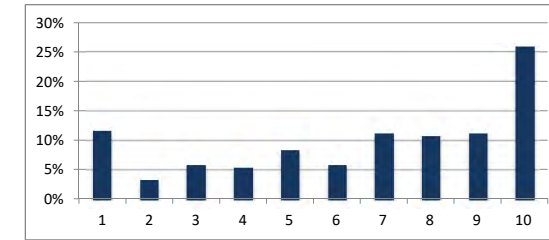
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	31	10	7	2	11	5	4	3	3	17	93
Mail-in Responses	50	15	13	11	9	4	10	9	7	22	150
<b>Total Responses</b>	<b>81</b>	<b>25</b>	<b>20</b>	<b>13</b>	<b>20</b>	<b>9</b>	<b>14</b>	<b>12</b>	<b>10</b>	<b>39</b>	<b>243</b>
Response Percentages	33%	10%	8%	5%	8%	4%	6%	5%	4%	16%	
<i>answered question</i>											243
<i>skipped question</i>											9



Building Scenario G

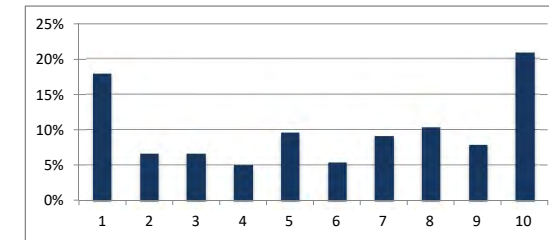
43. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	7	3	7	4	10	6	10	10	11	25	93
Mail-in Responses	21	5	7	9	10	8	17	16	16	37	146
<b>Total Responses</b>	<b>28</b>	<b>8</b>	<b>14</b>	<b>13</b>	<b>20</b>	<b>14</b>	<b>27</b>	<b>26</b>	<b>27</b>	<b>62</b>	<b>239</b>
Response Percentages	12%	3%	6%	5%	8%	6%	11%	11%	11%	26%	
<i>answered question</i>											<b>239</b>
<i>skipped question</i>											<b>13</b>



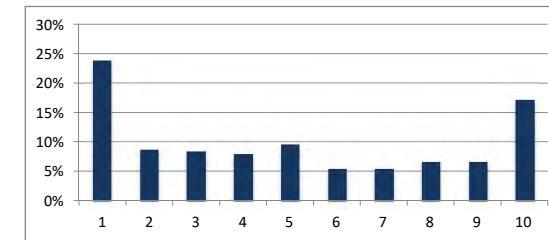
44. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	8	4	7	10	5	9	7	8	22	93
Mail-in Responses	30	8	12	5	13	8	13	18	11	28	146
<b>Total Responses</b>	<b>43</b>	<b>16</b>	<b>16</b>	<b>12</b>	<b>23</b>	<b>13</b>	<b>22</b>	<b>25</b>	<b>19</b>	<b>50</b>	<b>239</b>
Response Percentages	18%	7%	7%	5%	10%	5%	9%	10%	8%	21%	
<i>answered question</i>											<b>239</b>
<i>skipped question</i>											<b>13</b>



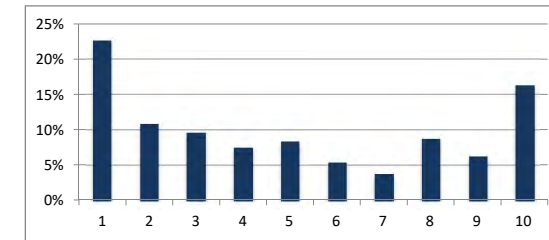
45. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	15	7	9	8	8	8	6	5	4	23	93
Mail-in Responses	42	14	11	11	15	5	7	11	12	18	146
<b>Total Responses</b>	<b>57</b>	<b>21</b>	<b>20</b>	<b>19</b>	<b>23</b>	<b>13</b>	<b>13</b>	<b>16</b>	<b>16</b>	<b>41</b>	<b>239</b>
Response Percentages	24%	9%	8%	8%	10%	5%	5%	7%	7%	17%	
<i>answered question</i>											<b>239</b>
<i>skipped question</i>											<b>8</b>



46. "Building shape (form) is compatible."

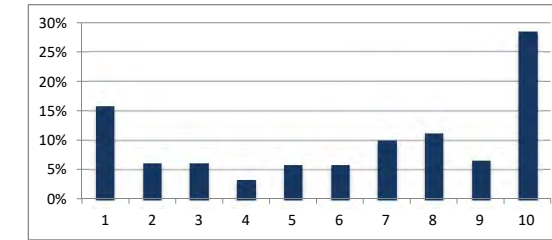
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	15	10	8	7	9	6	3	8	7	20	93
Mail-in Responses	39	16	15	11	11	7	6	13	8	19	145
<b>Total Responses</b>	<b>54</b>	<b>26</b>	<b>23</b>	<b>18</b>	<b>20</b>	<b>13</b>	<b>9</b>	<b>21</b>	<b>15</b>	<b>39</b>	<b>238</b>
Response Percentages	23%	11%	10%	8%	8%	5%	4%	9%	6%	16%	
<i>answered question</i>											<b>238</b>
<i>skipped question</i>											<b>14</b>



Building Scenario H

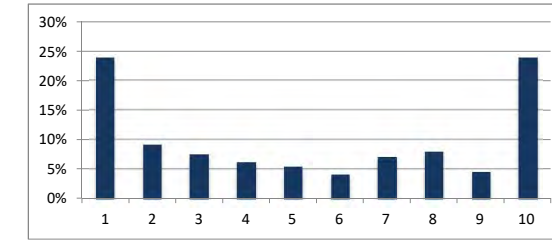
47. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	7	6	6	2	6	12	11	7	26	93
Mail-in Responses	28	8	9	2	12	8	12	16	9	42	146
<b>Total Responses</b>	<b>38</b>	<b>15</b>	<b>15</b>	<b>8</b>	<b>14</b>	<b>14</b>	<b>24</b>	<b>27</b>	<b>16</b>	<b>68</b>	<b>239</b>
Response Percentages	16%	6%	6%	3%	6%	6%	10%	11%	7%	28%	
<i>answered question</i>											<b>239</b>
<i>skipped question</i>											<b>13</b>



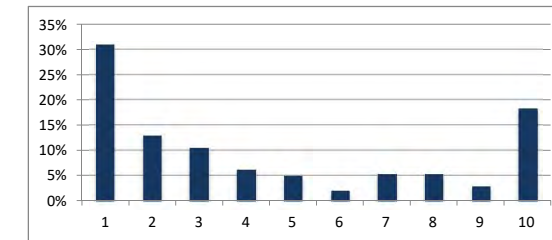
48. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	20	11	7	6	3	5	9	8	2	22	93
Mail-in Responses	37	11	11	9	10	5	8	11	9	35	146
<b>Total Responses</b>	<b>57</b>	<b>22</b>	<b>18</b>	<b>15</b>	<b>13</b>	<b>10</b>	<b>17</b>	<b>19</b>	<b>11</b>	<b>57</b>	<b>239</b>
Response Percentages	24%	9%	8%	6%	5%	4%	7%	8%	5%	24%	
<i>answered question</i>											<b>239</b>
<i>skipped question</i>											<b>13</b>



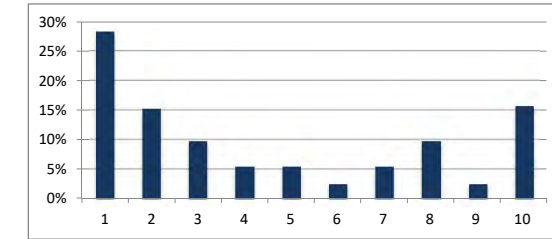
49. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	25	13	8	6	6	2	8	2	1	22	93
Mail-in Responses	49	18	17	9	6	3	5	11	6	22	146
<b>Total Responses</b>	<b>74</b>	<b>31</b>	<b>25</b>	<b>15</b>	<b>12</b>	<b>5</b>	<b>13</b>	<b>13</b>	<b>7</b>	<b>44</b>	<b>239</b>
Response Percentages	31%	13%	10%	6%	5%	2%	5%	5%	3%	18%	
<i>answered question</i>											<b>239</b>
<i>skipped question</i>											<b>13</b>



50. "Building shape (form) is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	21	12	11	6	7	1	8	9	1	16	92
Mail-in Responses	46	24	12	7	6	5	5	14	5	21	145
<b>Total Responses</b>	<b>67</b>	<b>36</b>	<b>23</b>	<b>13</b>	<b>13</b>	<b>6</b>	<b>13</b>	<b>23</b>	<b>6</b>	<b>37</b>	<b>237</b>
Response Percentages	28%	15%	10%	5%	5%	3%	5%	10%	3%	16%	
<i>answered question</i>											<b>237</b>
<i>skipped question</i>											<b>15</b>

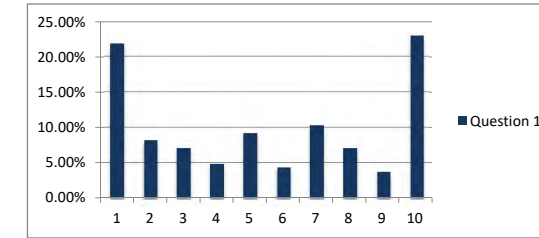


# Houston Heights South - Compatible Design Survey - Survey Results Sheet

## Part 1: Overall Issues in the District

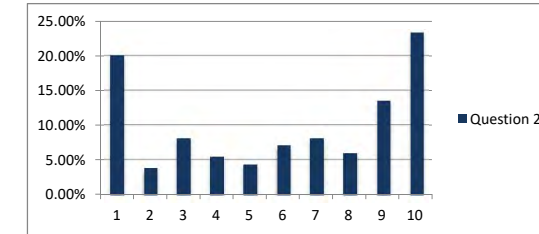
### 1. "Some recent construction in my historic district is too large."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	17	7	6	7	3	5	9	5	2	14	75	
Mail-in Responses	23	8	7	2	14	3	10	8	5	28	108	
Total Responses	40	15	13	9	17	8	19	13	7	42	183	
Response Percentages	21.86%	8.20%	7.10%	4.92%	9.29%	4.37%	10.38%	7.10%	3.83%	22.95%		
											answered question	183
											skipped question	9



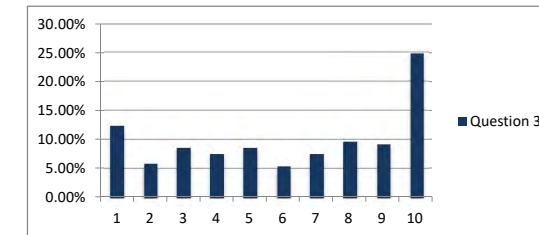
### 2. "The loss of green space when a larger building is constructed is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	14	4	9	7	4	8	4	5	7	13	75	
Mail-in Responses	23	3	6	3	4	5	11	6	18	30	109	
Total Responses	37	7	15	10	8	13	15	11	25	43	184	
Response Percentages	20.11%	3.80%	8.15%	5.43%	4.35%	7.07%	8.15%	5.98%	13.59%	23.37%		
											answered question	184
											skipped question	8



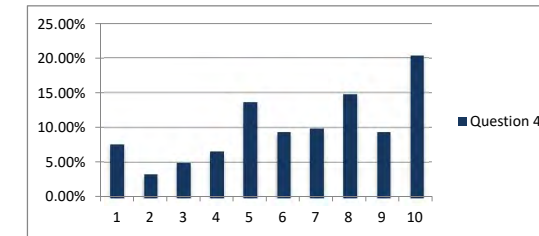
### 3. "The loss of mature vegetation when new construction occurs is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	12	4	7	7	2	7	7	9	3	17	75	
Mail-in Responses	11	7	9	7	14	3	7	9	14	29	110	
Total Responses	23	11	16	14	16	10	14	18	17	46	185	
Response Percentages	12.43%	5.95%	8.65%	7.57%	8.65%	5.41%	7.57%	9.73%	9.19%	24.86%		
											answered question	185
											skipped question	7



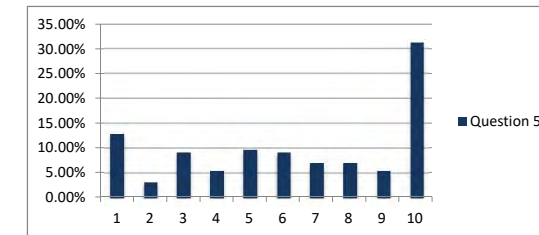
### 4. "Most recent new construction has been compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	4	3	6	4	10	6	7	12	10	12	74	
Mail-in Responses	10	3	3	8	15	11	11	15	7	25	108	
Total Responses	14	6	9	12	25	17	18	27	17	37	182	
Response Percentages	7.69%	3.30%	4.95%	6.59%	13.74%	9.34%	9.89%	14.84%	9.34%	20.33%		
											answered question	182
											skipped question	10



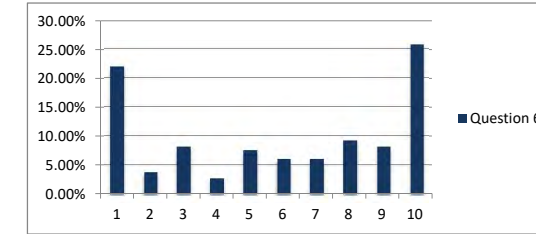
### 5. "A large house next door diminishes privacy in neighbors' back yards."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	10	2	9	6	8	6	6	5	3	21	76	
Mail-in Responses	14	4	8	4	10	11	7	8	7	37	110	
Total Responses	24	6	17	10	18	17	13	13	10	58	186	
Response Percentages	12.90%	3.23%	9.14%	5.38%	9.68%	9.14%	6.99%	6.99%	5.38%	31.18%		
											answered question	186
											skipped question	6



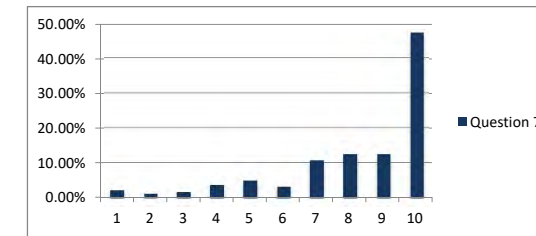
**6. "Regulations that protect historic district character will enhance property values."**

Answer Options	Strongly Disagree										Strongly Agree										Response Count
On-line Responses	15	5	7	3	5	4	4	8	8	14	15	11	11	17	15	47	73				
Mail-in Responses	25	2	8	2	9	7	7	9	7	33	10	11	11	17	15	47	109				
Total Responses	40	7	15	5	14	11	11	17	15	80	25	22	22	34	30	94	182				
Response Percentages	21.98%	3.85%	8.24%	2.75%	7.69%	6.04%	6.04%	9.34%	8.24%	25.82%	13.73%	12.64%	12.64%	18.75%	16.48%	51.43%					
															answered question	182					
															skipped question	10					



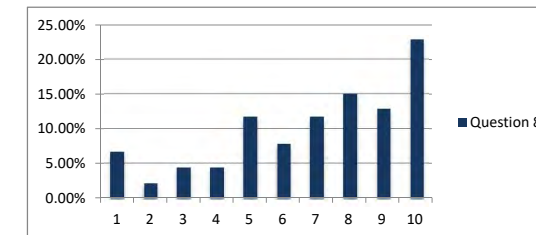
**7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."**

Answer Options	Strongly Disagree										Strongly Agree										Response Count
On-line Responses	2	2	3	4	5	1	6	9	13	30	1	1	1	1	1	1	75				
Mail-in Responses	2	0	0	3	4	5	14	14	10	57	1	1	1	1	1	1	109				
Total Responses	4	2	3	7	9	6	20	23	23	87	2	2	2	2	2	2	184				
Response Percentages	2.17%	1.09%	1.63%	3.80%	4.89%	3.26%	10.87%	12.50%	12.50%	47.28%	1.14%	1.14%	1.14%	1.14%	1.14%	1.14%					
															answered question	184					
															skipped question	8					



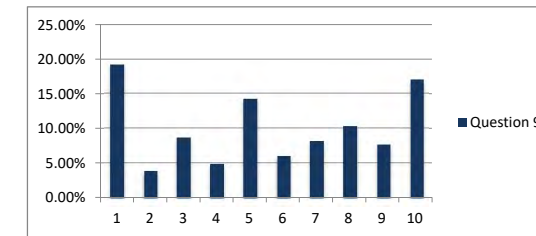
**8. "Most recent renovation projects have been appropriate."**

Answer Options	Strongly Disagree										Strongly Agree										Response Count
On-line Responses	5	2	2	4	9	7	9	9	16	9	1	1	1	1	1	1	72				
Mail-in Responses	7	2	6	4	12	7	12	18	7	32	1	1	1	1	1	1	107				
Total Responses	12	4	8	8	21	14	21	27	23	41	2	2	2	2	2	2	179				
Response Percentages	6.70%	2.23%	4.47%	4.47%	11.73%	7.82%	11.73%	15.08%	12.85%	22.91%	1.12%	1.12%	1.12%	1.12%	1.12%	1.12%					
															answered question	179					
															skipped question	13					



**9. "An addition to a historic building should be visually subordinate to the building."**

Answer Options	Strongly Disagree										Strongly Agree										Response Count
On-line Responses	15	7	5	6	10	5	5	9	4	8	1	1	1	1	1	1	74				
Mail-in Responses	20	0	11	3	16	6	10	10	10	23	1	1	1	1	1	1	109				
Total Responses	35	7	16	9	26	11	15	19	14	31	2	2	2	2	2	2	183				
Response Percentages	19.13%	3.83%	8.74%	4.92%	14.21%	6.01%	8.20%	10.38%	7.65%	16.94%	1.15%	1.15%	1.15%	1.15%	1.15%	1.15%					
															answered question	183					
															skipped question	9					



**10. Have you previously attended a community workshop for this project?**

Answer Options	Response Percent	Response Count	
Yes	28.8%	21	
No	71.3%	54	
		answered question	75
		skipped question	6

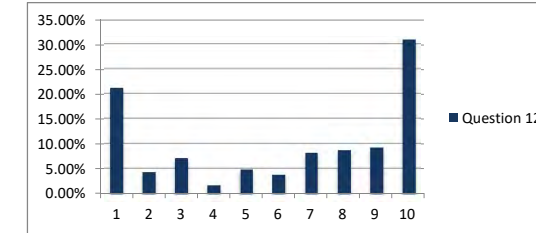
**11. What are the key issues related to the treatment of historic buildings in the district?**

Answer Options	Response Count
	54
answered question	54
skipped question	27

Part 2: Design Tools

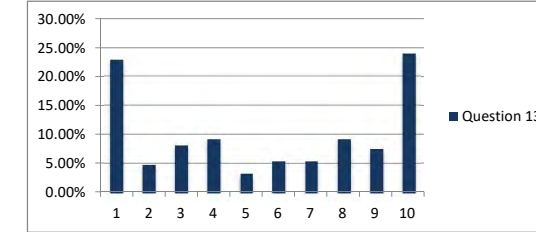
12. Building Size in Relation to Lot Size Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses. Please indicate the degree to which you agree or disagree with this statement: "Guidelines which relate the size of a building to the size of its lot should be considered."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	17	4	2	2	5	4	8	5	8	19	74	
Mail-in Responses	22	4	11	1	4	3	7	11	9	38	110	
Total Responses	39	8	13	3	9	7	15	16	17	57	184	
Response Percentages	21.20%	4.35%	7.07%	1.63%	4.89%	3.80%	8.15%	8.70%	9.24%	30.98%		
											answered question	184
											skipped question	8



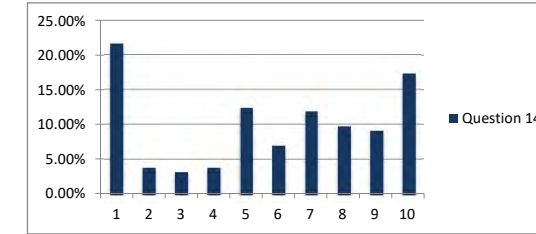
13. Lot Coverage All areas of a property that are covered by buildings and roofed porches are included in lot coverage. Please indicate the degree to which you agree or disagree with this statement: "A limit on the percentage of lot coverage should be considered to help maintain open space."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	20	4	5	9	1	4	5	6	5	15	74	
Mail-in Responses	22	5	10	8	5	6	5	11	9	29	110	
Total Responses	42	9	15	17	6	10	10	17	14	44	184	
Response Percentages	22.83%	4.89%	8.15%	9.24%	3.26%	5.43%	5.43%	9.24%	7.61%	23.91%		
											answered question	184
											skipped question	8



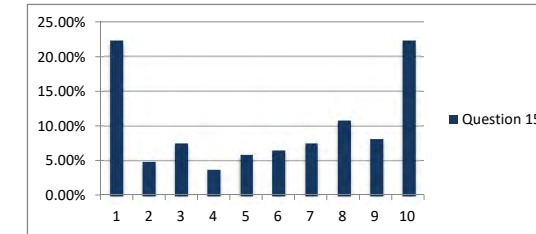
14. One-Story Element A one-story element (to the front or side of a house) can help reduce its perceived size. Please indicate the degree to which you agree or disagree with this statement: "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	12	6	3	3	7	7	11	8	5	12	74	
Mail-in Responses	28	1	3	4	16	6	11	10	12	20	111	
Total Responses	40	7	6	7	23	13	22	18	17	32	185	
Response Percentages	21.62%	3.78%	3.24%	3.78%	12.43%	7.03%	11.89%	9.73%	9.19%	17.30%		
											answered question	185
											skipped question	7



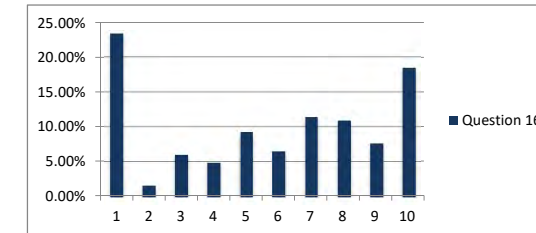
15. Maximum Building Envelope A maximum building envelope can modify the shape and limit the overall size of a building on its lot. Please indicate the degree to which you agree or disagree with this statement: "A maximum building envelope should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	15	5	4	4	7	9	6	8	7	9	74	
Mail-in Responses	26	4	10	3	4	3	8	12	8	32	110	
Total Responses	41	9	14	7	11	12	14	20	15	41	184	
Response Percentages	22.28%	4.89%	7.61%	3.80%	5.98%	6.52%	7.61%	10.87%	8.15%	22.28%		
											answered question	184
											skipped question	8



16. Side Wall Offset Limiting the length of a side wall can reduce the perceived size of a house. Please indicate the degree to which you agree or disagree with this statement: "A side wall offset should be considered as a tool to reduce perceived building size."

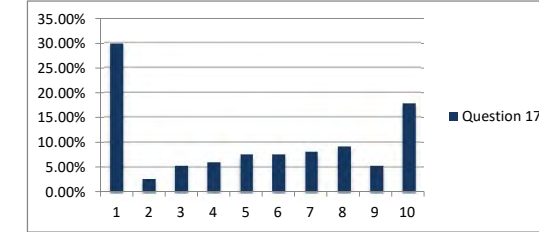
Answer Options	Strongly Disagree					Strongly Agree					Response Count	
On-line Responses	15	1	5	5	3	9	12	5	8	11	74	
Mail-in Responses	28	2	6	4	14	3	9	15	6	23	110	
Total Responses	43	3	11	9	17	12	21	20	14	34	184	
Response Percentages	23.37%	1.63%	5.98%	4.89%	9.24%	6.52%	11.41%	10.87%	7.61%	18.48%		
											answered question	184
											skipped question	8





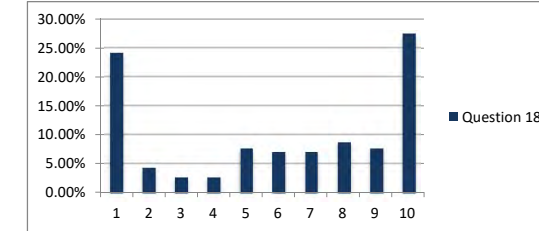
17. Wall Height Guidelines can limit the height of all or part of a wall to reduce perceived building size. Please indicate the degree to which you agree or disagree with this statement: "A wall height limit should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	18	4	7	8	6	5	3	7	5	11	74
Mail-in Responses	37	1	3	3	8	9	12	10	5	22	110
Total Responses	55	5	10	11	14	14	15	17	10	33	184
Response Percentages	29.89%	2.72%	5.43%	5.98%	7.61%	7.61%	8.15%	9.24%	5.43%	17.93%	
	answered question										184
	skipped question										8



18. Parking Location The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site. Please indicate the degree to which you agree or disagree with this statement: "Design guidelines should address appropriate parking locations."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	18	3	2	3	5	7	7	7	8	15	75
Mail-in Responses	26	5	3	2	9	6	6	9	6	35	107
Total Responses	44	8	5	5	14	13	13	16	14	50	182
Response Percentages	24.18%	4.40%	2.75%	2.75%	7.69%	7.14%	7.14%	8.79%	7.69%	27.47%	
	answered question										182
	skipped question										10

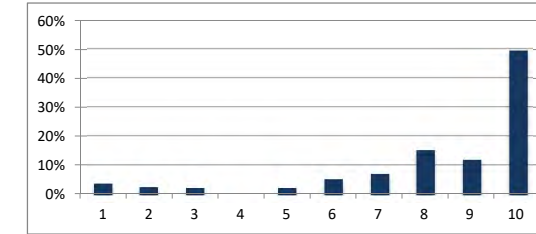


Part 3: Building Scenarios

Building Scenario A

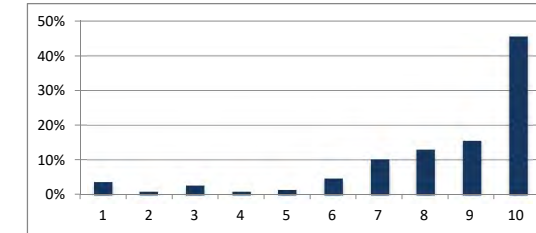
19. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	2	2	0	1	8	5	10	12	30	73
Mail-in Responses	4	3	2	0	3	2	8	18	10	61	111
<b>Total Responses</b>	<b>7</b>	<b>5</b>	<b>4</b>	<b>0</b>	<b>4</b>	<b>10</b>	<b>13</b>	<b>28</b>	<b>22</b>	<b>91</b>	<b>184</b>
Response Percentages	4%	3%	2%	0%	2%	5%	7%	15%	12%	49%	
<i>answered question</i>											<b>184</b>
<i>skipped question</i>											<b>8</b>



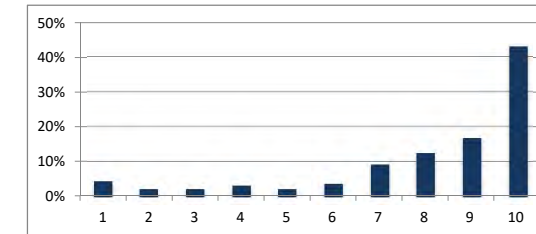
20. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	0	0	2	2	4	9	11	13	29	73
Mail-in Responses	4	2	5	0	1	5	10	13	16	55	111
<b>Total Responses</b>	<b>7</b>	<b>2</b>	<b>5</b>	<b>2</b>	<b>3</b>	<b>9</b>	<b>19</b>	<b>24</b>	<b>29</b>	<b>84</b>	<b>184</b>
Response Percentages	4%	1%	3%	1%	2%	5%	10%	13%	16%	46%	
<i>answered question</i>											<b>184</b>
<i>skipped question</i>											<b>8</b>



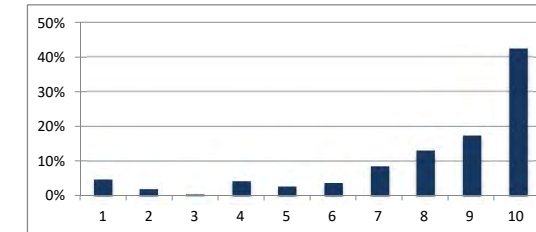
21. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	1	1	2	3	5	6	10	15	26	73
Mail-in Responses	4	3	3	4	1	2	11	13	16	53	110
<b>Total Responses</b>	<b>8</b>	<b>4</b>	<b>4</b>	<b>6</b>	<b>4</b>	<b>7</b>	<b>17</b>	<b>23</b>	<b>31</b>	<b>79</b>	<b>183</b>
Response Percentages	4%	2%	2%	3%	2%	4%	9%	13%	17%	43%	
<i>answered question</i>											<b>183</b>
<i>skipped question</i>											<b>9</b>



22. "Form (shape) of addition is compatible."

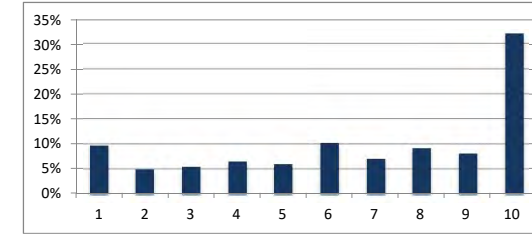
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	1	0	4	3	5	6	10	17	23	73
Mail-in Responses	5	3	1	4	2	2	10	14	15	55	111
<b>Total Responses</b>	<b>9</b>	<b>4</b>	<b>1</b>	<b>8</b>	<b>5</b>	<b>7</b>	<b>16</b>	<b>24</b>	<b>32</b>	<b>78</b>	<b>184</b>
Response Percentages	5%	2%	1%	4%	3%	4%	9%	13%	17%	42%	
<i>answered question</i>											<b>184</b>
<i>skipped question</i>											<b>8</b>



Building Scenario B

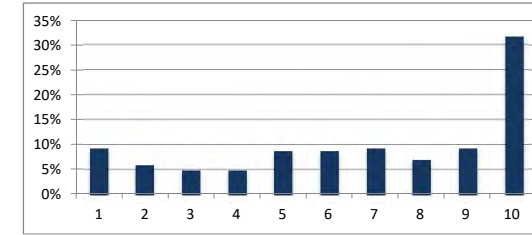
23. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	7	1	3	2	4	10	6	9	11	19	72	
Mail-in Responses	11	8	7	10	7	9	7	8	4	40	111	
Total Responses	18	9	10	12	11	19	13	17	15	59	183	
Response Percentages	10%	5%	5%	7%	6%	10%	7%	9%	8%	32%		
											answered question	183
											skipped question	9



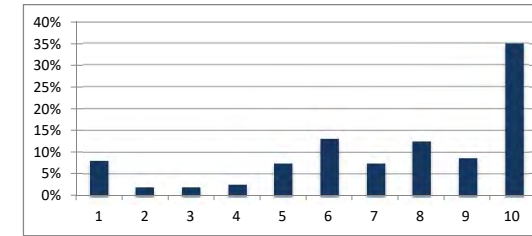
24. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	6	3	3	2	4	9	7	8	11	20	73	
Mail-in Responses	11	8	6	7	12	7	10	5	6	38	110	
Total Responses	17	11	9	9	16	16	17	13	17	58	183	
Response Percentages	9%	6%	5%	5%	9%	9%	9%	7%	9%	32%		
											answered question	183
											skipped question	9



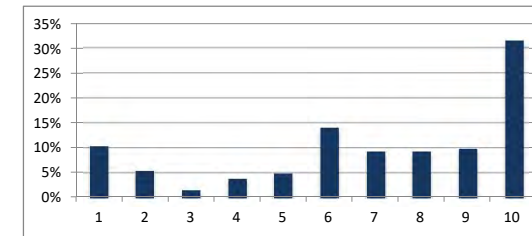
25. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	4	0	2	2	3	15	4	11	11	21	73	
Mail-in Responses	11	4	2	3	11	9	10	12	5	43	110	
Total Responses	15	4	4	5	14	24	14	23	16	64	183	
Response Percentages	8%	2%	2%	3%	8%	13%	8%	13%	9%	35%		
											answered question	183
											skipped question	9



26. "Form (shape) of addition is compatible."

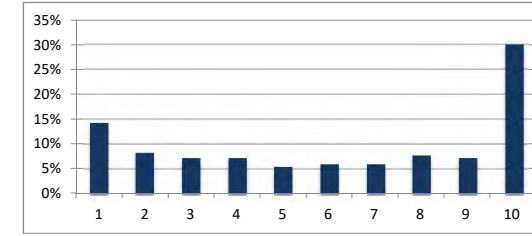
Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	8	2	0	5	2	12	6	9	11	18	73	
Mail-in Responses	11	8	3	2	7	14	11	8	7	40	111	
Total Responses	19	10	3	7	9	26	17	17	18	58	184	
Response Percentages	10%	5%	2%	4%	5%	14%	9%	9%	10%	32%		
											answered question	184
											skipped question	8



Building Scenario C

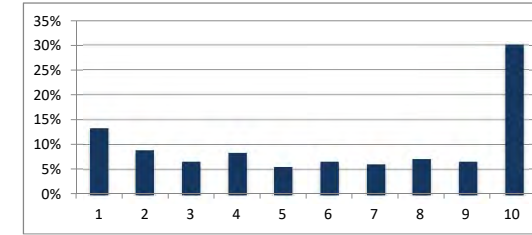
27. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	8	4	2	5	5	3	9	10	7	19	72	
Mail-in Responses	18	11	11	8	5	8	2	4	6	35	108	
Total Responses	26	15	13	13	10	11	11	14	13	54	180	
Response Percentages	14%	8%	7%	7%	6%	6%	6%	8%	7%	30%		
											answered question	180
											skipped question	12



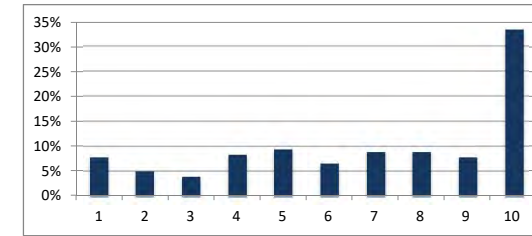
28. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	7	5	2	5	5	6	6	10	8	18	72	
Mail-in Responses	17	11	10	10	5	6	5	3	4	36	107	
Total Responses	24	16	12	15	10	12	11	13	12	54	179	
Response Percentages	13%	9%	7%	8%	6%	7%	6%	7%	7%	30%		
											answered question	179
											skipped question	13



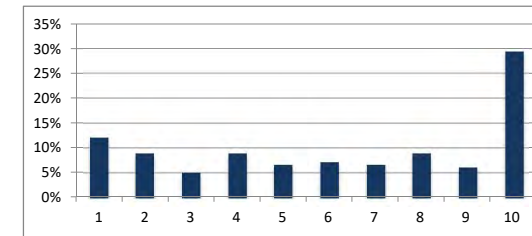
29. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	5	0	1	4	10	6	9	9	8	20	72	
Mail-in Responses	9	9	6	11	7	6	7	7	6	40	108	
Total Responses	14	9	7	15	17	12	16	16	14	60	180	
Response Percentages	8%	5%	4%	8%	9%	7%	9%	9%	8%	33%		
											answered question	180
											skipped question	12



30. "Form (shape) of addition is compatible."

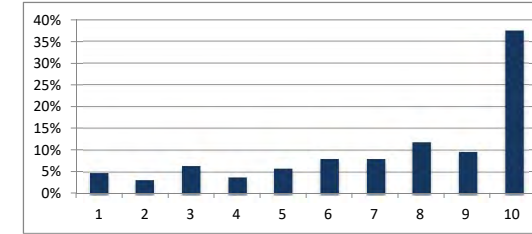
Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	7	3	2	6	7	4	7	11	8	17	72	
Mail-in Responses	15	13	7	10	5	9	5	5	3	36	108	
Total Responses	22	16	9	16	12	13	12	16	11	53	180	
Response Percentages	12%	9%	5%	9%	7%	7%	7%	9%	6%	29%		
											answered question	180
											skipped question	12



Building Scenario D

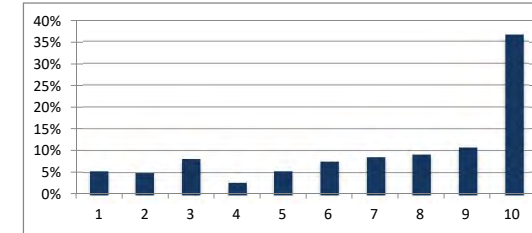
31. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	5	0	5	1	3	9	5	8	13	24	73	
Mail-in Responses	4	6	7	6	8	6	10	14	6	45	111	
Total Responses	9	6	12	7	11	15	15	22	18	69	184	
Response Percentages	5%	3%	7%	4%	6%	8%	8%	12%	10%	38%		
											answered question	184
											skipped question	8



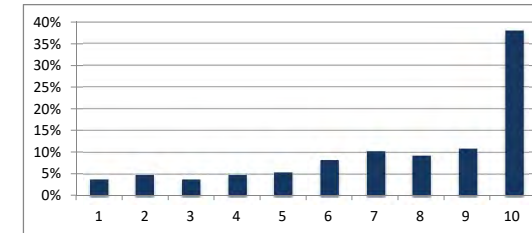
32. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	6	1	4	1	3	7	9	5	13	23	72	
Mail-in Responses	4	8	11	4	7	7	7	12	7	44	111	
Total Responses	10	9	15	5	10	14	16	17	20	67	183	
Response Percentages	5%	5%	8%	3%	5%	8%	9%	9%	11%	37%		
											answered question	183
											skipped question	9



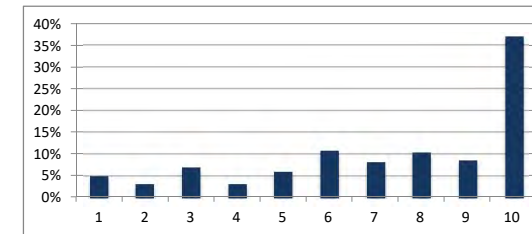
33. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	3	1	3	2	3	9	8	6	12	25	72	
Mail-in Responses	4	8	4	7	7	6	11	11	8	44	110	
Total Responses	7	9	7	9	10	15	19	17	20	69	182	
Response Percentages	4%	5%	4%	5%	5%	8%	10%	9%	11%	38%		
											answered question	182
											skipped question	10



34. "Building form (shape) is compatible."

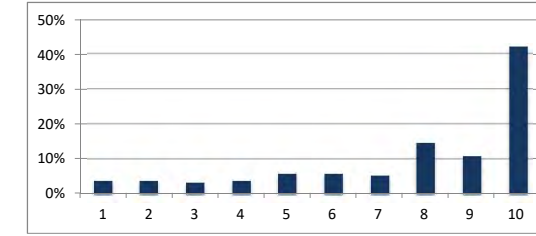
Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	5	1	5	1	5	7	6	8	11	23	72	
Mail-in Responses	4	5	8	5	6	13	9	11	5	45	111	
Total Responses	9	6	13	6	11	20	15	19	16	68	183	
Response Percentages	5%	3%	7%	3%	6%	11%	8%	10%	9%	37%		
											answered question	183
											skipped question	9



Building Scenario E

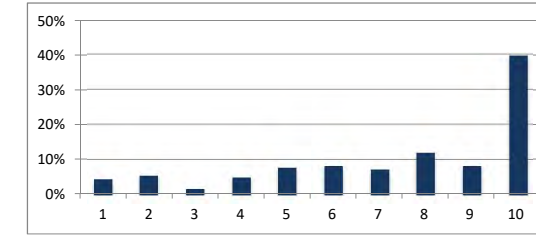
35. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	3	2	1	3	1	8	4	14	10	27	73	
Mail-in Responses	4	5	5	4	10	3	6	13	4	10	50	
Total Responses	7	7	6	7	11	11	10	27	20	77	183	
Response Percentages	4%	4%	3%	4%	6%	6%	5%	15%	11%	42%		
											answered question	183
											skipped question	9



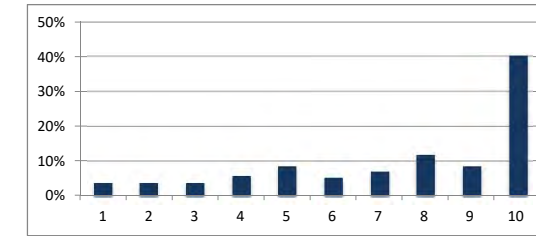
36. "Building size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	4	3	1	2	3	10	5	10	8	25	71	
Mail-in Responses	4	7	2	7	11	5	8	12	7	47	110	
Total Responses	8	10	3	9	14	15	13	22	15	72	181	
Response Percentages	4%	6%	2%	5%	8%	8%	7%	12%	8%	40%		
											answered question	181
											skipped question	11



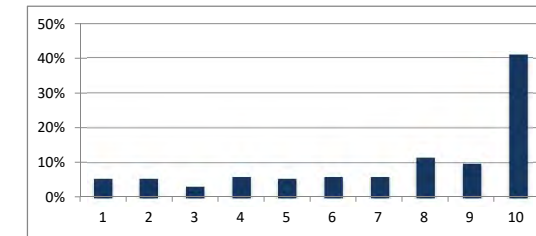
37. "Overall height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	3	1	3	4	4	5	6	12	8	27	73	
Mail-in Responses	4	6	4	7	12	5	7	10	8	47	110	
Total Responses	7	7	7	11	16	10	13	22	16	74	183	
Response Percentages	4%	4%	4%	6%	9%	5%	7%	12%	9%	40%		
											answered question	183
											skipped question	9



38. "Building shape (form) is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	5	3	1	3	1	6	7	11	10	26	73	
Mail-in Responses	5	7	5	8	9	5	4	10	8	49	110	
Total Responses	10	10	6	11	10	11	11	21	18	75	183	
Response Percentages	5%	5%	3%	6%	5%	6%	6%	11%	10%	41%		
											answered question	183
											skipped question	9

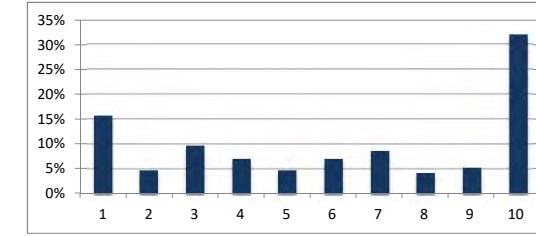




Building Scenario F

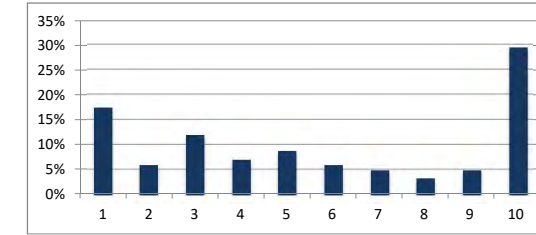
39. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	9	2	4	7	3	6	10	6	6	20	73
Mail-in Responses	20	7	14	6	6	7	6	2	4	39	111
Total Responses	29	9	18	13	9	13	16	8	10	59	184
Response Percentages	16%	5%	10%	7%	5%	7%	9%	4%	5%	32%	
<i>answered question</i>											184
<i>skipped question</i>											8



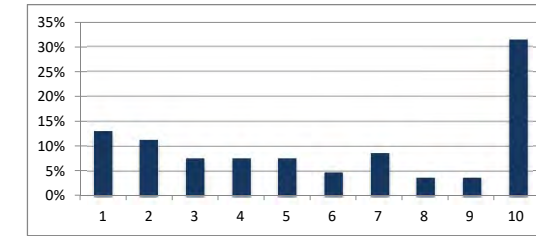
40. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	12	2	6	8	6	3	5	6	5	19	72
Mail-in Responses	20	9	16	5	10	8	4	0	4	35	111
Total Responses	32	11	22	13	16	11	9	6	9	54	183
Response Percentages	17%	6%	12%	7%	9%	6%	5%	3%	5%	30%	
<i>answered question</i>											183
<i>skipped question</i>											9



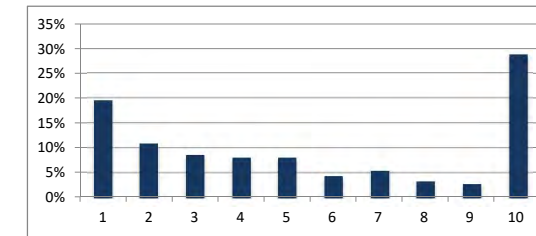
41. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	9	6	3	7	6	4	8	6	5	19	73
Mail-in Responses	15	15	11	7	8	5	8	1	2	39	111
Total Responses	24	21	14	14	14	9	16	7	7	58	184
Response Percentages	13%	11%	8%	8%	8%	5%	9%	4%	4%	32%	
<i>answered question</i>											184
<i>skipped question</i>											8



42. "Building shape (form) is compatible."

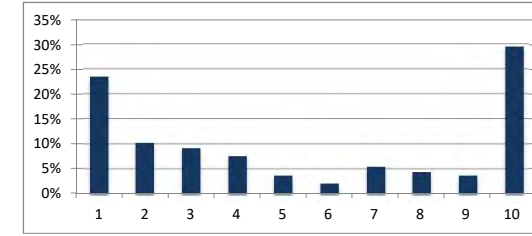
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	8	5	6	8	5	4	5	4	18	73
Mail-in Responses	26	12	11	9	7	3	6	1	1	35	111
Total Responses	36	20	16	15	15	8	10	6	5	53	184
Response Percentages	20%	11%	9%	8%	8%	4%	5%	3%	3%	29%	
<i>answered question</i>											184
<i>skipped question</i>											8



Building Scenario G

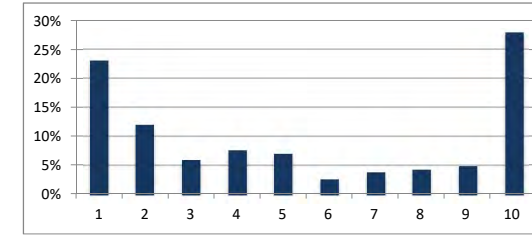
43. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	6	9	7	3	2	6	3	6	18	73
Mail-in Responses	30	13	8	7	4	2	4	5	1	36	110
Total Responses	43	19	17	14	7	4	10	8	7	54	183
Response Percentages	23%	10%	9%	8%	4%	2%	5%	4%	4%	30%	
<i>answered question</i>											183
<i>skipped question</i>											9



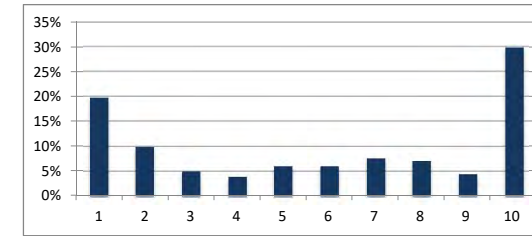
44. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	12	9	7	7	7	0	6	3	7	15	73
Mail-in Responses	30	13	4	7	6	5	1	5	2	36	109
Total Responses	42	22	11	14	13	5	7	8	9	51	182
Response Percentages	23%	12%	6%	8%	7%	3%	4%	4%	5%	28%	
<i>answered question</i>											182
<i>skipped question</i>											10



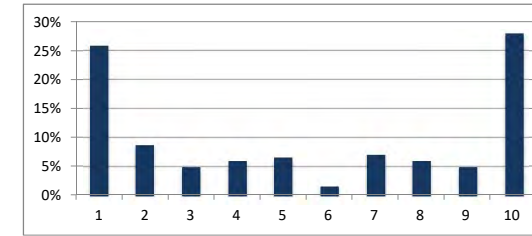
45. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	11	6	3	3	4	7	9	7	5	17	72
Mail-in Responses	25	12	6	4	7	4	5	6	3	37	109
Total Responses	36	18	9	7	11	11	14	13	8	54	181
Response Percentages	20%	10%	5%	4%	6%	6%	8%	7%	4%	30%	
<i>answered question</i>											181
<i>skipped question</i>											11



46. "Building shape (form) is compatible."

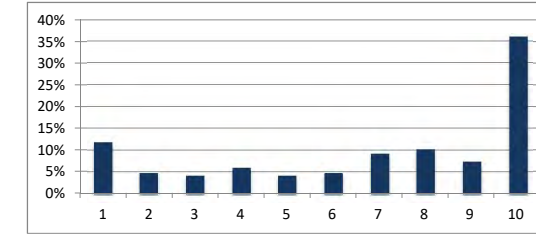
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	15	7	3	9	6	3	5	4	5	16	73
Mail-in Responses	32	9	6	2	6	0	8	7	4	35	109
Total Responses	47	16	9	11	12	3	13	11	9	51	182
Response Percentages	26%	9%	5%	6%	7%	2%	7%	6%	5%	28%	
<i>answered question</i>											182
<i>skipped question</i>											10



Building Scenario H

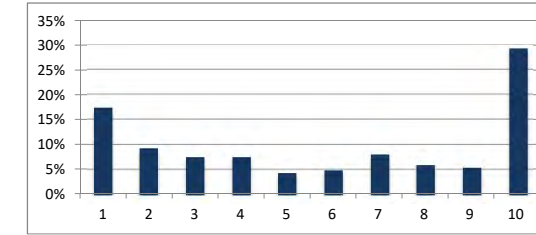
47. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	4	3	3	7	3	3	13	8	5	24	73	
Mail-in Responses	18	6	5	4	5	6	4	11	9	42	110	
Total Responses	22	9	8	11	8	9	17	19	14	66	183	
Response Percentages	12%	5%	4%	6%	4%	5%	9%	10%	8%	36%		
											answered question	183
											skipped question	9



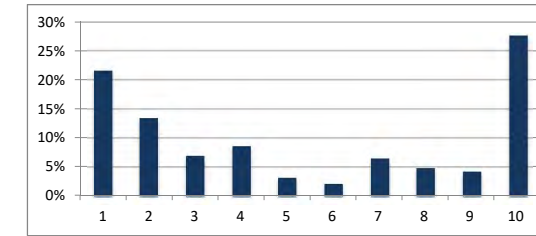
48. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	8	7	6	11	2	2	8	7	5	17	73	
Mail-in Responses	24	10	8	3	6	7	7	4	5	37	111	
Total Responses	32	17	14	14	8	9	15	11	10	54	184	
Response Percentages	17%	9%	8%	8%	4%	5%	8%	6%	5%	29%		
											answered question	184
											skipped question	8



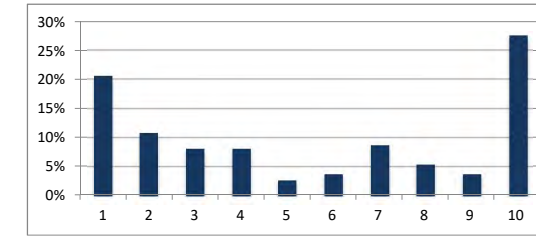
49. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	12	7	4	10	1	3	10	6	3	17	73	
Mail-in Responses	28	18	9	6	5	1	2	3	5	34	111	
Total Responses	40	25	13	16	6	4	12	9	8	51	184	
Response Percentages	22%	14%	7%	9%	3%	2%	7%	5%	4%	28%		
											answered question	184
											skipped question	8



50. "Building shape (form) is compatible."

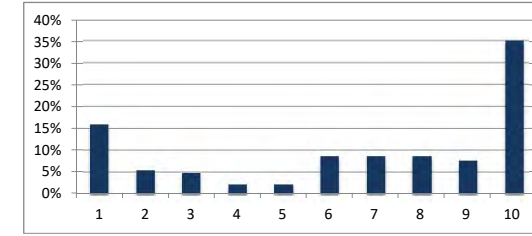
Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	10	10	7	7	2	3	11	7	2	14	73	
Mail-in Responses	28	10	8	8	3	4	5	3	5	37	111	
Total Responses	38	20	15	15	5	7	16	10	7	51	184	
Response Percentages	21%	11%	8%	8%	3%	4%	9%	5%	4%	28%		
											answered question	184
											skipped question	8



Building Scenario I

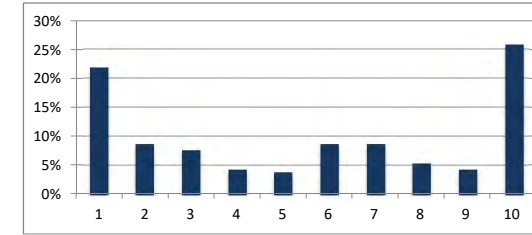
51. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	5	5	2	2	7	9	11	3	23	73
Mail-in Responses	23	5	4	2	2	9	7	5	11	41	109
Total Responses	29	10	9	4	4	16	16	16	14	64	182
Response Percentages	16%	5%	5%	2%	2%	9%	9%	9%	8%	35%	
<i>answered question</i>											182
<i>skipped question</i>											10



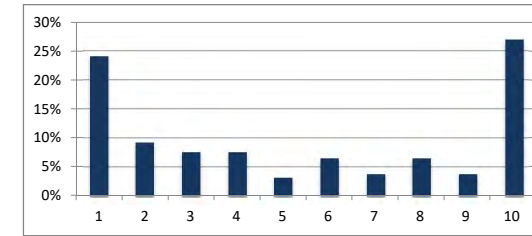
52. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	9	6	6	4	6	6	7	4	15	73
Mail-in Responses	30	7	8	2	3	10	10	3	4	32	109
Total Responses	40	16	14	8	7	16	16	10	8	47	182
Response Percentages	22%	9%	8%	4%	4%	9%	9%	5%	4%	26%	
<i>answered question</i>											182
<i>skipped question</i>											10



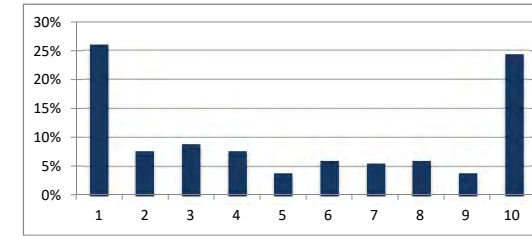
53. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	8	5	8	4	6	3	9	2	15	73
Mail-in Responses	31	9	9	6	2	6	4	3	5	34	109
Total Responses	44	17	14	14	6	12	7	12	7	49	182
Response Percentages	24%	9%	8%	8%	3%	7%	4%	7%	4%	27%	
<i>answered question</i>											182
<i>skipped question</i>											10



54. "Building shape (form) is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	14	9	7	8	4	3	5	8	2	13	73
Mail-in Responses	33	5	9	6	3	8	5	3	5	31	108
Total Responses	47	14	16	14	7	11	10	11	7	44	181
Response Percentages	26%	8%	9%	8%	4%	6%	6%	6%	4%	24%	
<i>answered question</i>											181
<i>skipped question</i>											11

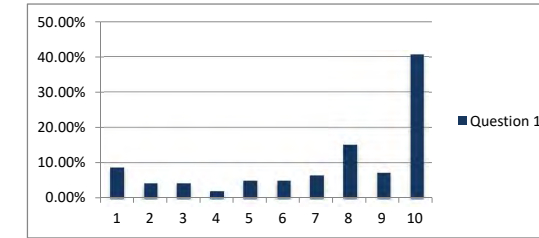


# Houston Heights West - Compatible Design Survey - Survey Results Sheet

## Part 1: Overall Issues in the District

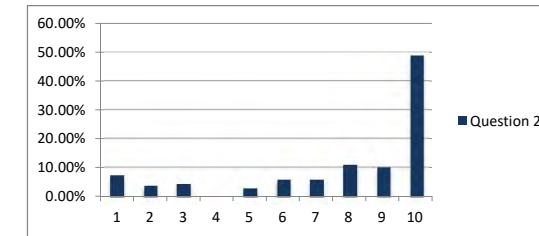
### 1. "Some recent construction in my historic district is too large."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	8	2	4	2	5	4	6	7	6	21	65
Mail-in Responses	4	4	2	1	2	3	3	14	4	35	72
Total Responses	12	6	6	3	7	7	9	21	10	56	137
Response Percentages	8.76%	4.38%	4.38%	2.19%	5.11%	5.11%	6.57%	15.33%	7.30%	40.88%	
<i>answered question</i>											137
<i>skipped question</i>											0



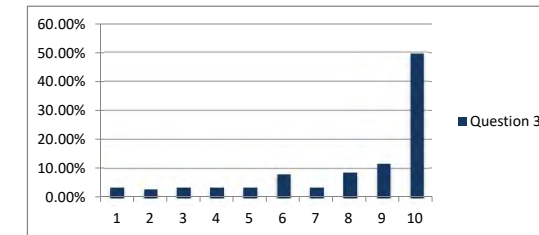
### 2. "The loss of green space when a larger building is constructed is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	8	3	1	0	2	5	4	8	9	25	65
Mail-in Responses	2	2	5	0	2	3	4	7	5	42	72
Total Responses	10	5	6	0	4	8	8	15	14	67	137
Response Percentages	7.30%	3.65%	4.38%	0.00%	2.92%	5.84%	5.84%	10.95%	10.22%	48.91%	
<i>answered question</i>											137
<i>skipped question</i>											0



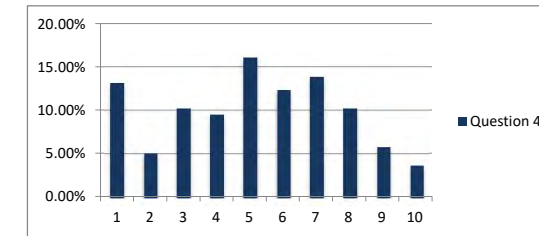
### 3. "The loss of mature vegetation when new construction occurs is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	3	3	1	4	2	6	1	6	11	28	65
Mail-in Responses	2	1	4	1	3	5	4	6	5	39	70
Total Responses	5	4	5	5	5	11	5	12	16	67	135
Response Percentages	3.70%	2.96%	3.70%	3.70%	3.70%	8.15%	3.70%	8.89%	11.85%	49.63%	
<i>answered question</i>											135
<i>skipped question</i>											2



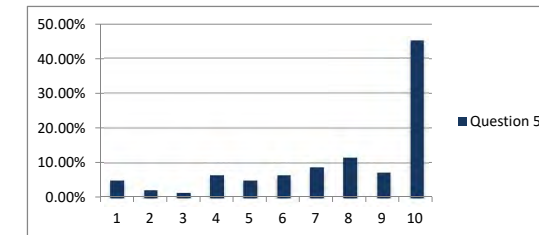
### 4. "Most recent new construction has been compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	7	4	5	6	8	7	12	9	4	3	65
Mail-in Responses	11	3	9	7	14	10	7	5	4	2	72
Total Responses	18	7	14	13	22	17	19	14	8	5	137
Response Percentages	13.14%	5.11%	10.22%	9.49%	16.06%	12.41%	13.87%	10.22%	5.84%	3.65%	
<i>answered question</i>											137
<i>skipped question</i>											0



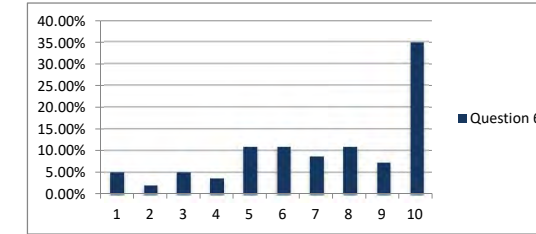
### 5. "A large house next door diminishes privacy in neighbors' back yards."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	6	2	0	5	2	5	5	6	5	29	65
Mail-in Responses	1	1	2	4	5	4	7	10	5	33	72
Total Responses	7	3	2	9	7	9	12	16	10	62	137
Response Percentages	5.11%	2.19%	1.46%	6.57%	5.11%	6.57%	8.76%	11.68%	7.30%	45.26%	
<i>answered question</i>											137
<i>skipped question</i>											0



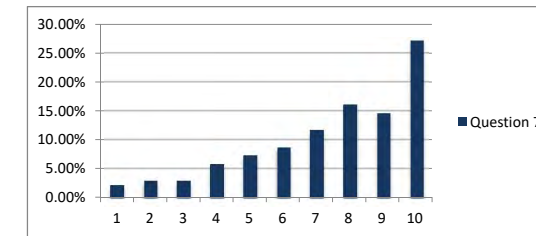
**6. "Regulations that protect historic district character will enhance property values."**

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	5	1	5	4	5	6	5	5	5	24	65	
Mail-in Responses	2	2	2	1	10	9	7	10	5	24	72	
Total Responses	7	3	7	5	15	15	12	15	10	48	137	
Response Percentages	5.11%	2.19%	5.11%	3.65%	10.95%	10.95%	8.76%	10.95%	7.30%	35.04%		
<i>answered question</i>											137	
<i>skipped question</i>											0	



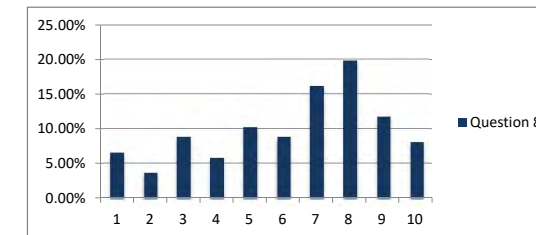
**7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."**

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	2	1	2	1	5	5	8	9	11	21	65	
Mail-in Responses	1	3	2	7	5	7	8	13	9	16	71	
Total Responses	3	4	4	8	10	12	16	22	20	37	136	
Response Percentages	2.21%	2.94%	2.94%	5.88%	7.35%	8.82%	11.76%	16.18%	14.71%	27.21%		
<i>answered question</i>											136	
<i>skipped question</i>											1	



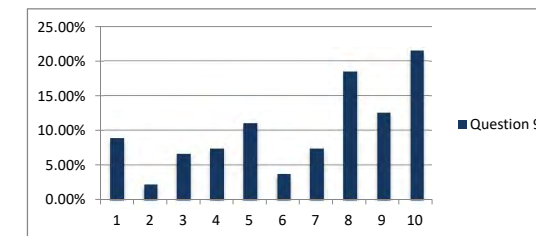
**8. "Most recent renovation projects have been appropriate."**

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	4	0	4	3	5	4	13	11	12	8	64	
Mail-in Responses	5	5	8	5	9	8	9	16	4	3	72	
Total Responses	9	5	12	8	14	12	22	27	16	11	136	
Response Percentages	6.62%	3.68%	8.82%	5.88%	10.29%	8.82%	16.18%	19.85%	11.76%	8.09%		
<i>answered question</i>											136	
<i>skipped question</i>											1	



**9. "An addition to a historic building should be visually subordinate to the building."**

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	7	2	6	4	9	3	3	8	8	14	64	
Mail-in Responses	5	1	3	6	6	2	7	17	9	15	71	
Total Responses	12	3	9	10	15	5	10	25	17	29	135	
Response Percentages	8.89%	2.22%	6.67%	7.41%	11.11%	3.70%	7.41%	18.52%	12.59%	21.48%		
<i>answered question</i>											135	
<i>skipped question</i>											2	



**10. Have you previously attended a community workshop for this project?**

Answer Options	Response Percent	Response Count
Yes	20.6%	13
No	79.4%	51
<i>answered question</i>		64
<i>skipped question</i>		1

**11. What are the key issues related to the treatment of historic buildings in the district?**

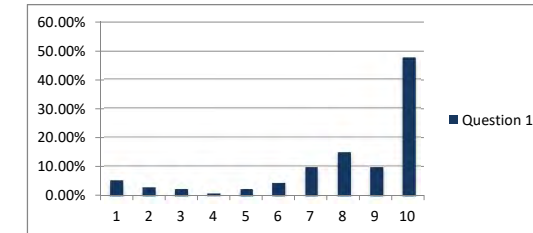
Answer Options	Response Count	
<i>answered question</i>		63
<i>skipped question</i>		74



Part 2: Design Tools

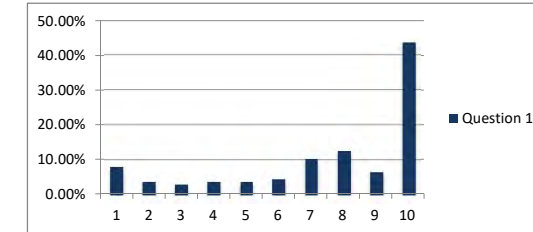
12. Building Size in Relation to Lot Size Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses. Please indicate the degree to which you agree or disagree with this statement: "Guidelines which relate the size of a building to the size of its lot should be considered."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	5	2	2	1	3	3	6	4	8	28	62
Mail-in Responses	2	2	1	0	0	3	7	16	5	36	72
Total Responses	7	4	3	1	3	6	13	20	13	64	134
Response Percentages	5.22%	2.99%	2.24%	0.75%	2.24%	4.48%	9.70%	14.93%	9.70%	47.76%	
	answered question										134
	skipped question										3



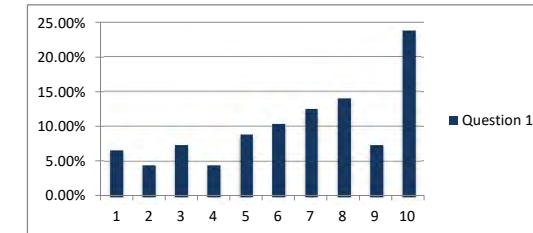
13. Lot Coverage All areas of a property that are covered by buildings and roofed porches are included in lot coverage. Please indicate the degree to which you agree or disagree with this statement: "A limit on the percentage of lot coverage should be considered to help maintain open space."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	7	2	3	2	5	2	9	5	3	25	63
Mail-in Responses	4	3	1	3	0	4	5	12	6	34	72
Total Responses	11	5	4	5	5	6	14	17	9	59	135
Response Percentages	8.15%	3.70%	2.96%	3.70%	3.70%	4.44%	10.37%	12.59%	6.67%	43.70%	
	answered question										135
	skipped question										2



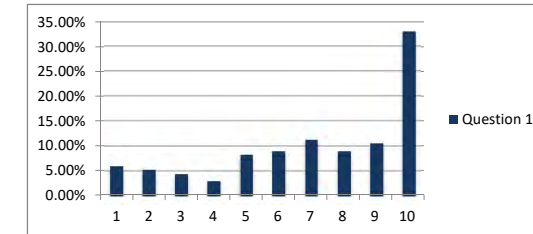
14. One-Story Element A one-story element (to the front or side of a house) can help reduce its perceived size. Please indicate the degree to which you agree or disagree with this statement: "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	6	3	3	5	6	4	9	9	4	14	63
Mail-in Responses	3	3	7	1	6	10	8	10	6	18	72
Total Responses	9	6	10	6	12	14	17	19	10	32	135
Response Percentages	6.67%	4.44%	7.41%	4.44%	8.89%	10.37%	12.59%	14.07%	7.41%	23.70%	
	answered question										135
	skipped question										2



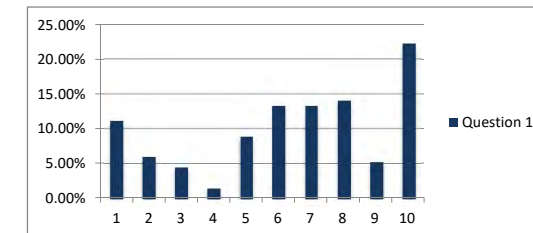
15. Maximum Building Envelope A maximum building envelope can modify the shape and limit the overall size of a building on its lot. Please indicate the degree to which you agree or disagree with this statement: "A maximum building envelope should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	6	4	4	3	4	3	8	5	6	20	63
Mail-in Responses	2	3	2	1	7	9	7	7	8	24	70
Total Responses	8	7	6	4	11	12	15	12	14	44	133
Response Percentages	6.02%	5.26%	4.51%	3.01%	8.27%	9.02%	11.28%	9.02%	10.53%	33.08%	
	answered question										133
	skipped question										4



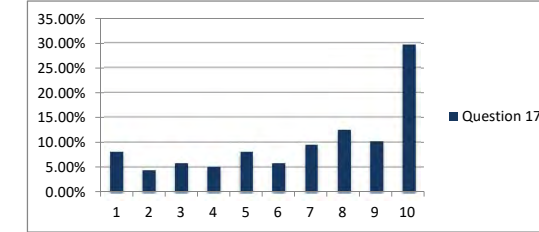
16. Side Wall Offset Limiting the length of a side wall can reduce the perceived size of a house. Please indicate the degree to which you agree or disagree with this statement: "A side wall offset should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	8	5	4	1	7	8	10	6	3	13	63
Mail-in Responses	7	3	2	1	5	10	10	13	4	17	72
Total Responses	15	8	6	2	12	18	18	19	7	30	135
Response Percentages	11.11%	5.93%	4.44%	1.48%	8.89%	13.33%	13.33%	14.07%	5.19%	22.22%	
	answered question										135
	skipped question										2



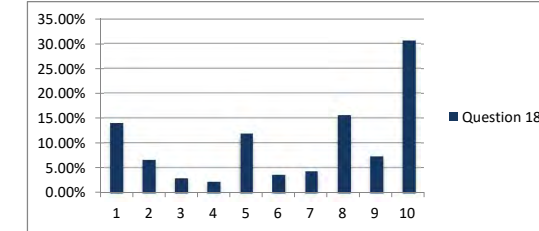
17. Wall Height Guidelines can limit the height of all or part of a wall to reduce perceived building size. Please indicate the degree to which you agree or disagree with this statement: "A wall height limit should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	6	3	8	2	5	3	2	8	7	19	63
Mail-in Responses	5	3	0	5	6	5	11	9	7	21	72
Total Responses	11	6	8	7	11	8	13	17	14	40	135
Response Percentages	8.15%	4.44%	5.93%	5.19%	8.15%	5.93%	9.63%	12.59%	10.37%	29.63%	
	answered question										135
	skipped question										2



18. Parking Location The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site. Please indicate the degree to which you agree or disagree with this statement: "Design guidelines should address appropriate parking locations."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	12	5	2	3	5	1	4	7	5	19	63
Mail-in Responses	7	4	2	0	11	4	2	14	5	22	71
Total Responses	19	9	4	3	16	5	6	21	10	41	134
Response Percentages	14.18%	6.72%	2.99%	2.24%	11.94%	3.73%	4.48%	15.67%	7.46%	30.60%	
	answered question										134
	skipped question										3

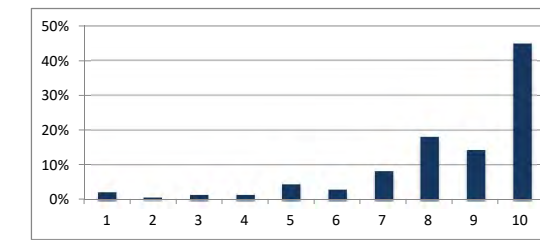


Part 3: Building Scenarios

Building Scenario A

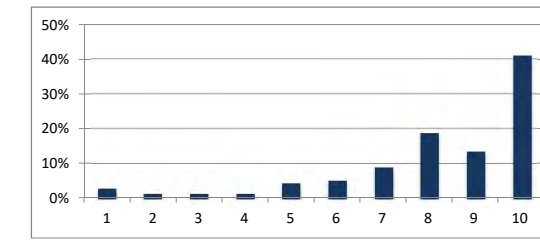
**19. "Lot coverage is compatible."**

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	2	0	0	1	2	1	5	9	11	29	60	
Mail-in Responses	1	1	2	1	4	3	6	15	8	30	71	
Total Responses	3	1	2	2	6	4	11	24	19	59	131	
Response Percentages	2%	1%	2%	2%	5%	3%	8%	18%	15%	45%		
											<i>answered question</i>	131
											<i>skipped question</i>	6



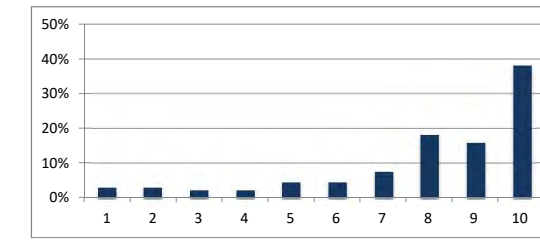
**20. "Size of addition is compatible."**

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	3	1	0	2	1	4	3	10	11	25	60	
Mail-in Responses	1	1	2	0	5	3	9	15	7	29	72	
Total Responses	4	2	2	2	6	7	12	25	18	54	132	
Response Percentages	3%	2%	2%	2%	5%	5%	9%	19%	14%	41%		
											<i>answered question</i>	132
											<i>skipped question</i>	5



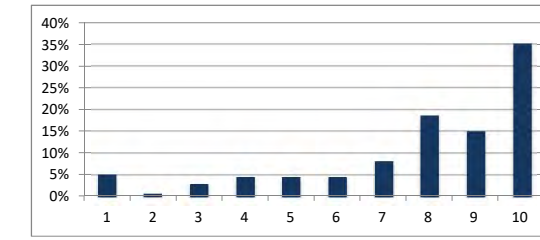
**21. "Height of addition is compatible."**

Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	2	2	0	2	3	2	4	13	8	24	60	
Mail-in Responses	2	2	3	1	3	4	6	11	13	26	71	
Total Responses	4	4	3	3	6	6	10	24	21	50	131	
Response Percentages	3%	3%	2%	2%	5%	5%	8%	18%	16%	38%		
											<i>answered question</i>	131
											<i>skipped question</i>	6



**22. "Form (shape) of addition is compatible."**

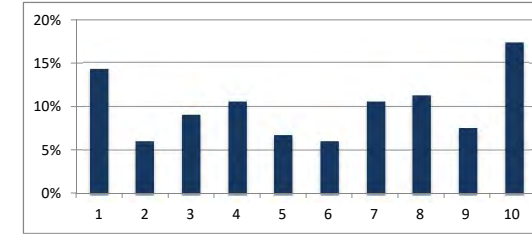
Answer Options	Strongly Disagree										Strongly Agree	Response Count
On-line Responses	3	1	1	4	0	3	4	13	10	22	61	
Mail-in Responses	4	0	3	2	6	3	7	12	10	25	72	
Total Responses	7	1	4	6	6	6	11	25	20	47	133	
Response Percentages	5%	1%	3%	5%	5%	5%	8%	19%	15%	35%		
											<i>answered question</i>	133
											<i>skipped question</i>	4



Building Scenario B

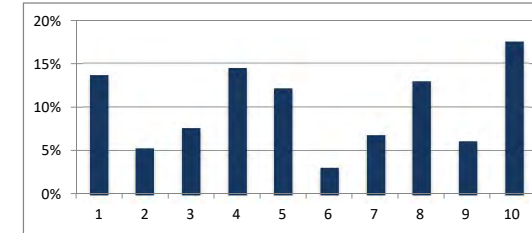
23. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	5	4	3	5	2	6	8	8	5	14	60	
Mail-in Responses	14	4	9	9	7	2	6	7	5	9	72	
Total Responses	19	8	12	14	9	8	14	15	10	23	132	
Response Percentages	14%	6%	9%	11%	7%	6%	11%	11%	8%	17%		
											answered question	132
											skipped question	5



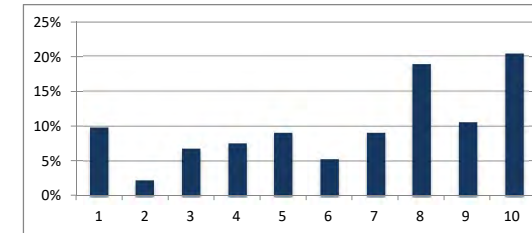
24. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	4	3	3	6	8	2	7	10	3	14	60	
Mail-in Responses	14	4	7	13	8	2	2	7	5	9	71	
Total Responses	18	7	10	19	16	4	9	17	8	23	131	
Response Percentages	14%	5%	8%	15%	12%	3%	7%	13%	6%	18%		
											answered question	131
											skipped question	6



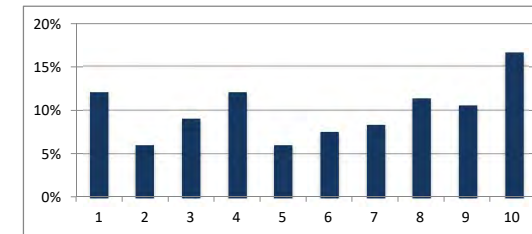
25. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	4	2	2	5	4	3	6	12	8	14	60	
Mail-in Responses	9	1	7	5	8	4	6	13	6	13	72	
Total Responses	13	3	9	10	12	7	12	25	14	27	132	
Response Percentages	10%	2%	7%	8%	9%	5%	9%	19%	11%	20%		
											answered question	132
											skipped question	5



26. "Form (shape) of addition is compatible."

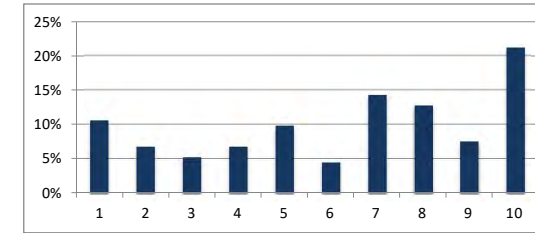
Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	5	4	4	5	2	5	6	8	8	13	60	
Mail-in Responses	11	4	8	11	6	5	5	7	6	9	72	
Total Responses	16	8	12	16	8	10	11	15	14	22	132	
Response Percentages	12%	6%	9%	12%	6%	8%	8%	11%	11%	17%		
											answered question	132
											skipped question	5



Building Scenario C

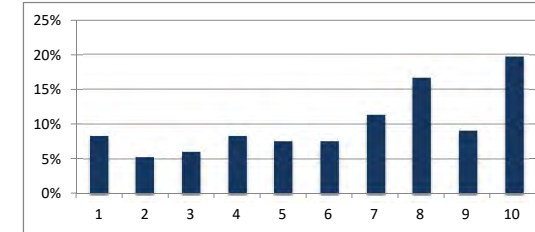
27. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	2	4	3	1	5	4	11	11	5	14	60
Mail-in Responses	12	5	4	8	8	2	8	6	5	14	72
Total Responses	14	9	7	9	13	6	19	17	10	28	132
Response Percentages	11%	7%	5%	7%	10%	5%	14%	13%	8%	21%	
<i>answered question</i>											132
<i>skipped question</i>											5



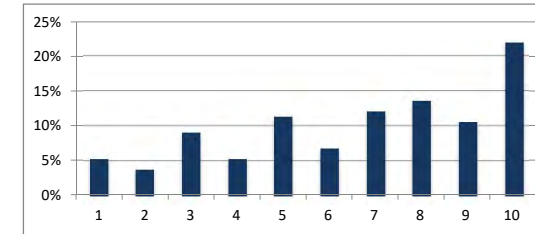
28. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	3	2	2	2	6	3	11	12	6	13	60
Mail-in Responses	8	5	6	9	4	7	4	10	6	13	72
Total Responses	11	7	8	11	10	10	15	22	12	26	132
Response Percentages	8%	5%	6%	8%	8%	8%	11%	17%	9%	20%	
<i>answered question</i>											132
<i>skipped question</i>											5



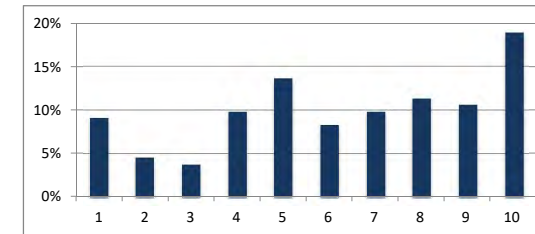
29. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	2	3	4	2	7	5	6	10	7	14	60
Mail-in Responses	5	2	8	5	8	4	10	8	7	15	72
Total Responses	7	5	12	7	15	9	16	18	14	29	132
Response Percentages	5%	4%	9%	5%	11%	7%	12%	14%	11%	22%	
<i>answered question</i>											132
<i>skipped question</i>											5



30. "Form (shape) of addition is compatible."

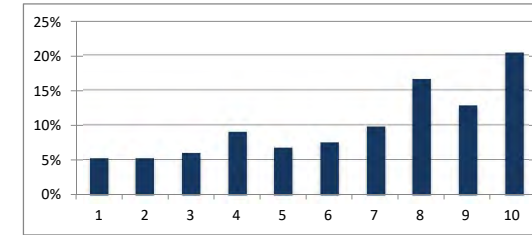
Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	4	2	3	5	7	4	7	7	9	12	60
Mail-in Responses	8	4	2	8	11	7	6	8	5	13	72
Total Responses	12	6	5	13	18	11	13	15	14	25	132
Response Percentages	9%	5%	4%	10%	14%	8%	10%	11%	11%	19%	
<i>answered question</i>											132
<i>skipped question</i>											5



Building Scenario D

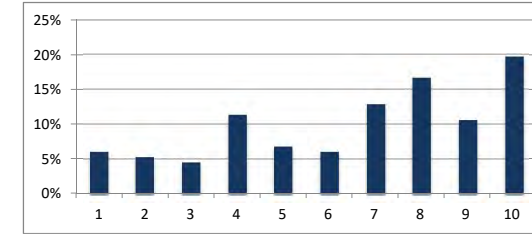
31. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	1	3	2	3	3	5	7	12	9	15	60
Mail-in Responses	6	4	6	9	6	5	6	10	8	12	72
Total Responses	7	7	8	12	9	10	13	22	17	27	132
Response Percentages	5%	5%	6%	9%	7%	8%	10%	17%	13%	20%	
<i>answered question</i>											132
<i>skipped question</i>											5



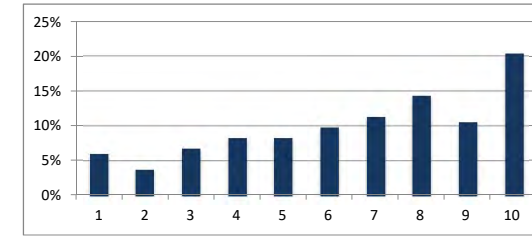
32. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	1	3	1	5	3	5	7	13	9	13	60
Mail-in Responses	7	4	5	10	6	3	10	9	5	13	72
Total Responses	8	7	6	15	9	8	17	22	14	26	132
Response Percentages	6%	5%	5%	11%	7%	6%	13%	17%	11%	20%	
<i>answered question</i>											132
<i>skipped question</i>											5



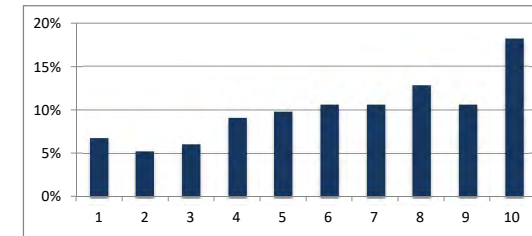
33. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	2	4	2	5	4	4	7	9	9	14	60
Mail-in Responses	6	1	7	6	7	9	8	10	5	13	72
Total Responses	8	5	9	11	11	13	15	19	14	27	132
Response Percentages	6%	4%	7%	8%	8%	10%	11%	14%	11%	20%	
<i>answered question</i>											132
<i>skipped question</i>											5



34. "Building form (shape) is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	2	5	2	3	4	7	5	10	9	13	60
Mail-in Responses	7	2	6	9	9	7	9	7	5	11	72
Total Responses	9	7	8	12	13	14	14	17	14	24	132
Response Percentages	7%	5%	6%	9%	10%	11%	11%	13%	11%	18%	
<i>answered question</i>											132
<i>skipped question</i>											5

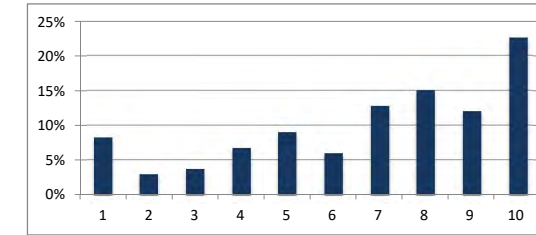




Building Scenario E

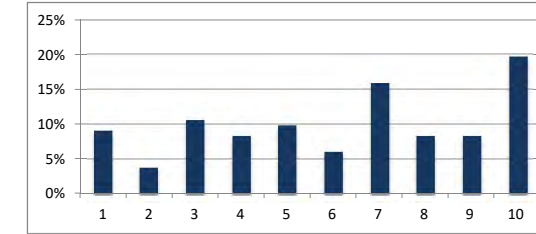
35. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	4	1	2	1	4	4	9	12	8	15	60
Mail-in Responses	7	3	3	8	8	4	8	8	8	15	72
Total Responses	11	4	5	9	12	8	17	20	16	30	132
Response Percentages	8%	3%	4%	7%	9%	6%	13%	15%	12%	23%	
<i>answered question</i>											132
<i>skipped question</i>											5



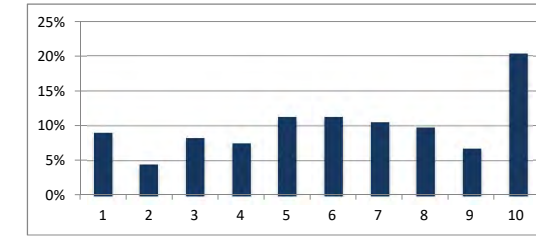
36. "Building size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	4	1	5	2	2	7	13	7	7	12	60
Mail-in Responses	8	4	9	9	11	1	8	4	4	14	72
Total Responses	12	5	14	11	13	8	21	11	11	26	132
Response Percentages	9%	4%	11%	8%	10%	6%	16%	8%	8%	20%	
<i>answered question</i>											132
<i>skipped question</i>											5



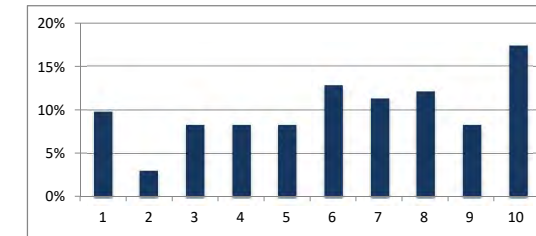
37. "Overall height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	5	2	3	2	5	10	9	6	5	13	60
Mail-in Responses	7	4	8	8	10	5	5	7	4	14	72
Total Responses	12	6	11	10	15	15	14	13	9	27	132
Response Percentages	9%	5%	8%	8%	11%	11%	11%	10%	7%	20%	
<i>answered question</i>											132
<i>skipped question</i>											5



38. "Building shape (form) is compatible."

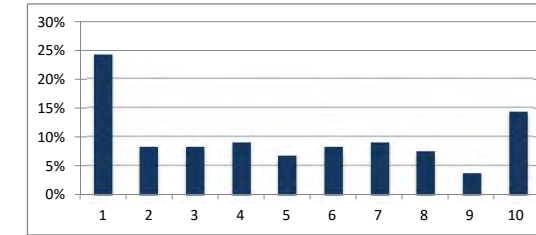
Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	5	2	3	1	6	7	11	7	7	11	60
Mail-in Responses	8	2	8	10	5	10	4	9	4	12	72
Total Responses	13	4	11	11	11	17	15	16	11	23	132
Response Percentages	10%	3%	8%	8%	8%	13%	11%	12%	8%	17%	
<i>answered question</i>											132
<i>skipped question</i>											5



Building Scenario F

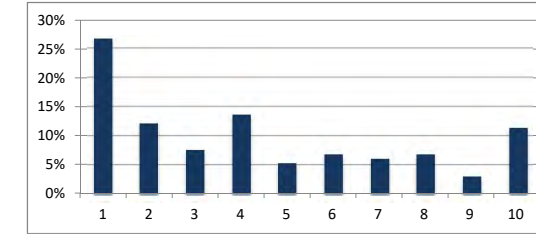
39. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	10	3	4	6	6	6	6	5	4	10	60
Mail-in Responses	22	8	7	6	3	5	6	5	1	9	72
<b>Total Responses</b>	<b>32</b>	<b>11</b>	<b>11</b>	<b>12</b>	<b>9</b>	<b>11</b>	<b>12</b>	<b>10</b>	<b>5</b>	<b>19</b>	<b>132</b>
Response Percentages	24%	8%	8%	9%	7%	8%	9%	8%	4%	14%	
<i>answered question</i>											<b>132</b>
<i>skipped question</i>											<b>5</b>



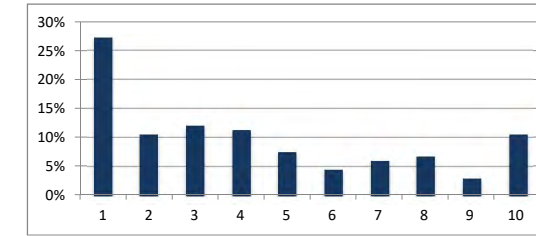
40. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	12	5	4	10	3	4	5	6	2	9	60
Mail-in Responses	23	11	6	8	4	5	3	3	2	6	71
<b>Total Responses</b>	<b>35</b>	<b>16</b>	<b>10</b>	<b>18</b>	<b>7</b>	<b>9</b>	<b>8</b>	<b>9</b>	<b>4</b>	<b>15</b>	<b>131</b>
Response Percentages	27%	12%	8%	14%	5%	7%	6%	7%	3%	11%	
<i>answered question</i>											<b>131</b>
<i>skipped question</i>											<b>6</b>



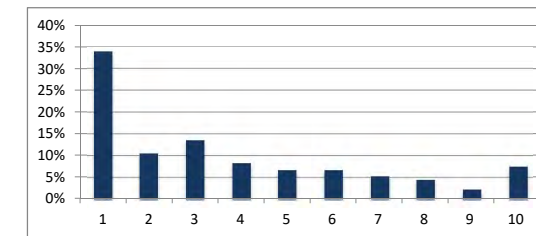
41. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	13	3	7	8	5	2	4	7	2	9	60
Mail-in Responses	23	11	9	7	5	4	4	2	2	5	72
<b>Total Responses</b>	<b>36</b>	<b>14</b>	<b>16</b>	<b>15</b>	<b>10</b>	<b>6</b>	<b>8</b>	<b>9</b>	<b>4</b>	<b>14</b>	<b>132</b>
Response Percentages	27%	11%	12%	11%	8%	5%	6%	7%	3%	11%	
<i>answered question</i>											<b>132</b>
<i>skipped question</i>											<b>5</b>



42. "Building shape (form) is compatible."

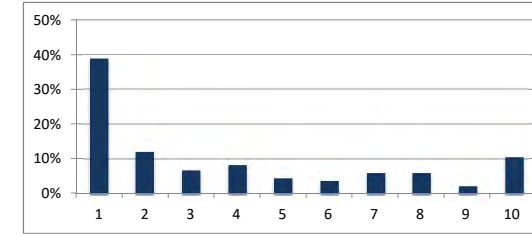
Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	17	4	7	6	3	7	3	4	3	6	60
Mail-in Responses	28	10	11	5	6	2	4	2	0	4	72
<b>Total Responses</b>	<b>45</b>	<b>14</b>	<b>18</b>	<b>11</b>	<b>9</b>	<b>9</b>	<b>7</b>	<b>6</b>	<b>3</b>	<b>10</b>	<b>132</b>
Response Percentages	34%	11%	14%	8%	7%	7%	5%	5%	2%	8%	
<i>answered question</i>											<b>132</b>
<i>skipped question</i>											<b>5</b>



Building Scenario G

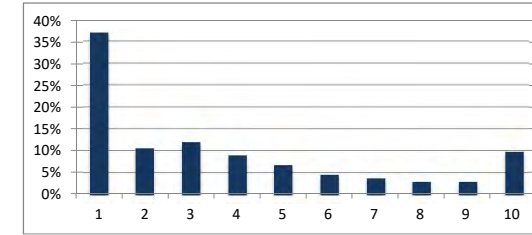
43. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	6	5	6	5	2	5	7	2	9	60
Mail-in Responses	38	10	4	5	1	3	3	1	1	5	71
Total Responses	51	16	9	11	6	5	8	8	3	14	131
Response Percentages	39%	12%	7%	8%	5%	4%	6%	6%	2%	11%	
<i>answered question</i>											131
<i>skipped question</i>											6



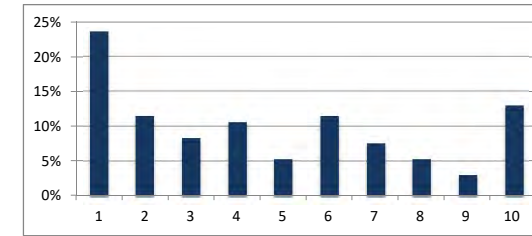
44. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	14	6	5	8	7	3	3	2	3	9	60
Mail-in Responses	35	8	11	4	2	3	2	2	1	4	72
Total Responses	49	14	16	12	9	6	5	4	4	13	132
Response Percentages	37%	11%	12%	9%	7%	5%	4%	3%	3%	10%	
<i>answered question</i>											132
<i>skipped question</i>											5



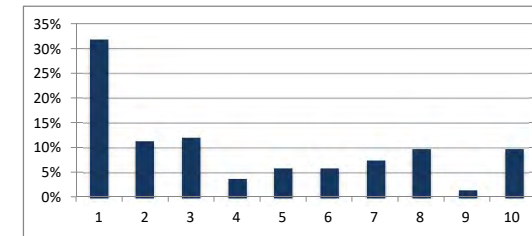
45. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	11	3	5	9	6	3	5	5	1	12	60
Mail-in Responses	20	12	6	5	1	12	5	2	3	5	71
Total Responses	31	15	11	14	7	15	10	7	4	17	131
Response Percentages	24%	11%	8%	11%	5%	11%	8%	5%	3%	13%	
<i>answered question</i>											131
<i>skipped question</i>											6



46. "Building shape (form) is compatible."

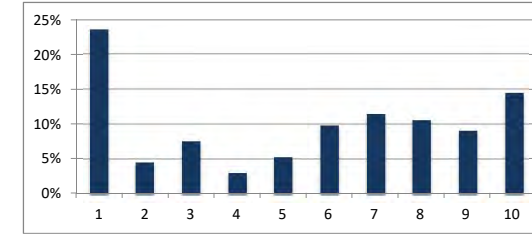
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	16	4	7	3	3	6	4	7	1	9	60
Mail-in Responses	26	11	9	2	5	2	6	6	1	4	72
Total Responses	42	15	16	5	8	8	10	13	2	13	132
Response Percentages	32%	11%	12%	4%	6%	6%	8%	10%	2%	10%	
<i>answered question</i>											132
<i>skipped question</i>											5



Building Scenario H

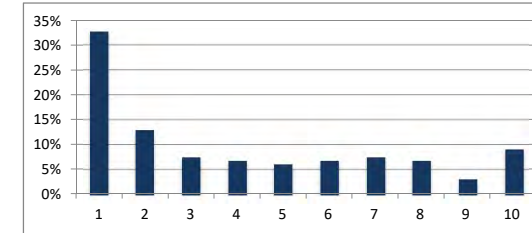
47. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	8	2	4	1	5	6	10	5	6	12	59	
Mail-in Responses	23	4	6	3	2	7	5	9	6	7	72	
Total Responses	31	6	10	4	7	13	15	14	12	19	131	
Response Percentages	24%	5%	8%	3%	5%	10%	11%	11%	9%	15%		
											answered question	131
											skipped question	6



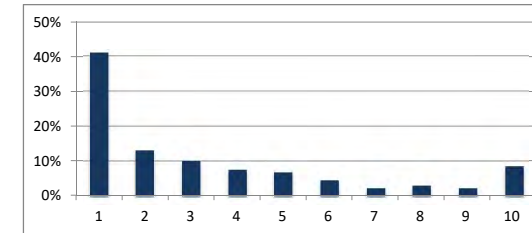
48. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	12	8	3	4	3	9	7	2	4	7	59	
Mail-in Responses	31	9	7	5	5	0	3	7	0	5	72	
Total Responses	43	17	10	9	8	9	10	9	4	12	131	
Response Percentages	33%	13%	8%	7%	6%	7%	8%	7%	3%	9%		
											answered question	131
											skipped question	6



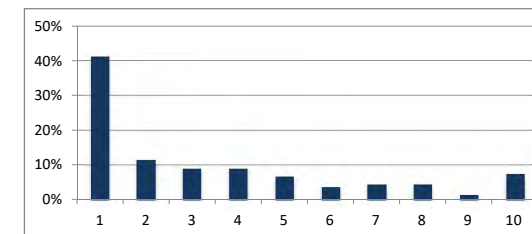
49. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	15	7	9	5	6	3	3	1	2	7	58	
Mail-in Responses	38	10	4	5	3	3	0	3	1	4	71	
Total Responses	53	17	13	10	9	6	3	4	3	11	129	
Response Percentages	41%	13%	10%	8%	7%	5%	2%	3%	2%	9%		
											answered question	129
											skipped question	8



50. "Building shape (form) is compatible."

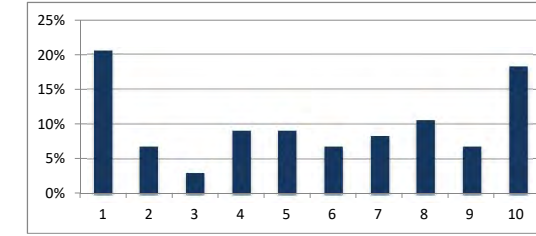
Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	16	6	4	6	5	4	4	4	2	8	59	
Mail-in Responses	38	9	8	6	4	1	2	2	0	2	72	
Total Responses	54	15	12	12	9	5	6	6	2	10	131	
Response Percentages	41%	11%	9%	9%	7%	4%	5%	5%	2%	8%		
											answered question	131
											skipped question	6



Building Scenario I

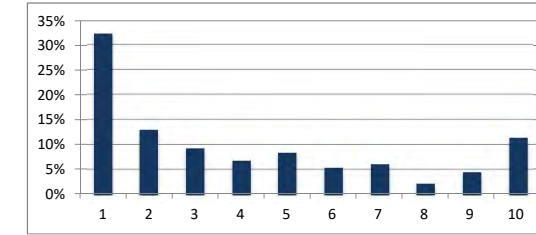
51. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	7	3	4	3	6	6	6	5	6	13	59	
Mail-in Responses	20	6	0	9	6	3	5	9	3	11	72	
Total Responses	27	9	4	12	12	9	11	14	9	24	131	
Response Percentages	21%	7%	3%	9%	9%	7%	8%	11%	7%	18%		
											answered question	131
											skipped question	6



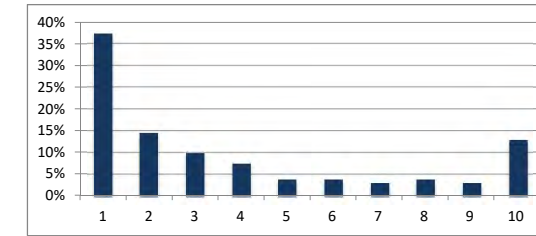
52. "Overall size is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	11	8	7	3	7	3	3	2	5	10	59	
Mail-in Responses	31	9	5	6	4	4	5	1	1	5	71	
Total Responses	42	17	12	9	11	7	8	3	6	15	130	
Response Percentages	32%	13%	9%	7%	8%	5%	6%	2%	5%	12%		
											answered question	130
											skipped question	7



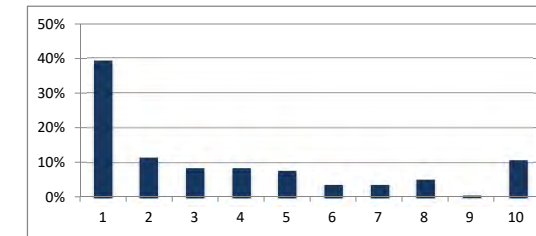
53. "Building height is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	15	7	8	5	4	2	3	3	1	11	59	
Mail-in Responses	34	12	5	5	1	3	1	2	3	6	72	
Total Responses	49	19	13	10	5	5	4	5	4	17	131	
Response Percentages	37%	15%	10%	8%	4%	4%	3%	4%	3%	13%		
											answered question	131
											skipped question	6



54. "Building shape (form) is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	19	7	5	5	4	2	2	3	1	11	59	
Mail-in Responses	32	8	6	6	6	3	3	4	0	3	71	
Total Responses	51	15	11	11	10	5	5	7	1	14	130	
Response Percentages	39%	12%	8%	8%	8%	4%	4%	5%	1%	11%		
											answered question	130
											skipped question	7

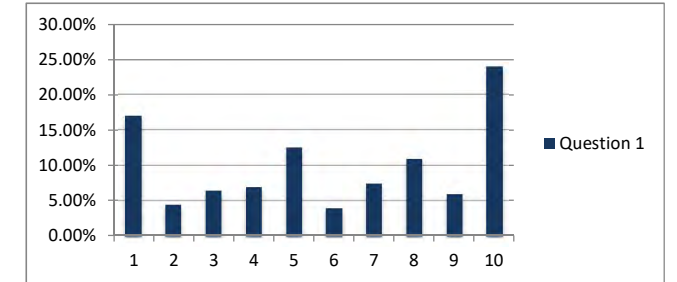


# Norhill - Compatible Design Survey - Survey Results Sheet

## Part 1: Overall Issues in the District

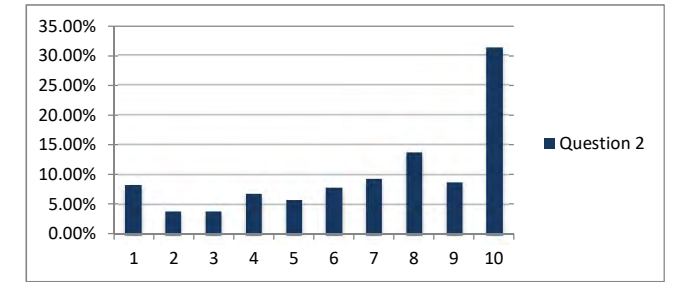
### 1. "Some recent construction in my historic district is too large."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	11	4	7	7	13	5	8	10	5	15	85
Mail-in Responses	23	5	6	7	12	3	7	12	7	33	115
<b>Total Responses</b>	<b>34</b>	<b>9</b>	<b>13</b>	<b>14</b>	<b>25</b>	<b>8</b>	<b>15</b>	<b>22</b>	<b>12</b>	<b>48</b>	<b>200</b>
Response Percentages	17.00%	4.50%	6.50%	7.00%	12.50%	4.00%	7.50%	11.00%	6.00%	24.00%	
<i>answered question</i>											200
<i>skipped question</i>											5



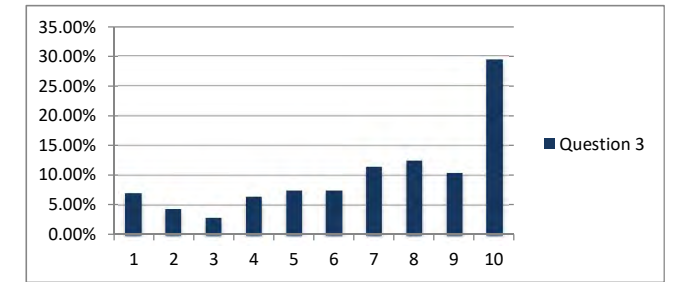
### 2. "The loss of green space when a larger building is constructed is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	4	2	7	7	9	6	12	5	28	86
Mail-in Responses	11	4	6	7	5	7	13	16	13	36	118
<b>Total Responses</b>	<b>17</b>	<b>8</b>	<b>8</b>	<b>14</b>	<b>12</b>	<b>16</b>	<b>19</b>	<b>28</b>	<b>18</b>	<b>64</b>	<b>204</b>
Response Percentages	8.33%	3.92%	3.92%	6.86%	5.88%	7.84%	9.31%	13.73%	8.82%	31.37%	
<i>answered question</i>											204
<i>skipped question</i>											1



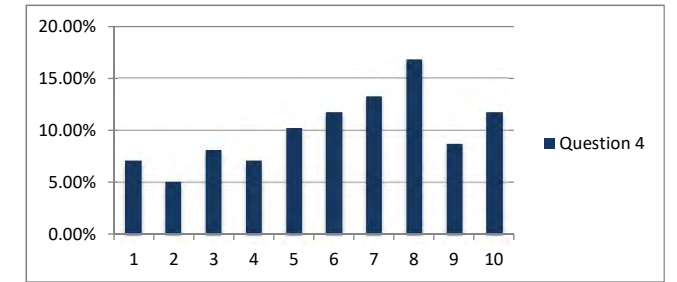
### 3. "The loss of mature vegetation when new construction occurs is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	4	2	5	6	8	7	12	12	24	86
Mail-in Responses	8	5	4	8	9	7	16	13	9	35	114
<b>Total Responses</b>	<b>14</b>	<b>9</b>	<b>6</b>	<b>13</b>	<b>15</b>	<b>15</b>	<b>23</b>	<b>25</b>	<b>21</b>	<b>59</b>	<b>200</b>
Response Percentages	7.00%	4.50%	3.00%	6.50%	7.50%	7.50%	11.50%	12.50%	10.50%	29.50%	
<i>answered question</i>											200
<i>skipped question</i>											5



### 4. "Most recent new construction has been compatible."

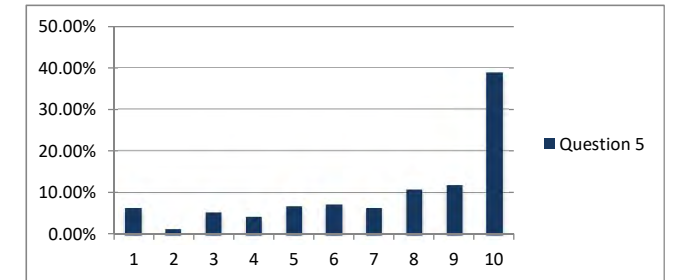
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	5	6	9	7	13	11	16	8	8	85
Mail-in Responses	12	5	10	5	13	10	15	17	9	15	111
<b>Total Responses</b>	<b>14</b>	<b>10</b>	<b>16</b>	<b>14</b>	<b>20</b>	<b>23</b>	<b>26</b>	<b>33</b>	<b>17</b>	<b>23</b>	<b>196</b>
Response Percentages	7.14%	5.10%	8.16%	7.14%	10.20%	11.73%	13.27%	16.84%	8.67%	11.73%	
<i>answered question</i>											196
<i>skipped question</i>											9





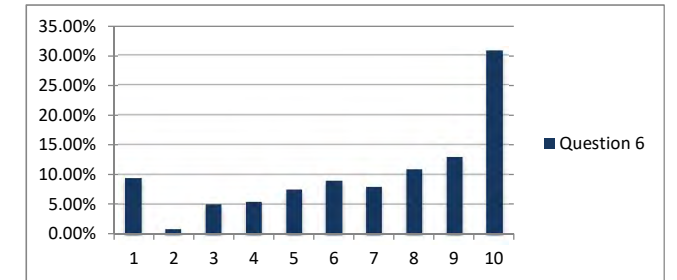
**5. "A large house next door diminishes privacy in neighbors' back yards."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	4	1	6	3	6	8	7	7	7	37	86
Mail-in Responses	9	2	5	6	8	7	6	15	17	42	117
Total Responses	13	3	11	9	14	15	13	22	24	79	203
Response Percentages	6.40%	1.48%	5.42%	4.43%	6.90%	7.39%	6.40%	10.84%	11.82%	38.92%	
<i>answered question</i>											203
<i>skipped question</i>											2



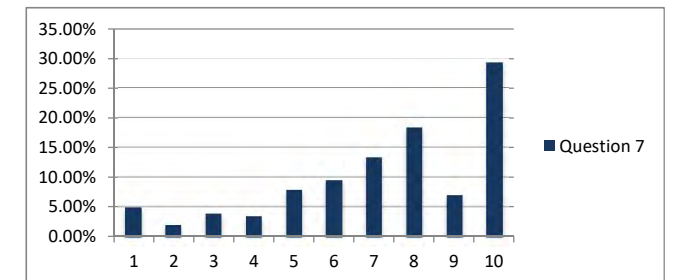
**6. "Regulations that protect historic district character will enhance property values."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	6	1	3	3	6	10	7	10	11	29	86
Mail-in Responses	13	1	7	8	9	8	9	12	15	33	115
Total Responses	19	2	10	11	15	18	16	22	26	62	201
Response Percentages	9.45%	1.00%	4.98%	5.47%	7.46%	8.96%	7.96%	10.95%	12.94%	30.85%	
<i>answered question</i>											201
<i>skipped question</i>											4



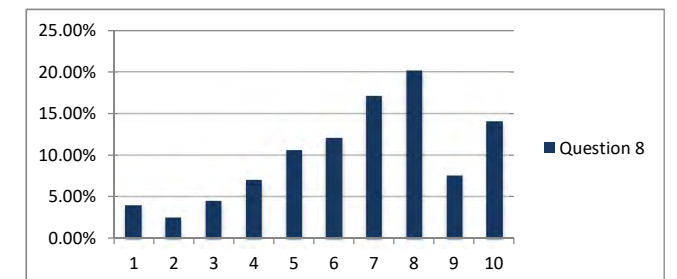
**7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	5	3	2	5	5	7	12	16	6	24	85
Mail-in Responses	5	1	6	2	11	12	15	21	8	35	116
Total Responses	10	4	8	7	16	19	27	37	14	59	201
Response Percentages	4.98%	1.99%	3.98%	3.48%	7.96%	9.45%	13.43%	18.41%	6.97%	29.35%	
<i>answered question</i>											201
<i>skipped question</i>											4



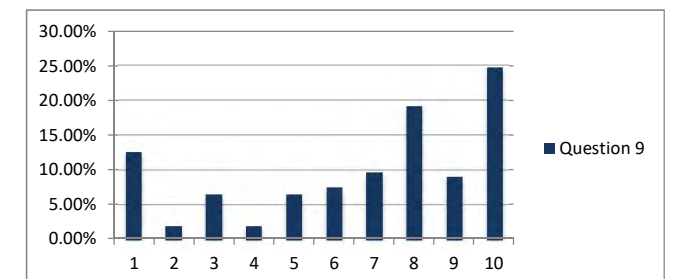
**8. "Most recent renovation projects have been appropriate."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	2	3	2	8	7	10	17	18	11	6	84
Mail-in Responses	6	2	7	6	14	14	17	22	4	22	114
Total Responses	8	5	9	14	21	24	34	40	15	28	198
Response Percentages	4.04%	2.53%	4.55%	7.07%	10.61%	12.12%	17.17%	20.20%	7.58%	14.14%	
<i>answered question</i>											198
<i>skipped question</i>											7



**9. "An addition to a historic building should be visually subordinate to the building."**

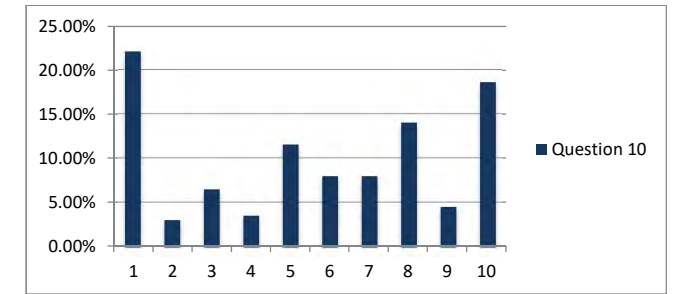
Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	8	0	2	3	7	9	11	16	9	19	84
Mail-in Responses	17	4	11	1	6	6	8	22	9	30	114
Total Responses	25	4	13	4	13	15	19	38	18	49	198
Response Percentages	12.63%	2.02%	6.57%	2.02%	6.57%	7.58%	9.60%	19.19%	9.09%	24.75%	
<i>answered question</i>											198
<i>skipped question</i>											7



10. "Fences should be included in the design guidelines."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	18	2	8	4	7	7	6	13	4	16	85	
Mail-in Responses	26	4	5	3	16	9	10	15	5	21	114	
Total Responses	44	6	13	7	23	16	16	28	9	37	199	
Response Percentages	22.11%	3.02%	6.53%	3.52%	11.56%	8.04%	8.04%	14.07%	4.52%	18.59%		
											<i>answered question</i>	199
											<i>skipped question</i>	6

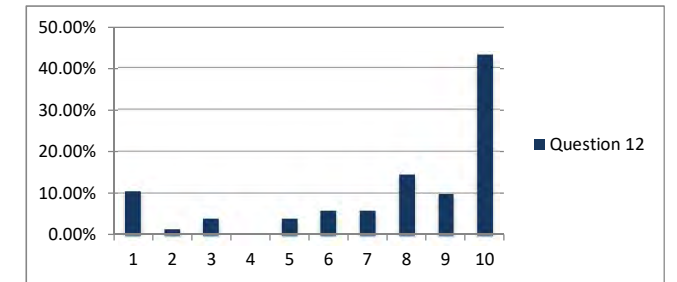
Answer Options	Response Count
	84
<i>answered question</i>	84
<i>skipped question</i>	121



Part 2: Design Tools

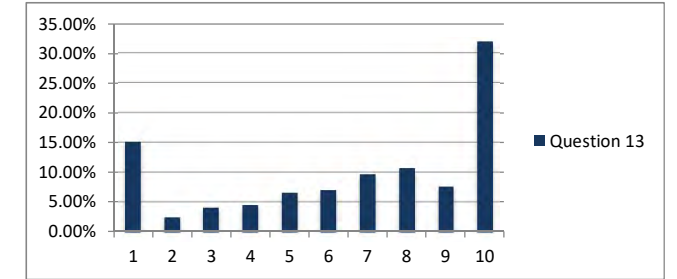
**12. Building Size in Relation to Lot Size** Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses. Please indicate the degree to which you agree or disagree with this statement: "Guidelines which relate the size of a building to the size of its lot should be considered."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	5	0	4	0	3	7	6	13	9	35	82
Mail-in Responses	16	3	4	0	5	5	6	16	11	51	117
Total Responses	21	3	8	0	8	12	12	29	20	86	199
Response Percentages	10.55%	1.51%	4.02%	0.00%	4.02%	6.03%	6.03%	14.57%	10.05%	43.22%	
answered question											199
skipped question											6



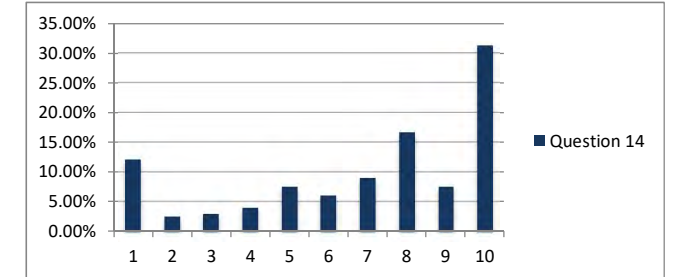
**13. Lot Coverage** All areas of a property that are covered by buildings and roofed porches are included in lot coverage. Please indicate the degree to which you agree or disagree with this statement: "A limit on the percentage of lot coverage should be considered to help maintain open space."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	11	3	5	4	7	5	11	9	4	23	82
Mail-in Responses	19	2	3	5	6	9	8	12	11	40	115
Total Responses	30	5	8	9	13	14	19	21	15	63	197
Response Percentages	15.23%	2.54%	4.06%	4.57%	6.60%	7.11%	9.64%	10.66%	7.61%	31.98%	
answered question											197
skipped question											8



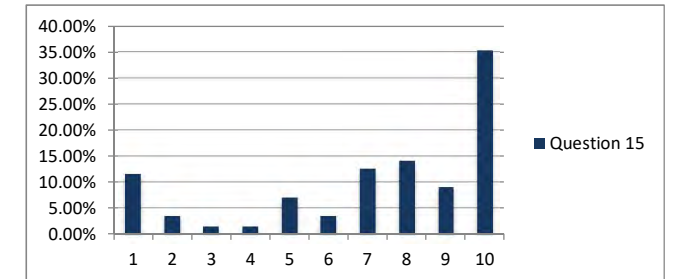
**14. One-Story Element** A one-story element (to the front or side of a house) can help reduce its perceived size. Please indicate the degree to which you agree or disagree with this statement: "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	7	2	5	4	4	7	6	15	7	25	82
Mail-in Responses	17	3	1	4	11	5	12	18	8	37	116
Total Responses	24	5	6	8	15	12	18	33	15	62	198
Response Percentages	12.12%	2.53%	3.03%	4.04%	7.58%	6.06%	9.09%	16.67%	7.58%	31.31%	
answered question											198
skipped question											7



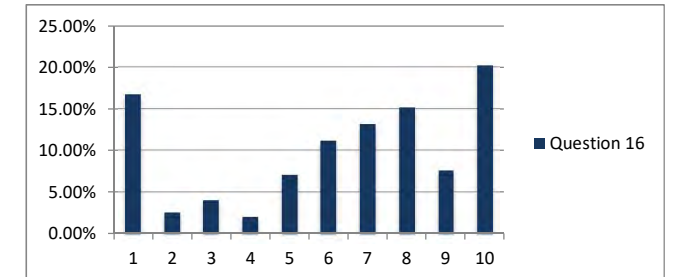
**15. Maximum Building Envelope** A maximum building envelope can modify the shape and limit the overall size of a building on its lot. Please indicate the degree to which you agree or disagree with this statement: "A maximum building envelope should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	6	3	0	0	4	4	11	17	5	32	82
Mail-in Responses	17	4	3	3	10	3	14	11	13	38	116
Total Responses	23	7	3	3	14	7	25	28	18	70	198
Response Percentages	11.62%	3.54%	1.52%	1.52%	7.07%	3.54%	12.63%	14.14%	9.09%	35.35%	
answered question											198
skipped question											7



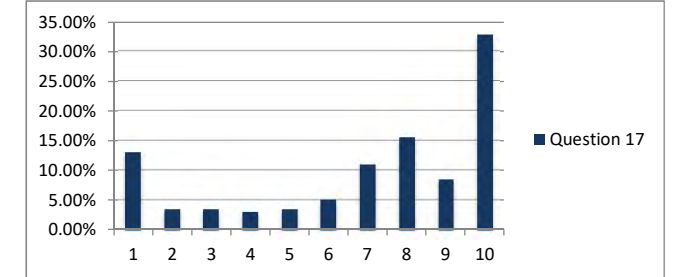
**16. Side Wall Offset** Limiting the length of a side wall can reduce the perceived size of a house. Please indicate the degree to which you agree or disagree with this statement: "A side wall offset should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	9	1	6	2	4	12	13	12	5	17	81
Mail-in Responses	24	4	2	2	10	10	13	18	10	23	116
Total Responses	33	5	8	4	14	22	26	30	15	40	197
Response Percentages	16.75%	2.54%	4.06%	2.03%	7.11%	11.17%	13.20%	15.23%	7.61%	20.30%	
answered question											197
skipped question											8



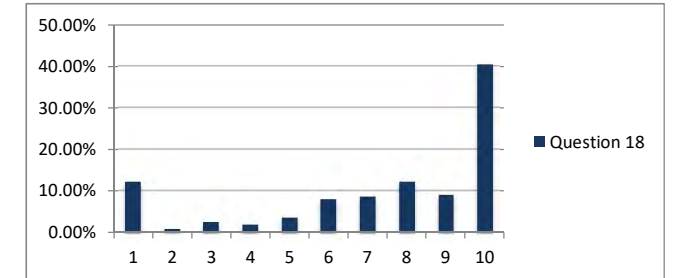
17. Wall Height Guidelines can limit the height of all or part of a wall to reduce perceived building size. Please indicate the degree to which you agree or disagree with this statement: "A wall height limit should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	8	1	2	4	5	3	10	16	5	28	82	
Mail-in Responses	18	6	5	2	2	7	12	15	12	37	116	
Total Responses	26	7	7	6	7	10	22	31	17	65	198	
Response Percentages	13.13%	3.54%	3.54%	3.03%	3.54%	5.05%	11.11%	15.66%	8.59%	32.83%		
											answered question	198
											skipped question	7



18. Parking Location The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site. Please indicate the degree to which you agree or disagree with this statement: "Design guidelines should address appropriate parking locations."

Answer Options	Strongly Disagree					Strongly Agree					Response Count	
	1	2	3	4	5	6	7	8	9	10		
On-line Responses	9	2	1	2	3	9	6	9	10	30	81	
Mail-in Responses	15	0	4	2	4	7	11	15	8	50	116	
Total Responses	24	2	5	4	7	16	17	24	18	80	197	
Response Percentages	12.18%	1.02%	2.54%	2.03%	3.55%	8.12%	8.63%	12.18%	9.14%	40.61%		
											answered question	197
											skipped question	8

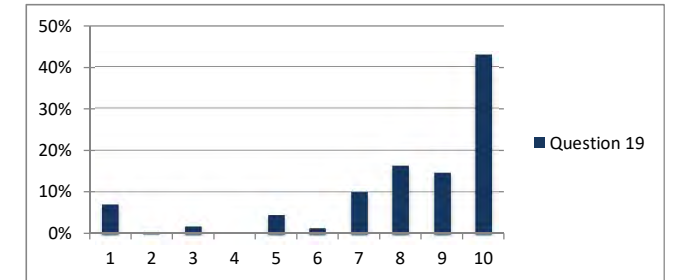


Part 3: Building Scenarios

Building Scenario A

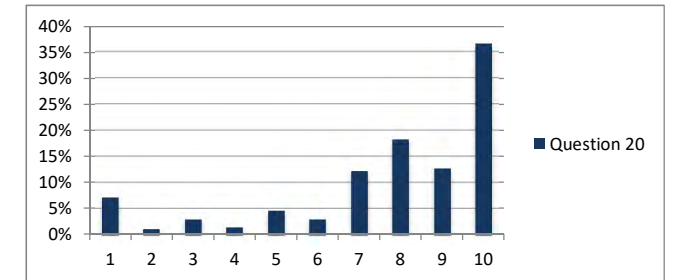
19. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	0	1	0	4	2	6	16	12	37	82
Mail-in Responses	10	1	3	0	5	1	14	16	17	47	114
Total Responses	14	1	4	0	9	3	20	32	29	84	196
Response Percentages	7%	1%	2%	0%	5%	2%	10%	16%	15%	43%	
<i>answered question</i>											196
<i>skipped question</i>											9



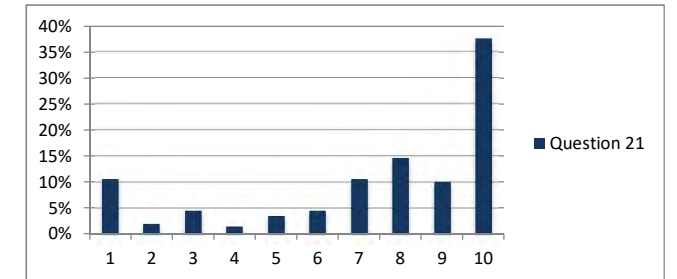
20. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	1	2	0	4	2	9	17	10	31	81
Mail-in Responses	9	1	4	3	5	4	15	19	15	41	116
Total Responses	14	2	6	3	9	6	24	36	25	72	197
Response Percentages	7%	1%	3%	2%	5%	3%	12%	18%	13%	37%	
<i>answered question</i>											197
<i>skipped question</i>											8



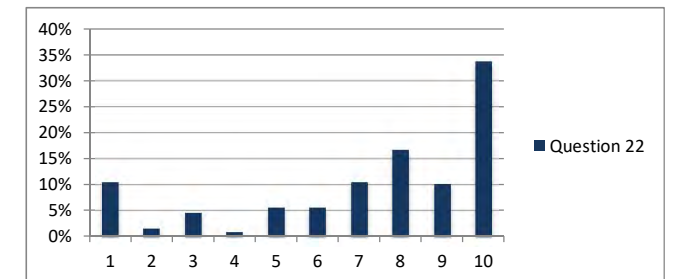
21. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	2	4	3	1	3	8	13	7	30	81
Mail-in Responses	11	2	5	0	6	6	13	16	13	44	116
Total Responses	21	4	9	3	7	9	21	29	20	74	197
Response Percentages	11%	2%	5%	2%	4%	5%	11%	15%	10%	38%	
<i>answered question</i>											197
<i>skipped question</i>											8



22. "Form (shape) of addition is compatible."

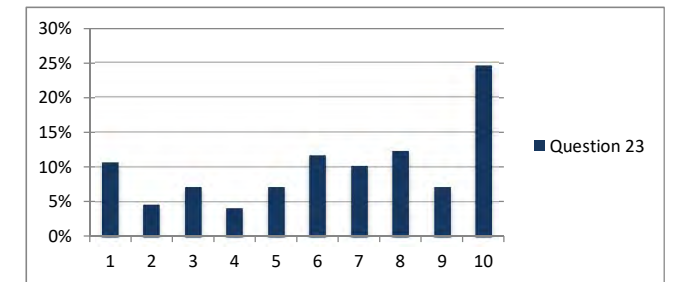
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	1	4	1	3	3	8	15	10	27	82
Mail-in Responses	11	2	5	1	8	8	13	18	10	40	116
Total Responses	21	3	9	2	11	11	21	33	20	67	198
Response Percentages	11%	2%	5%	1%	6%	6%	11%	17%	10%	34%	
<i>answered question</i>											198
<i>skipped question</i>											7



**Building Scenario B**

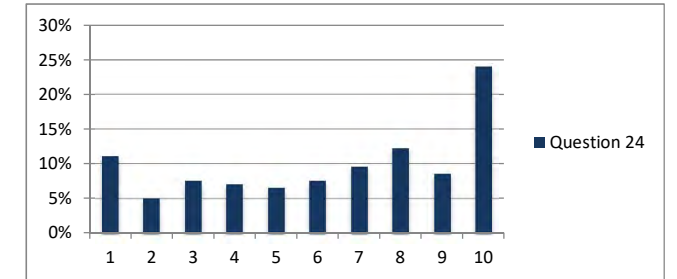
**23. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	11	3	8	2	8	7	10	10	6	15	80
Mail-in Responses	10	6	6	6	6	16	10	14	8	33	115
Total Responses	21	9	14	8	14	23	20	24	14	48	195
Response Percentages	11%	5%	7%	4%	7%	12%	10%	12%	7%	25%	
<i>answered question</i>											195
<i>skipped question</i>											10



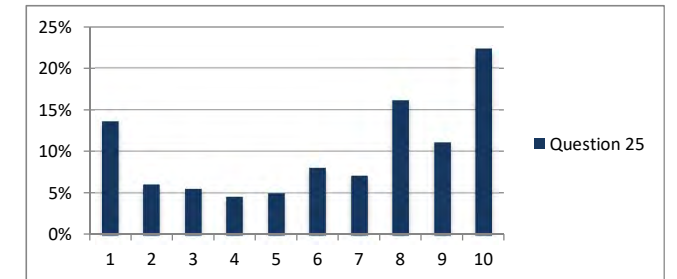
**24. "Size of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	4	10	7	4	4	8	11	7	16	81
Mail-in Responses	12	6	5	7	9	11	11	13	10	31	115
Total Responses	22	10	15	14	13	15	19	24	17	47	196
Response Percentages	11%	5%	8%	7%	7%	8%	10%	12%	9%	24%	
<i>answered question</i>											196
<i>skipped question</i>											9



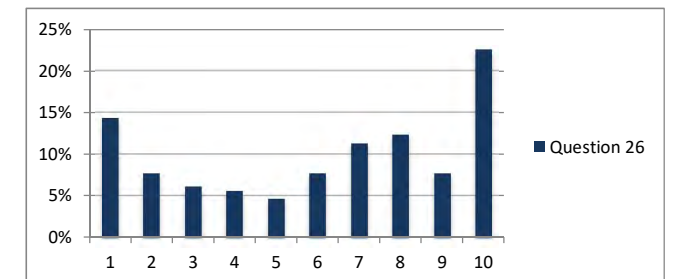
**25. "Height of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	5	5	4	4	6	5	15	9	15	81
Mail-in Responses	14	7	6	5	6	10	9	17	13	29	116
Total Responses	27	12	11	9	10	16	14	32	22	44	197
Response Percentages	14%	6%	6%	5%	5%	8%	7%	16%	11%	22%	
<i>answered question</i>											197
<i>skipped question</i>											8



**26. "Form (shape) of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	15	7	4	7	1	6	8	10	8	15	81
Mail-in Responses	13	8	8	4	8	9	14	14	7	29	114
Total Responses	28	15	12	11	9	15	22	24	15	44	195
Response Percentages	14%	8%	6%	6%	5%	8%	11%	12%	8%	23%	
<i>answered question</i>											195
<i>skipped question</i>											10

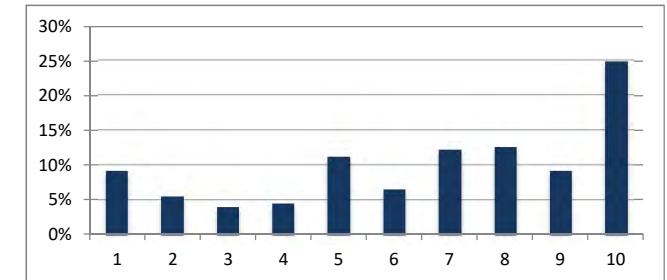




**Building Scenario C**

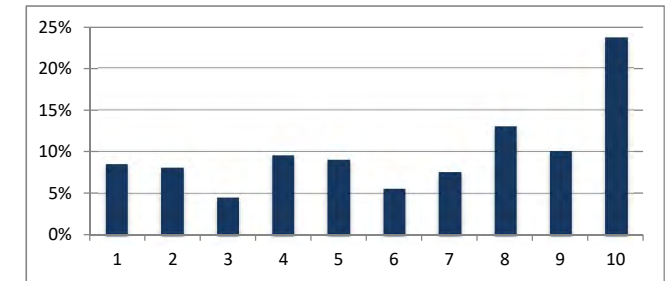
**27. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	7	5	4	4	10	7	10	8	10	16	81
Mail-in Responses	11	6	4	5	12	6	14	17	8	33	116
Total Responses	18	11	8	9	22	13	24	25	18	49	197
Response Percentages	9%	6%	4%	5%	11%	7%	12%	13%	9%	25%	
<i>answered question</i>											197
<i>skipped question</i>											8



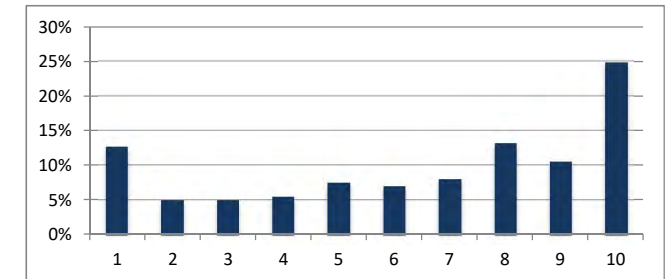
**28. "Size of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	7	5	9	8	4	4	13	9	16	81
Mail-in Responses	11	9	4	10	10	7	11	13	11	31	117
Total Responses	17	16	9	19	18	11	15	26	20	47	198
Response Percentages	9%	8%	5%	10%	9%	6%	8%	13%	10%	24%	
<i>answered question</i>											198
<i>skipped question</i>											7



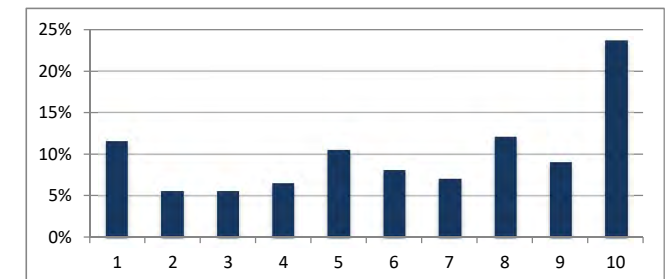
**29. "Height of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	11	4	6	3	8	7	5	11	8	17	80
Mail-in Responses	14	6	4	8	7	7	11	15	13	32	117
Total Responses	25	10	10	11	15	14	16	26	21	49	197
Response Percentages	13%	5%	5%	6%	8%	7%	8%	13%	11%	25%	
<i>answered question</i>											197
<i>skipped question</i>											8



**30. "Form (shape) of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	5	5	6	8	5	6	11	8	17	81
Mail-in Responses	13	6	6	7	13	11	8	13	10	30	117
Total Responses	23	11	11	13	21	16	14	24	18	47	198
Response Percentages	12%	6%	6%	7%	11%	8%	7%	12%	9%	24%	
<i>answered question</i>											198
<i>skipped question</i>											7

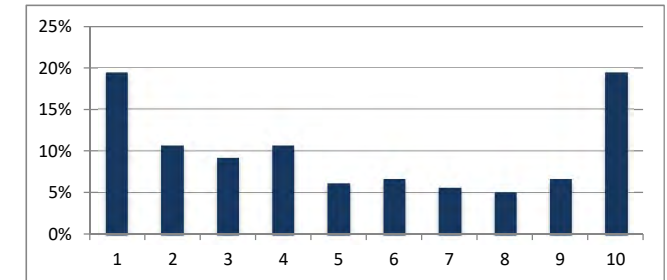




**Building Scenario D**

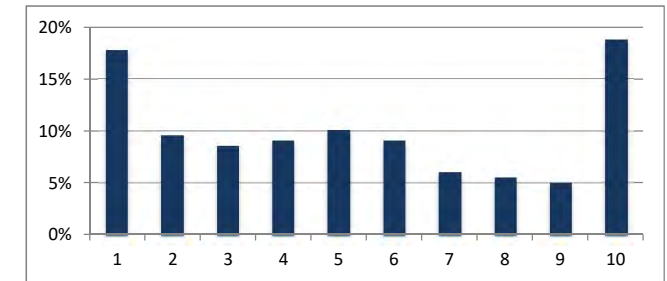
**31. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	17	9	10	12	5	4	7	2	4	9	79
Mail-in Responses	21	12	8	9	7	9	4	8	9	29	116
<b>Total Responses</b>	<b>38</b>	<b>21</b>	<b>18</b>	<b>21</b>	<b>12</b>	<b>13</b>	<b>11</b>	<b>10</b>	<b>13</b>	<b>38</b>	<b>195</b>
<b>Response Percentages</b>	<b>19%</b>	<b>11%</b>	<b>9%</b>	<b>11%</b>	<b>6%</b>	<b>7%</b>	<b>6%</b>	<b>5%</b>	<b>7%</b>	<b>19%</b>	
<i>answered question</i>											<b>195</b>
<i>skipped question</i>											<b>10</b>



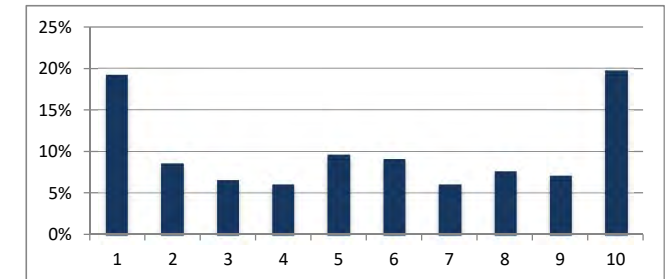
**32. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	16	9	8	9	11	5	7	2	2	11	80
Mail-in Responses	19	10	9	9	9	13	5	9	8	26	117
<b>Total Responses</b>	<b>35</b>	<b>19</b>	<b>17</b>	<b>18</b>	<b>20</b>	<b>18</b>	<b>12</b>	<b>11</b>	<b>10</b>	<b>37</b>	<b>197</b>
<b>Response Percentages</b>	<b>18%</b>	<b>10%</b>	<b>9%</b>	<b>9%</b>	<b>10%</b>	<b>9%</b>	<b>6%</b>	<b>6%</b>	<b>5%</b>	<b>19%</b>	
<i>answered question</i>											<b>197</b>
<i>skipped question</i>											<b>8</b>



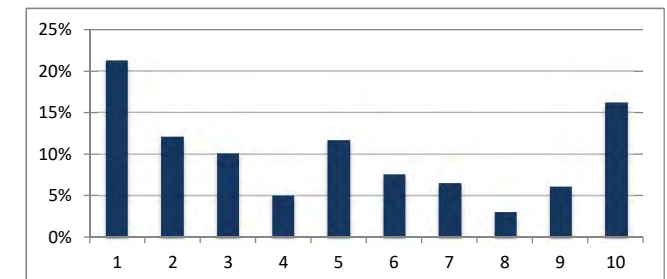
**33. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	16	10	4	7	12	7	3	5	3	13	80
Mail-in Responses	22	7	9	5	7	11	9	10	11	26	117
<b>Total Responses</b>	<b>38</b>	<b>17</b>	<b>13</b>	<b>12</b>	<b>19</b>	<b>18</b>	<b>12</b>	<b>15</b>	<b>14</b>	<b>39</b>	<b>197</b>
<b>Response Percentages</b>	<b>19%</b>	<b>9%</b>	<b>7%</b>	<b>6%</b>	<b>10%</b>	<b>9%</b>	<b>6%</b>	<b>8%</b>	<b>7%</b>	<b>20%</b>	
<i>answered question</i>											<b>197</b>
<i>skipped question</i>											<b>8</b>



**34. "Building form (shape) is compatible."**

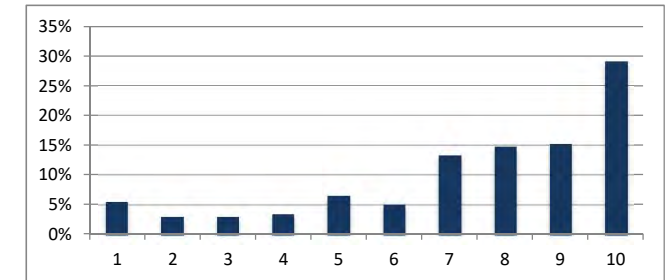
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	23	11	11	5	7	6	5	1	3	8	80
Mail-in Responses	19	13	9	5	16	9	8	5	9	24	117
<b>Total Responses</b>	<b>42</b>	<b>24</b>	<b>20</b>	<b>10</b>	<b>23</b>	<b>15</b>	<b>13</b>	<b>6</b>	<b>12</b>	<b>32</b>	<b>197</b>
<b>Response Percentages</b>	<b>21%</b>	<b>12%</b>	<b>10%</b>	<b>5%</b>	<b>12%</b>	<b>8%</b>	<b>7%</b>	<b>3%</b>	<b>6%</b>	<b>16%</b>	
<i>answered question</i>											<b>197</b>
<i>skipped question</i>											<b>8</b>



**Building Scenario E**

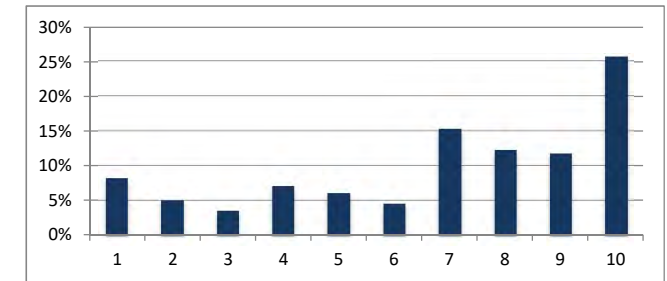
**35. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	5	3	5	3	6	9	12	12	21	80
Mail-in Responses	7	1	3	2	10	4	17	17	18	36	115
<b>Total Responses</b>	<b>11</b>	<b>6</b>	<b>6</b>	<b>7</b>	<b>13</b>	<b>10</b>	<b>26</b>	<b>29</b>	<b>30</b>	<b>57</b>	<b>195</b>
<b>Response Percentages</b>	<b>6%</b>	<b>3%</b>	<b>3%</b>	<b>4%</b>	<b>7%</b>	<b>5%</b>	<b>13%</b>	<b>15%</b>	<b>15%</b>	<b>29%</b>	
<i>answered question</i>											<b>195</b>
<i>skipped question</i>											<b>10</b>



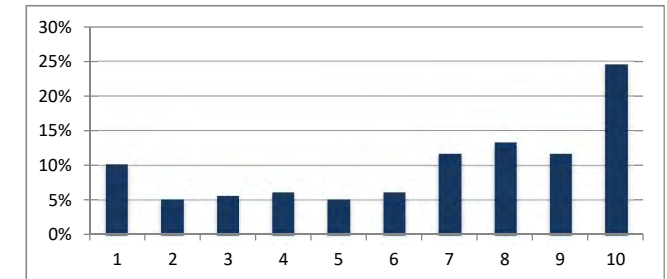
**36. "Building size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	4	3	9	5	4	11	8	12	18	80
Mail-in Responses	10	6	4	5	7	5	19	16	11	32	115
<b>Total Responses</b>	<b>16</b>	<b>10</b>	<b>7</b>	<b>14</b>	<b>12</b>	<b>9</b>	<b>30</b>	<b>24</b>	<b>23</b>	<b>50</b>	<b>195</b>
<b>Response Percentages</b>	<b>8%</b>	<b>5%</b>	<b>4%</b>	<b>7%</b>	<b>6%</b>	<b>5%</b>	<b>15%</b>	<b>12%</b>	<b>12%</b>	<b>26%</b>	
<i>answered question</i>											<b>195</b>
<i>skipped question</i>											<b>10</b>



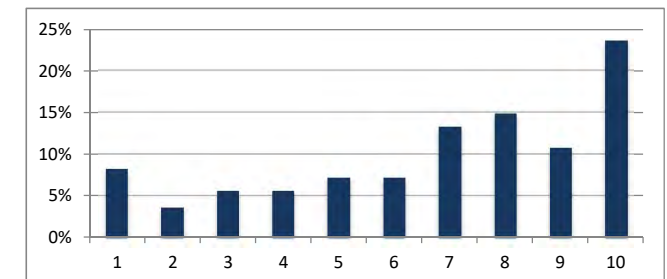
**37. "Overall height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	4	7	6	5	4	8	8	11	19	80
Mail-in Responses	12	6	4	6	5	8	15	18	12	29	115
<b>Total Responses</b>	<b>20</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>10</b>	<b>12</b>	<b>23</b>	<b>26</b>	<b>23</b>	<b>48</b>	<b>195</b>
<b>Response Percentages</b>	<b>10%</b>	<b>5%</b>	<b>6%</b>	<b>6%</b>	<b>5%</b>	<b>6%</b>	<b>12%</b>	<b>13%</b>	<b>12%</b>	<b>25%</b>	
<i>answered question</i>											<b>195</b>
<i>skipped question</i>											<b>10</b>



**38. "Building shape (form) is compatible."**

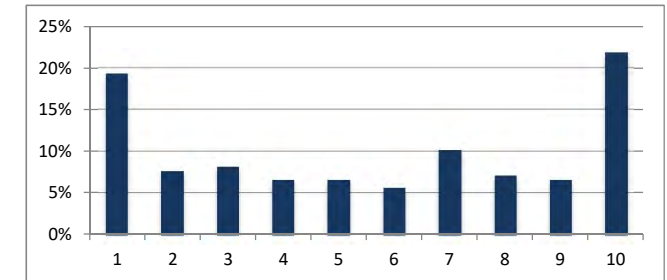
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	5	7	5	6	4	10	9	11	18	80
Mail-in Responses	11	2	4	6	8	10	16	20	10	28	115
<b>Total Responses</b>	<b>16</b>	<b>7</b>	<b>11</b>	<b>11</b>	<b>14</b>	<b>14</b>	<b>26</b>	<b>29</b>	<b>21</b>	<b>46</b>	<b>195</b>
<b>Response Percentages</b>	<b>8%</b>	<b>4%</b>	<b>6%</b>	<b>6%</b>	<b>7%</b>	<b>7%</b>	<b>13%</b>	<b>15%</b>	<b>11%</b>	<b>24%</b>	
<i>answered question</i>											<b>195</b>
<i>skipped question</i>											<b>10</b>



**Building Scenario F**

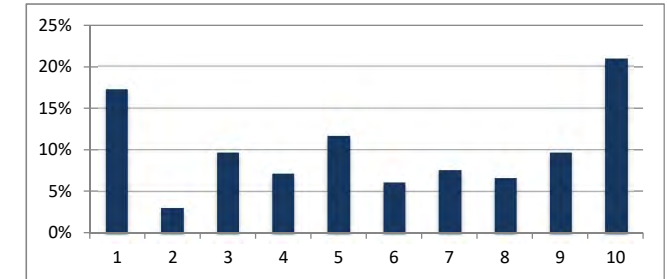
**39. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	9	9	8	7	3	10	2	6	13	80
Mail-in Responses	25	6	7	5	6	8	10	12	7	30	116
Total Responses	38	15	16	13	13	11	20	14	13	43	196
Response Percentages	19%	8%	8%	7%	7%	6%	10%	7%	7%	22%	
<i>answered question</i>											196
<i>skipped question</i>											9



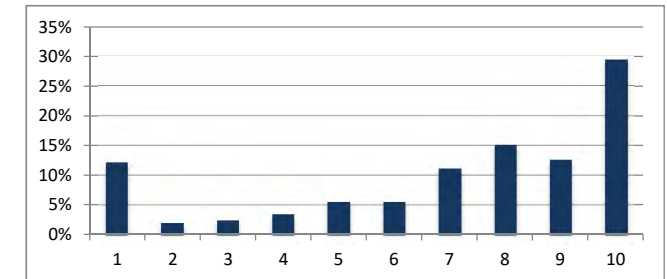
**40. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	11	5	10	7	9	6	7	2	9	13	79
Mail-in Responses	23	1	9	7	14	6	8	11	10	28	117
Total Responses	34	6	19	14	23	12	15	13	19	41	196
Response Percentages	17%	3%	10%	7%	12%	6%	8%	7%	10%	21%	
<i>answered question</i>											196
<i>skipped question</i>											9



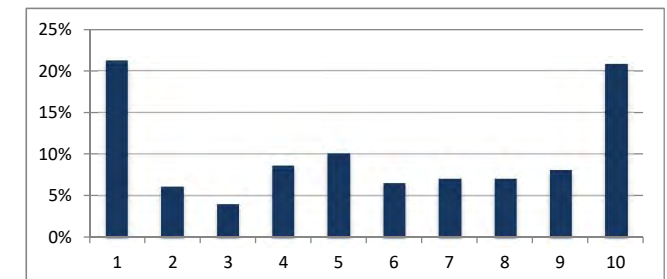
**41. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	9	3	3	2	4	4	10	11	13	21	80
Mail-in Responses	15	1	2	5	7	7	12	19	12	37	117
Total Responses	24	4	5	7	11	11	22	30	25	58	197
Response Percentages	12%	2%	3%	4%	6%	6%	11%	15%	13%	29%	
<i>answered question</i>											197
<i>skipped question</i>											8



**42. "Building shape (form) is compatible."**

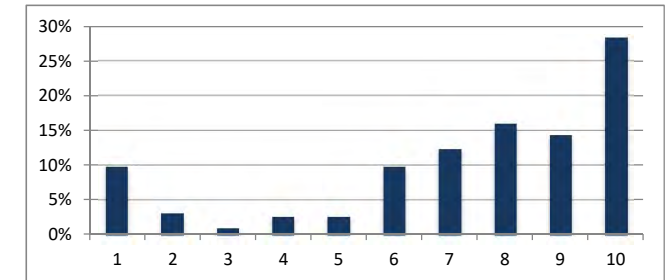
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	17	8	2	5	8	9	5	7	7	12	80
Mail-in Responses	25	4	6	12	12	4	9	7	9	29	117
Total Responses	42	12	8	17	20	13	14	14	16	41	197
Response Percentages	21%	6%	4%	9%	10%	7%	7%	7%	8%	21%	
<i>answered question</i>											197
<i>skipped question</i>											8



**Building Scenario G**

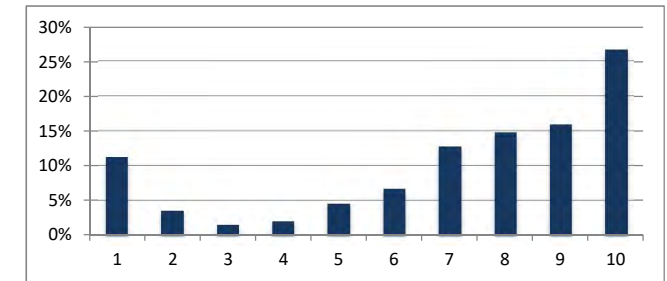
**43. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	1	0	1	3	7	12	14	13	22	78
Mail-in Responses	14	5	2	4	2	12	12	17	15	33	116
<b>Total Responses</b>	<b>19</b>	<b>6</b>	<b>2</b>	<b>5</b>	<b>5</b>	<b>19</b>	<b>24</b>	<b>31</b>	<b>28</b>	<b>55</b>	<b>194</b>
<b>Response Percentages</b>	<b>10%</b>	<b>3%</b>	<b>1%</b>	<b>3%</b>	<b>3%</b>	<b>10%</b>	<b>12%</b>	<b>16%</b>	<b>14%</b>	<b>28%</b>	
<i>answered question</i>											<b>194</b>
<i>skipped question</i>											<b>11</b>



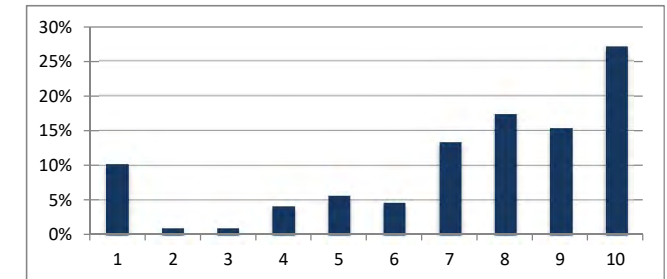
**44. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	1	0	2	5	8	9	13	13	23	79
Mail-in Responses	17	6	3	2	4	5	16	16	18	29	116
<b>Total Responses</b>	<b>22</b>	<b>7</b>	<b>3</b>	<b>4</b>	<b>9</b>	<b>13</b>	<b>25</b>	<b>29</b>	<b>31</b>	<b>52</b>	<b>195</b>
<b>Response Percentages</b>	<b>11%</b>	<b>4%</b>	<b>2%</b>	<b>2%</b>	<b>5%</b>	<b>7%</b>	<b>13%</b>	<b>15%</b>	<b>16%</b>	<b>27%</b>	
<i>answered question</i>											<b>195</b>
<i>skipped question</i>											<b>10</b>



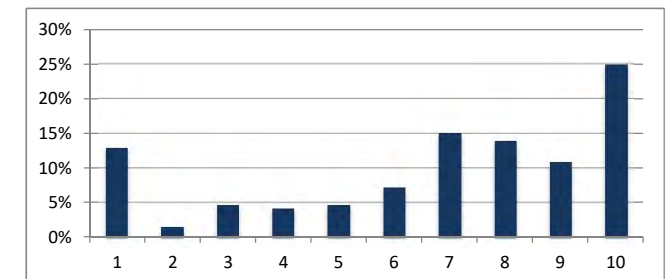
**45. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	1	0	4	4	4	11	15	13	22	79
Mail-in Responses	15	1	2	4	7	5	15	19	17	31	116
<b>Total Responses</b>	<b>20</b>	<b>2</b>	<b>2</b>	<b>8</b>	<b>11</b>	<b>9</b>	<b>26</b>	<b>34</b>	<b>30</b>	<b>53</b>	<b>195</b>
<b>Response Percentages</b>	<b>10%</b>	<b>1%</b>	<b>1%</b>	<b>4%</b>	<b>6%</b>	<b>5%</b>	<b>13%</b>	<b>17%</b>	<b>15%</b>	<b>27%</b>	
<i>answered question</i>											<b>195</b>
<i>skipped question</i>											<b>10</b>



**46. "Building shape (form) is compatible."**

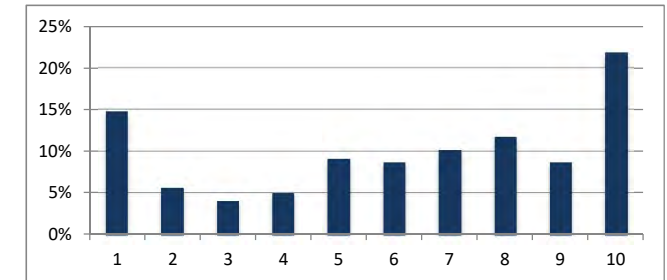
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	7	2	4	4	4	3	11	11	12	20	78
Mail-in Responses	18	1	5	4	5	11	18	16	9	28	115
<b>Total Responses</b>	<b>25</b>	<b>3</b>	<b>9</b>	<b>8</b>	<b>9</b>	<b>14</b>	<b>29</b>	<b>27</b>	<b>21</b>	<b>48</b>	<b>193</b>
<b>Response Percentages</b>	<b>13%</b>	<b>2%</b>	<b>5%</b>	<b>4%</b>	<b>5%</b>	<b>7%</b>	<b>15%</b>	<b>14%</b>	<b>11%</b>	<b>25%</b>	
<i>answered question</i>											<b>193</b>
<i>skipped question</i>											<b>12</b>



**Building Scenario H**

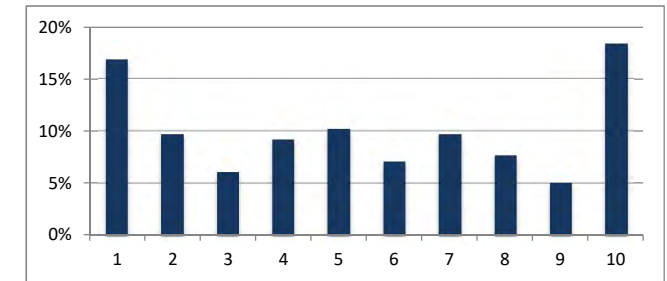
**47. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	8	1	3	7	8	11	12	6	16	80
Mail-in Responses	21	3	7	7	11	9	9	11	11	27	116
Total Responses	29	11	8	10	18	17	20	23	17	43	196
Response Percentages	15%	6%	4%	5%	9%	9%	10%	12%	9%	22%	
<i>answered question</i>											196
<i>skipped question</i>											9



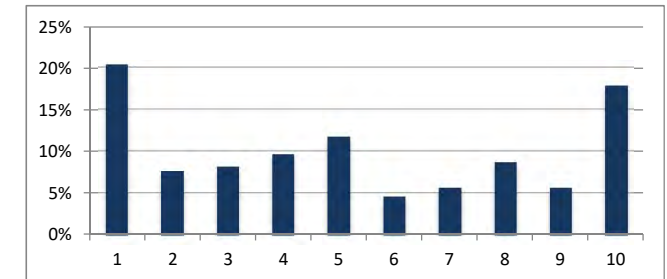
**48. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	11	4	8	10	6	12	4	4	11	80
Mail-in Responses	23	8	8	10	10	8	7	11	6	25	116
Total Responses	33	19	12	18	20	14	19	15	10	36	196
Response Percentages	17%	10%	6%	9%	10%	7%	10%	8%	5%	18%	
<i>answered question</i>											196
<i>skipped question</i>											9



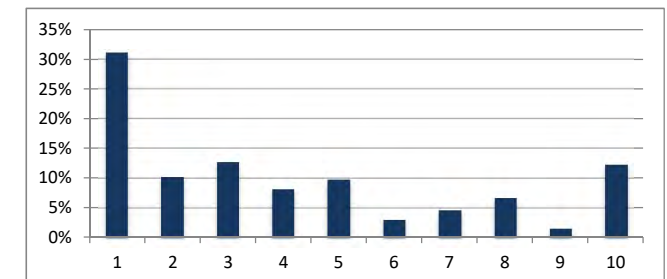
**49. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	16	8	4	9	7	5	7	7	6	11	80
Mail-in Responses	24	7	12	10	16	4	4	10	5	24	116
Total Responses	40	15	16	19	23	9	11	17	11	35	196
Response Percentages	20%	8%	8%	10%	12%	5%	6%	9%	6%	18%	
<i>answered question</i>											196
<i>skipped question</i>											9



**50. "Building shape (form) is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	29	9	11	6	8	0	6	6	1	4	80
Mail-in Responses	32	11	14	10	11	6	3	7	2	20	116
Total Responses	61	20	25	16	19	6	9	13	3	24	196
Response Percentages	31%	10%	13%	8%	10%	3%	5%	7%	2%	12%	
<i>answered question</i>											196
<i>skipped question</i>											9

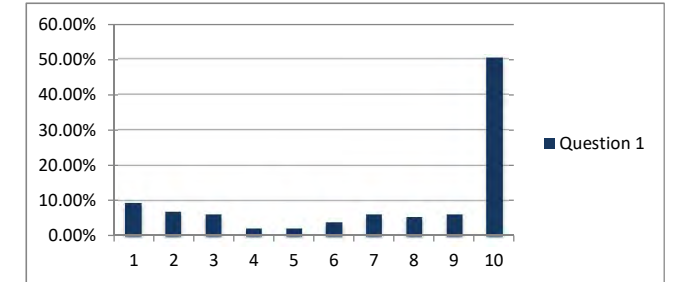


# Woodland Heights - Compatible Design Survey - Survey Results Sheet

## Part 1: Overall Issues in the District

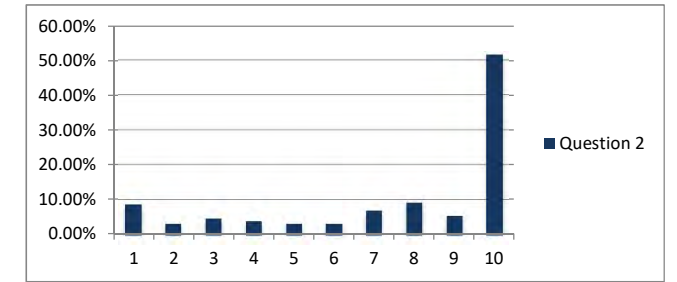
1. "Some recent construction in my historic district is too large."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	6	4	1	2	2	3	5	4	34	69
Mail-in Responses	4	3	4	2	1	3	5	2	4	30	58
Total Responses	12	9	8	3	3	5	8	7	8	64	127
Response Percentages	9.45%	7.09%	6.30%	2.36%	2.36%	3.94%	6.30%	5.51%	6.30%	50.39%	
<i>answered question</i>											127
<i>skipped question</i>											2



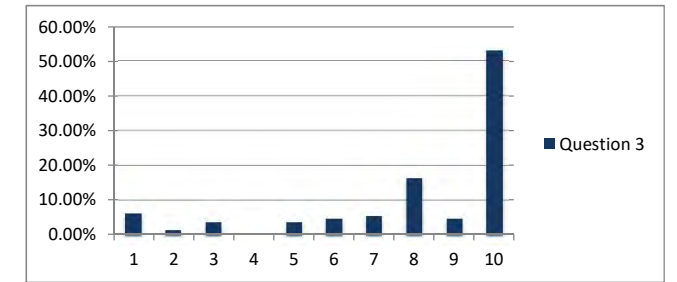
2. "The loss of green space when a larger building is constructed is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	7	3	2	4	2	4	4	5	4	34	69
Mail-in Responses	4	1	4	1	2	0	5	7	3	32	59
Total Responses	11	4	6	5	4	4	9	12	7	66	128
Response Percentages	8.59%	3.13%	4.69%	3.91%	3.13%	3.13%	7.03%	9.38%	5.47%	51.56%	
<i>answered question</i>											128
<i>skipped question</i>											1



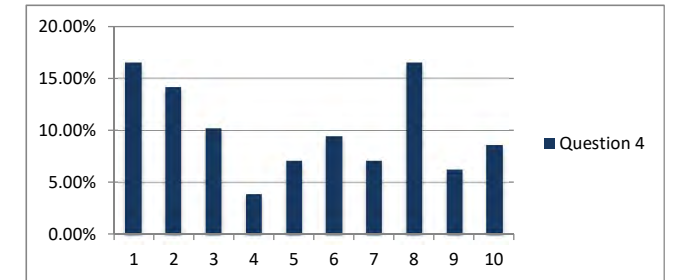
3. "The loss of mature vegetation when new construction occurs is a key issue."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	1	2	0	2	5	4	16	3	30	69
Mail-in Responses	2	1	3	0	3	1	3	5	3	38	59
Total Responses	8	2	5	0	5	6	7	21	6	68	128
Response Percentages	6.25%	1.56%	3.91%	0.00%	3.91%	4.69%	5.47%	16.41%	4.69%	53.13%	
<i>answered question</i>											128
<i>skipped question</i>											1



4. "Most recent new construction has been compatible."

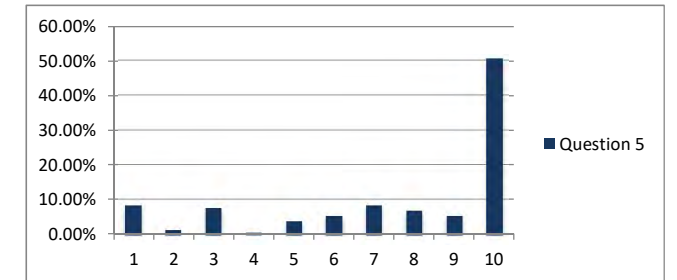
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	12	7	0	4	10	5	9	5	9	69
Mail-in Responses	13	6	6	5	5	2	4	12	3	2	58
Total Responses	21	18	13	5	9	12	9	21	8	11	127
Response Percentages	16.54%	14.17%	10.24%	3.94%	7.09%	9.45%	7.09%	16.54%	6.30%	8.66%	
<i>answered question</i>											127
<i>skipped question</i>											2





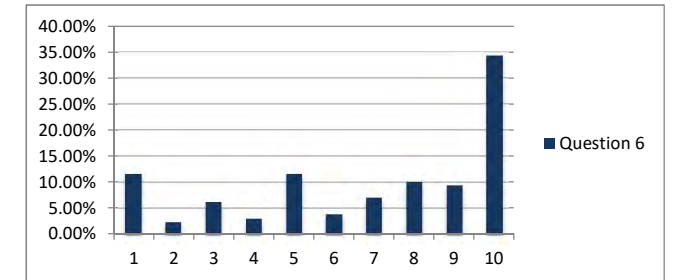
5. "A large house next door diminishes privacy in neighbors' back yards."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	1	7	1	3	4	3	4	3	35	69
Mail-in Responses	3	1	3	0	2	3	8	5	4	30	59
Total Responses	11	2	10	1	5	7	11	9	7	65	128
Response Percentages	8.59%	1.56%	7.81%	0.78%	3.91%	5.47%	8.59%	7.03%	5.47%	50.78%	
<i>answered question</i>											128
<i>skipped question</i>											1



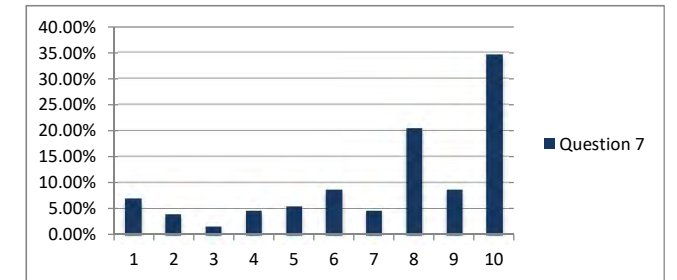
6. "Regulations that protect historic district character will enhance property values."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	1	5	2	3	2	4	8	7	24	69
Mail-in Responses	2	2	3	2	12	3	5	5	5	20	59
Total Responses	15	3	8	4	15	5	9	13	12	44	128
Response Percentages	11.72%	2.34%	6.25%	3.13%	11.72%	3.91%	7.03%	10.16%	9.38%	34.38%	
<i>answered question</i>											128
<i>skipped question</i>											1



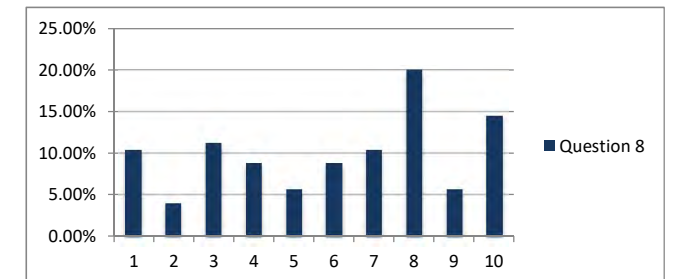
7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	3	2	1	3	8	4	8	5	31	69
Mail-in Responses	5	2	0	5	4	3	2	18	6	13	58
Total Responses	9	5	2	6	7	11	6	26	11	44	127
Response Percentages	7.09%	3.94%	1.57%	4.72%	5.51%	8.66%	4.72%	20.47%	8.66%	34.65%	
<i>answered question</i>											127
<i>skipped question</i>											2



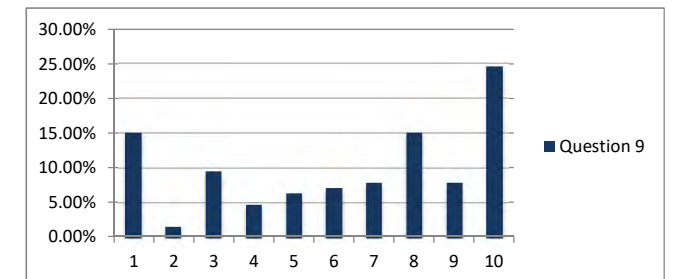
8. "Most recent renovation projects have been appropriate."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	2	6	3	3	7	8	15	5	11	66
Mail-in Responses	7	3	8	8	4	4	5	10	2	7	58
Total Responses	13	5	14	11	7	11	13	25	7	18	124
Response Percentages	10.48%	4.03%	11.29%	8.87%	5.65%	8.87%	10.48%	20.16%	5.65%	14.52%	
<i>answered question</i>											124
<i>skipped question</i>											5



9. "An addition to a historic building should be visually subordinate to the building."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	13	0	7	3	4	6	6	8	5	15	67
Mail-in Responses	6	2	5	3	4	3	4	11	5	16	59
Total Responses	19	2	12	6	8	9	10	19	10	31	126
Response Percentages	15.08%	1.59%	9.52%	4.76%	6.35%	7.14%	7.94%	15.08%	7.94%	24.60%	
<i>answered question</i>											126
<i>skipped question</i>											3





**10. Have you previously attended a community workshop for this project?**

Answer Options	Response Percent	Response Count
Yes	31.9%	22
No	68.1%	47
<i>answered question</i>		<b>69</b>
<i>skipped question</i>		<b>60</b>

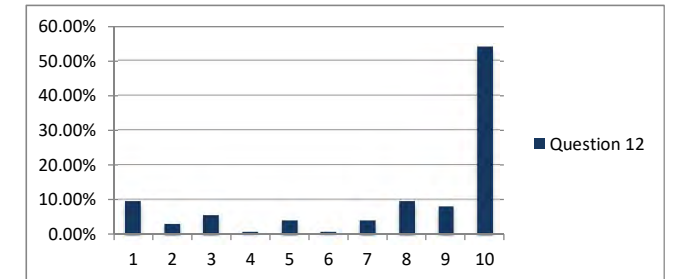
**11. What are the key issues related to the treatment of historic buildings in the district?**

Answer Options	Response Count
	75 ?
<i>answered question</i>	<b>75</b>
<i>skipped question</i>	<b>54</b>

Part 2: Design Tools

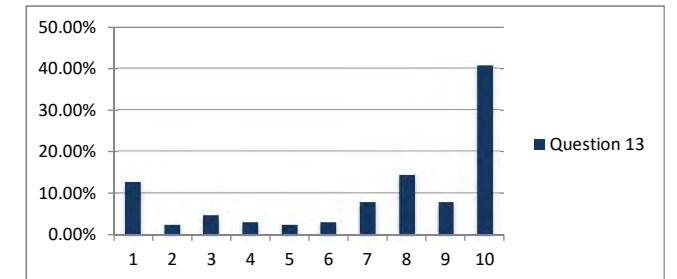
12. Building Size in Relation to Lot Size Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses. Please indicate the degree to which you agree or disagree with this statement: "Guidelines which relate the size of a building to the size of its lot should be considered."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	7	2	4	0	5	1	3	5	4	35	66
Mail-in Responses	5	2	3	1	0	0	2	7	6	32	58
Total Responses	12	4	7	1	5	1	5	12	10	67	124
Response Percentages	9.68%	3.23%	5.65%	0.81%	4.03%	0.81%	4.03%	9.68%	8.06%	54.03%	
answered question											124
skipped question											5



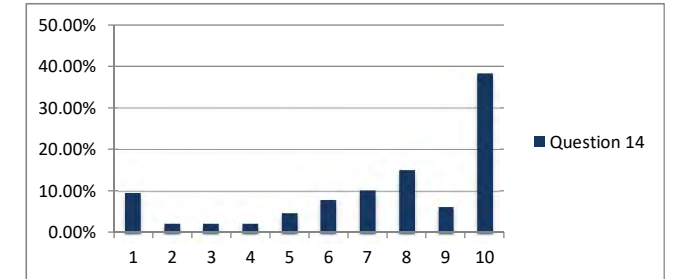
13. Lot Coverage All areas of a property that are covered by buildings and roofed porches are included in lot coverage. Please indicate the degree to which you agree or disagree with this statement: "A limit on the percentage of lot coverage should be considered to help maintain open space."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	11	1	3	3	2	4	4	9	5	25	67
Mail-in Responses	5	2	3	1	1	0	6	9	5	26	58
Total Responses	16	3	6	4	3	4	10	18	10	51	125
Response Percentages	12.80%	2.40%	4.80%	3.20%	2.40%	3.20%	8.00%	14.40%	8.00%	40.80%	
answered question											125
skipped question											4



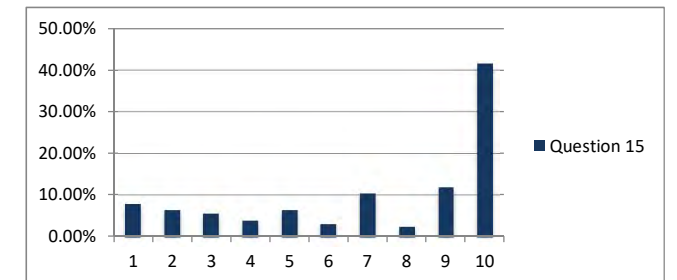
14. One-Story Element A one-story element (to the front or side of a house) can help reduce its perceived size. Please indicate the degree to which you agree or disagree with this statement: "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	8	1	2	1	1	6	8	9	4	27	67
Mail-in Responses	4	2	1	2	5	4	5	10	4	21	58
Total Responses	12	3	3	3	6	10	13	19	8	48	125
Response Percentages	9.60%	2.40%	2.40%	2.40%	4.80%	8.00%	10.40%	15.20%	6.40%	38.40%	
answered question											125
skipped question											4



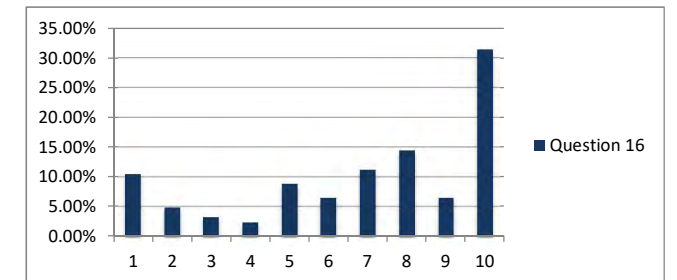
15. Maximum Building Envelope A maximum building envelope can modify the shape and limit the overall size of a building on its lot. Please indicate the degree to which you agree or disagree with this statement: "A maximum building envelope should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	8	4	4	2	3	2	8	2	8	26	67
Mail-in Responses	2	4	3	3	5	2	5	1	7	26	58
Total Responses	10	8	7	5	8	4	13	3	15	52	125
Response Percentages	8.00%	6.40%	5.60%	4.00%	6.40%	3.20%	10.40%	2.40%	12.00%	41.60%	
answered question											125
skipped question											4



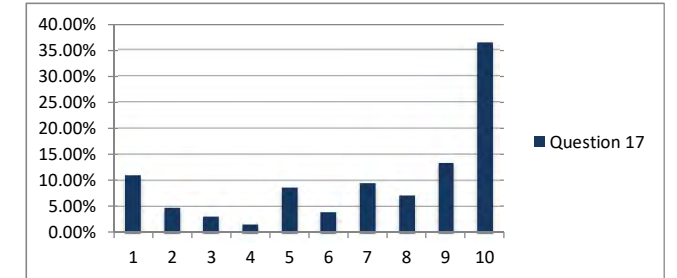
16. Side Wall Offset Limiting the length of a side wall can reduce the perceived size of a house. Please indicate the degree to which you agree or disagree with this statement: "A side wall offset should be considered as a tool to reduce perceived building size."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
On-line Responses	10	5	0	2	2	7	5	9	3	22	65
Mail-in Responses	3	1	4	1	9	1	9	9	5	17	59
Total Responses	13	6	4	3	11	8	14	18	8	39	124
Response Percentages	10.48%	4.84%	3.23%	2.42%	8.87%	6.45%	11.29%	14.52%	6.45%	31.45%	
answered question											124
skipped question											5



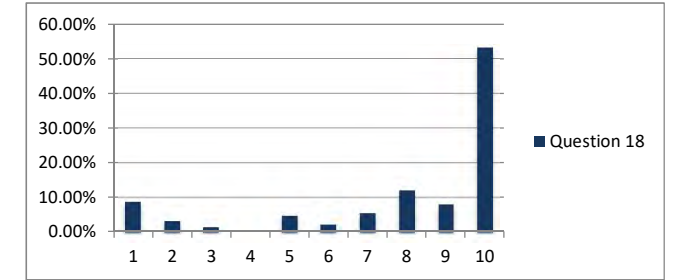
**17. Wall Height Guidelines can limit the height of all or part of a wall to reduce perceived building size. Please indicate the degree to which you agree or disagree with this statement: "A wall height limit should be considered as a tool to reduce perceived building size."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	9	4	0	0	8	4	7	4	8	23	67
Mail-in Responses	5	2	4	2	3	1	5	5	9	23	59
Total Responses	14	6	4	2	11	5	12	9	17	46	126
Response Percentages	11.11%	4.76%	3.17%	1.59%	8.73%	3.97%	9.52%	7.14%	13.49%	36.51%	
<i>answered question</i>											126
<i>skipped question</i>											3



**18. Parking Location The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site. Please indicate the degree to which you agree or disagree with this statement: "Design guidelines should address appropriate parking locations."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	2	2	0	3	2	3	12	5	32	67
Mail-in Responses	5	2	0	0	3	1	4	3	5	34	57
Total Responses	11	4	2	0	6	3	7	15	10	66	124
Response Percentages	8.87%	3.23%	1.61%	0.00%	4.84%	2.42%	5.65%	12.10%	8.06%	53.23%	
<i>answered question</i>											124
<i>skipped question</i>											5

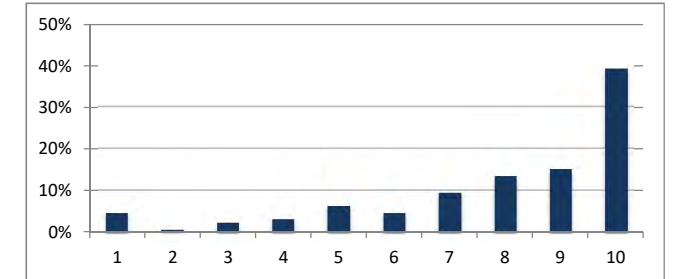


Part 3: Building Scenarios

Building Scenario A

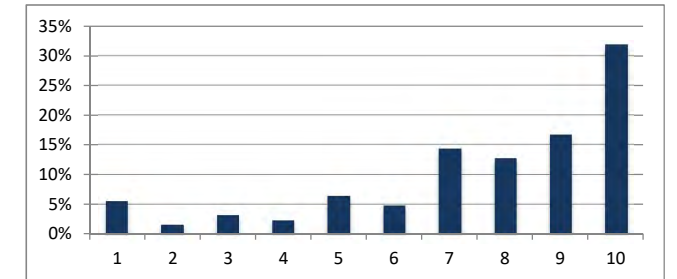
19. "Lot coverage is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	0	2	0	2	4	8	12	10	25	66
Mail-in Responses	3	1	1	4	6	2	4	5	9	24	59
Total Responses	6	1	3	4	8	6	12	17	19	49	125
Response Percentages	5%	1%	2%	3%	6%	5%	10%	14%	15%	39%	
<i>answered question</i>											125
<i>skipped question</i>											4



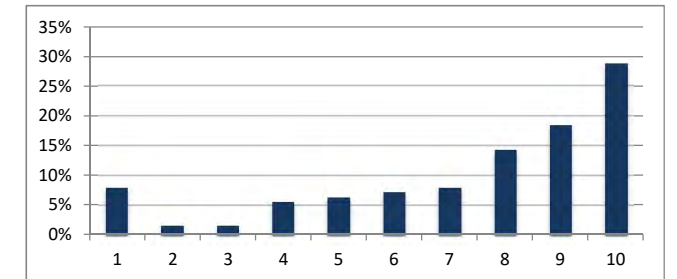
20. "Size of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	1	3	0	1	4	10	10	10	23	66
Mail-in Responses	3	1	1	3	7	2	8	6	11	17	59
Total Responses	7	2	4	3	8	6	18	16	21	40	125
Response Percentages	6%	2%	3%	2%	6%	5%	14%	13%	17%	32%	
<i>answered question</i>											125
<i>skipped question</i>											4



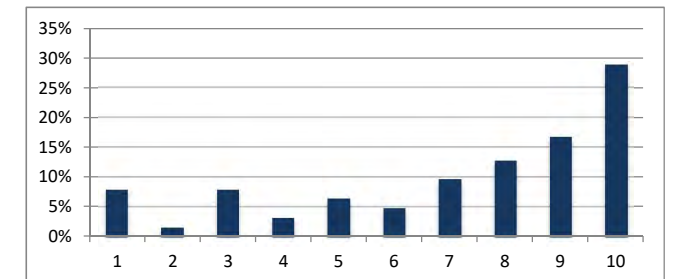
21. "Height of addition is compatible."

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	7	1	1	3	3	6	6	6	13	20	66
Mail-in Responses	3	1	1	4	5	3	4	12	10	16	59
Total Responses	10	2	2	7	8	9	10	18	23	36	125
Response Percentages	8%	2%	2%	6%	6%	7%	8%	14%	18%	29%	
<i>answered question</i>											125
<i>skipped question</i>											4



22. "Form (shape) of addition is compatible."

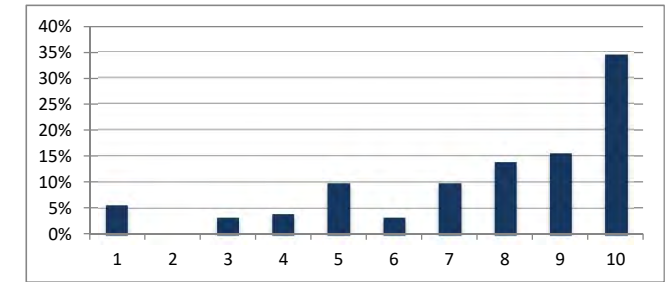
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	6	1	9	1	2	3	6	6	13	19	66
Mail-in Responses	4	1	1	3	6	3	6	10	8	17	59
Total Responses	10	2	10	4	8	6	12	16	21	36	125
Response Percentages	8%	2%	8%	3%	6%	5%	10%	13%	17%	29%	
<i>answered question</i>											125
<i>skipped question</i>											4



**Building Scenario B**

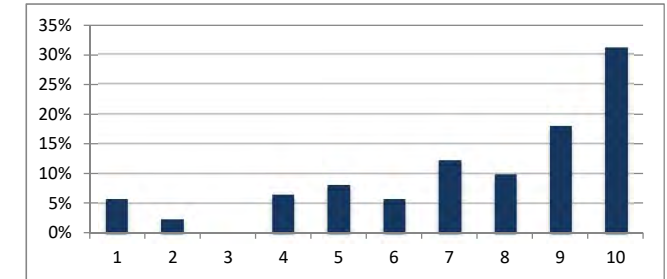
**23. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	0	4	1	4	3	7	6	14	23	65
Mail-in Responses	4	0	0	4	8	1	5	11	5	19	57
Total Responses	7	0	4	5	12	4	12	17	19	42	122
Response Percentages	6%	0%	3%	4%	10%	3%	10%	14%	16%	34%	
<i>answered question</i>											122
<i>skipped question</i>											7



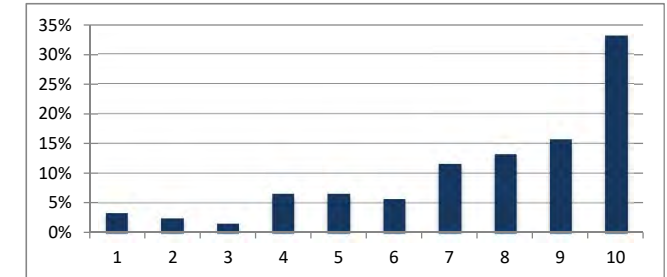
**24. "Size of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	3	0	3	3	5	7	4	17	19	65
Mail-in Responses	3	0	0	5	7	2	8	8	5	19	57
Total Responses	7	3	0	8	10	7	15	12	22	38	122
Response Percentages	6%	2%	0%	7%	8%	6%	12%	10%	18%	31%	
<i>answered question</i>											122
<i>skipped question</i>											7



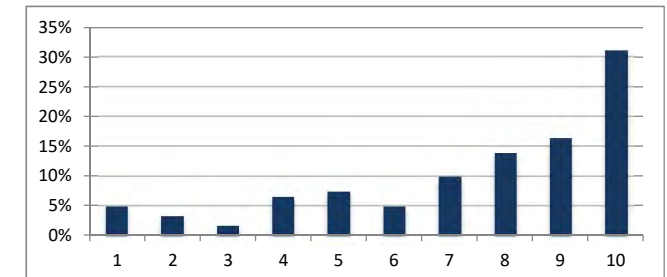
**25. "Height of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	2	3	1	4	3	4	7	5	14	21	64
Mail-in Responses	2	0	1	4	5	3	7	11	5	19	57
Total Responses	4	3	2	8	8	7	14	16	19	40	121
Response Percentages	3%	2%	2%	7%	7%	6%	12%	13%	16%	33%	
<i>answered question</i>											121
<i>skipped question</i>											8



**26. "Form (shape) of addition is compatible."**

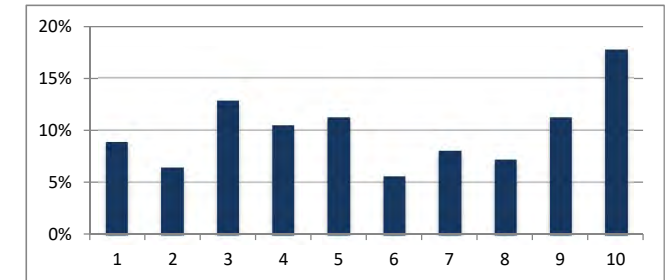
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	4	3	0	4	3	5	5	8	14	19	65
Mail-in Responses	2	1	2	4	6	1	7	9	6	19	57
Total Responses	6	4	2	8	9	6	12	17	20	38	122
Response Percentages	5%	3%	2%	7%	7%	5%	10%	14%	16%	31%	
<i>answered question</i>											122
<i>skipped question</i>											7



**Building Scenario C**

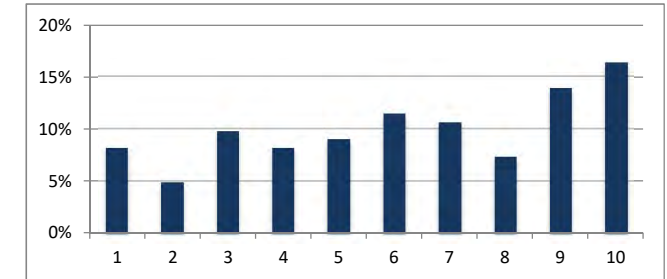
**27. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	4	9	7	6	3	6	4	7	14	65
Mail-in Responses	6	4	7	6	8	4	4	5	7	8	59
Total Responses	11	8	16	13	14	7	10	9	14	22	124
Response Percentages	9%	6%	13%	10%	11%	6%	8%	7%	11%	18%	
<i>answered question</i>											124
<i>skipped question</i>											5



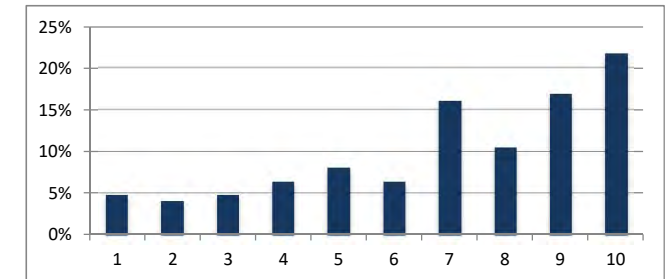
**28. "Size of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	2	7	6	6	7	5	4	9	12	63
Mail-in Responses	5	4	5	4	5	7	8	5	8	8	59
Total Responses	10	6	12	10	11	14	13	9	17	20	122
Response Percentages	8%	5%	10%	8%	9%	11%	11%	7%	14%	16%	
<i>answered question</i>											122
<i>skipped question</i>											7



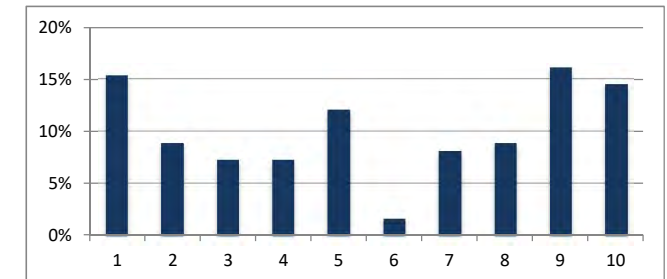
**29. "Height of addition is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	3	2	5	6	5	5	8	6	10	15	65
Mail-in Responses	3	3	1	2	5	3	12	7	11	12	59
Total Responses	6	5	6	8	10	8	20	13	21	27	124
Response Percentages	5%	4%	5%	6%	8%	6%	16%	10%	17%	22%	
<i>answered question</i>											124
<i>skipped question</i>											5



**30. "Form (shape) of addition is compatible."**

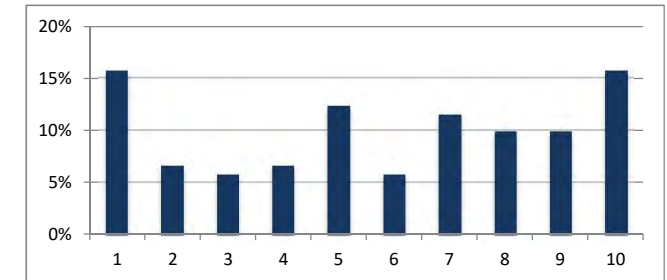
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	11	5	8	4	6	2	7	6	7	9	65
Mail-in Responses	8	6	1	5	9	0	3	5	13	9	59
Total Responses	19	11	9	9	15	2	10	11	20	18	124
Response Percentages	15%	9%	7%	7%	12%	2%	8%	9%	16%	15%	
<i>answered question</i>											124
<i>skipped question</i>											5



**Building Scenario D**

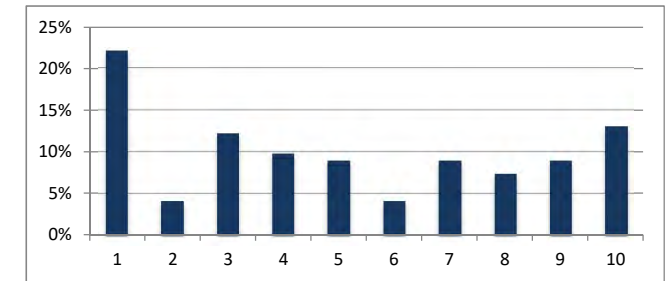
**31. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	9	5	3	5	9	1	4	9	7	11	63
Mail-in Responses	10	3	4	3	6	6	10	3	5	8	58
Total Responses	19	8	7	8	15	7	14	12	12	19	121
Response Percentages	16%	7%	6%	7%	12%	6%	12%	10%	10%	16%	
<i>answered question</i>											121
<i>skipped question</i>											8



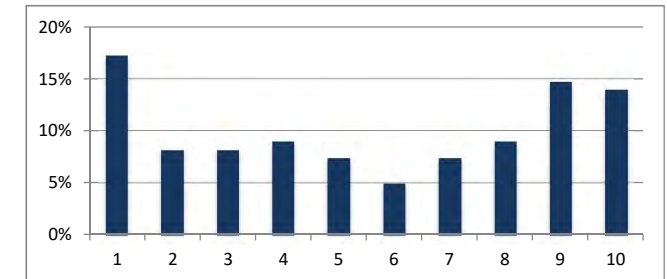
**32. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	4	6	8	8	0	4	6	9	9	64
Mail-in Responses	17	1	9	4	3	5	7	3	2	7	58
Total Responses	27	5	15	12	11	5	11	9	11	16	122
Response Percentages	22%	4%	12%	10%	9%	4%	9%	7%	9%	13%	
<i>answered question</i>											122
<i>skipped question</i>											7



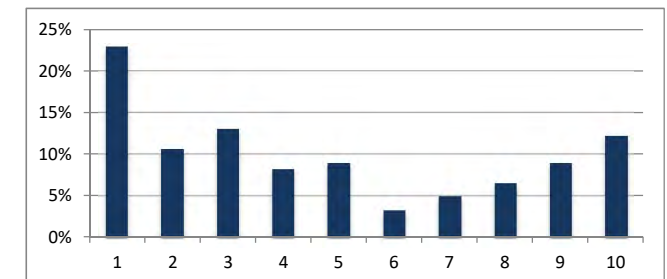
**33. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	6	4	7	6	2	4	6	12	9	64
Mail-in Responses	13	4	6	4	3	4	5	5	6	8	58
Total Responses	21	10	10	11	9	6	9	11	18	17	122
Response Percentages	17%	8%	8%	9%	7%	5%	7%	9%	15%	14%	
<i>answered question</i>											122
<i>skipped question</i>											7



**34. "Building form (shape) is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	12	9	7	7	6	1	3	5	7	7	64
Mail-in Responses	16	4	9	3	5	3	3	3	4	8	58
Total Responses	28	13	16	10	11	4	6	8	11	15	122
Response Percentages	23%	11%	13%	8%	9%	3%	5%	7%	9%	12%	
<i>answered question</i>											122
<i>skipped question</i>											7

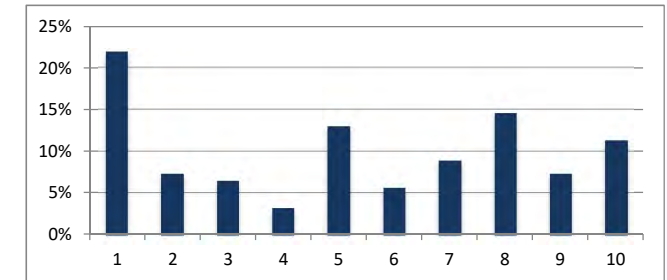




**Building Scenario E**

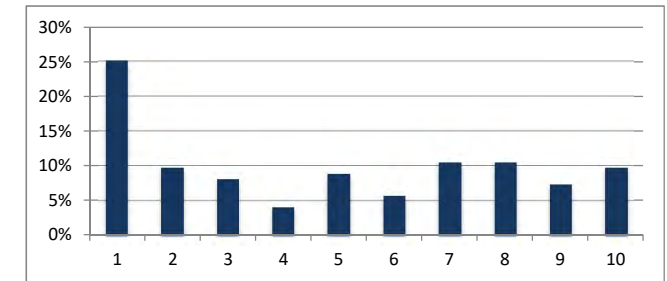
**35. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	14	3	4	2	6	5	5	8	8	9	64
Mail-in Responses	13	6	4	2	10	2	6	10	1	5	59
<b>Total Responses</b>	<b>27</b>	<b>9</b>	<b>8</b>	<b>4</b>	<b>16</b>	<b>7</b>	<b>11</b>	<b>18</b>	<b>9</b>	<b>14</b>	<b>123</b>
<b>Response Percentages</b>	<b>22%</b>	<b>7%</b>	<b>7%</b>	<b>3%</b>	<b>13%</b>	<b>6%</b>	<b>9%</b>	<b>15%</b>	<b>7%</b>	<b>11%</b>	
<i>answered question</i>											<b>123</b>
<i>skipped question</i>											<b>6</b>



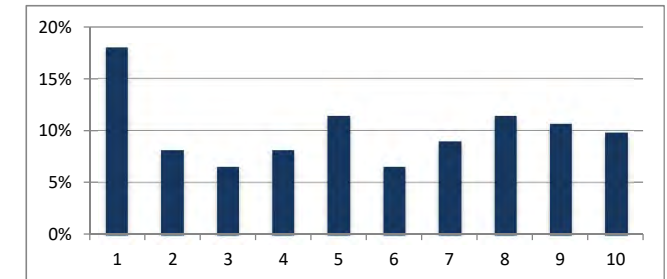
**36. "Building size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	16	7	3	3	7	2	3	8	8	7	64
Mail-in Responses	15	5	7	2	4	5	10	5	1	5	59
<b>Total Responses</b>	<b>31</b>	<b>12</b>	<b>10</b>	<b>5</b>	<b>11</b>	<b>7</b>	<b>13</b>	<b>13</b>	<b>9</b>	<b>12</b>	<b>123</b>
<b>Response Percentages</b>	<b>25%</b>	<b>10%</b>	<b>8%</b>	<b>4%</b>	<b>9%</b>	<b>6%</b>	<b>11%</b>	<b>11%</b>	<b>7%</b>	<b>10%</b>	
<i>answered question</i>											<b>123</b>
<i>skipped question</i>											<b>6</b>



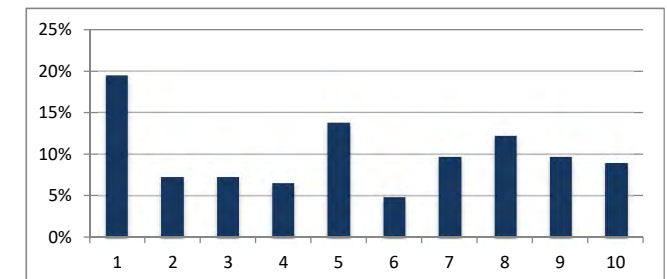
**37. "Overall height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	11	5	6	2	9	3	3	8	10	6	63
Mail-in Responses	11	5	2	8	5	5	8	6	3	6	59
<b>Total Responses</b>	<b>22</b>	<b>10</b>	<b>8</b>	<b>10</b>	<b>14</b>	<b>8</b>	<b>11</b>	<b>14</b>	<b>13</b>	<b>12</b>	<b>122</b>
<b>Response Percentages</b>	<b>18%</b>	<b>8%</b>	<b>7%</b>	<b>8%</b>	<b>11%</b>	<b>7%</b>	<b>9%</b>	<b>11%</b>	<b>11%</b>	<b>10%</b>	
<i>answered question</i>											<b>122</b>
<i>skipped question</i>											<b>7</b>



**38. "Building shape (form) is compatible."**

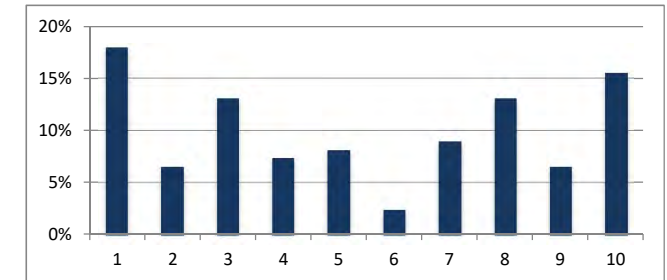
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	10	5	5	4	9	1	6	9	9	6	64
Mail-in Responses	14	4	4	4	8	5	6	6	3	5	59
<b>Total Responses</b>	<b>24</b>	<b>9</b>	<b>9</b>	<b>8</b>	<b>17</b>	<b>6</b>	<b>12</b>	<b>15</b>	<b>12</b>	<b>11</b>	<b>123</b>
<b>Response Percentages</b>	<b>20%</b>	<b>7%</b>	<b>7%</b>	<b>7%</b>	<b>14%</b>	<b>5%</b>	<b>10%</b>	<b>12%</b>	<b>10%</b>	<b>9%</b>	
<i>answered question</i>											<b>123</b>
<i>skipped question</i>											<b>6</b>



**Building Scenario F**

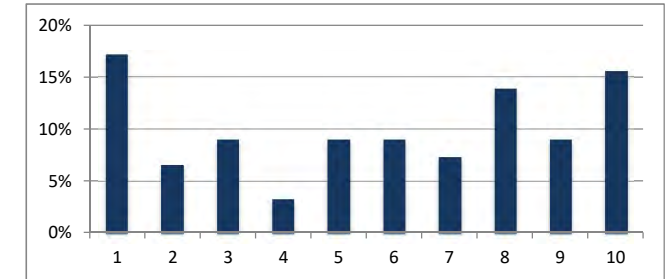
**39. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	7	3	8	5	8	1	5	8	6	13	64
Mail-in Responses	15	5	8	4	2	2	6	8	2	6	58
<b>Total Responses</b>	<b>22</b>	<b>8</b>	<b>16</b>	<b>9</b>	<b>10</b>	<b>3</b>	<b>11</b>	<b>16</b>	<b>8</b>	<b>19</b>	<b>122</b>
<b>Response Percentages</b>	<b>18%</b>	<b>7%</b>	<b>13%</b>	<b>7%</b>	<b>8%</b>	<b>2%</b>	<b>9%</b>	<b>13%</b>	<b>7%</b>	<b>16%</b>	
<i>answered question</i>											<b>122</b>
<i>skipped question</i>											<b>7</b>



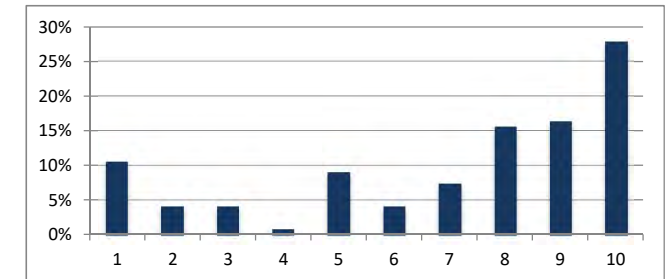
**40. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	4	7	2	5	2	6	9	9	12	64
Mail-in Responses	13	4	4	2	6	3	3	8	2	7	58
<b>Total Responses</b>	<b>21</b>	<b>8</b>	<b>11</b>	<b>4</b>	<b>11</b>	<b>11</b>	<b>9</b>	<b>17</b>	<b>11</b>	<b>19</b>	<b>122</b>
<b>Response Percentages</b>	<b>17%</b>	<b>7%</b>	<b>9%</b>	<b>3%</b>	<b>9%</b>	<b>9%</b>	<b>7%</b>	<b>14%</b>	<b>9%</b>	<b>16%</b>	
<i>answered question</i>											<b>122</b>
<i>skipped question</i>											<b>7</b>



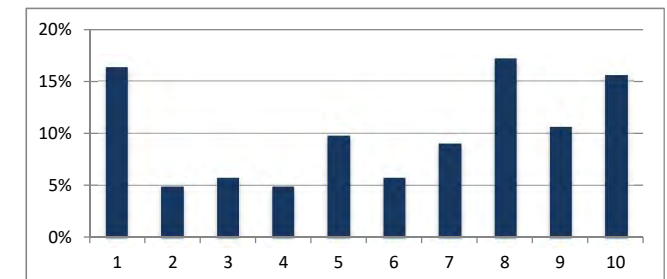
**41. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	5	2	4	1	5	1	6	9	12	19	64
Mail-in Responses	8	3	1	0	6	4	3	10	8	15	58
<b>Total Responses</b>	<b>13</b>	<b>5</b>	<b>5</b>	<b>1</b>	<b>11</b>	<b>5</b>	<b>9</b>	<b>19</b>	<b>20</b>	<b>34</b>	<b>122</b>
<b>Response Percentages</b>	<b>11%</b>	<b>4%</b>	<b>4%</b>	<b>1%</b>	<b>9%</b>	<b>4%</b>	<b>7%</b>	<b>16%</b>	<b>16%</b>	<b>28%</b>	
<i>answered question</i>											<b>122</b>
<i>skipped question</i>											<b>7</b>



**42. "Building shape (form) is compatible."**

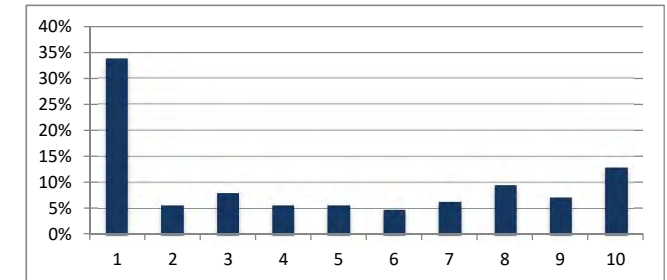
Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	8	3	5	3	6	3	6	11	8	11	64
Mail-in Responses	12	3	2	3	6	4	5	10	5	8	58
<b>Total Responses</b>	<b>20</b>	<b>6</b>	<b>7</b>	<b>6</b>	<b>12</b>	<b>7</b>	<b>11</b>	<b>21</b>	<b>13</b>	<b>19</b>	<b>122</b>
<b>Response Percentages</b>	<b>16%</b>	<b>5%</b>	<b>6%</b>	<b>5%</b>	<b>10%</b>	<b>6%</b>	<b>9%</b>	<b>17%</b>	<b>11%</b>	<b>16%</b>	
<i>answered question</i>											<b>122</b>
<i>skipped question</i>											<b>7</b>



**Building Scenario G**

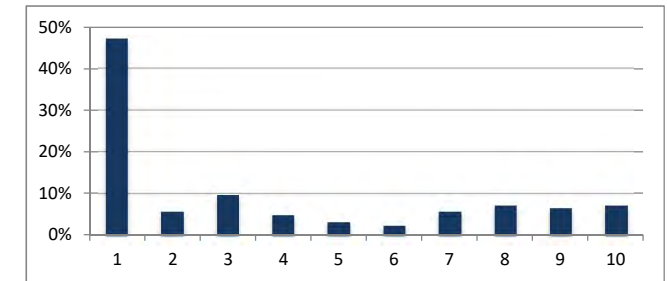
**43. "Lot coverage is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	19	6	4	3	3	1	5	7	8	9	65
Mail-in Responses	23	1	6	4	4	5	3	5	1	7	59
<b>Total Responses</b>	<b>42</b>	<b>7</b>	<b>10</b>	<b>7</b>	<b>7</b>	<b>6</b>	<b>8</b>	<b>12</b>	<b>9</b>	<b>16</b>	<b>124</b>
<b>Response Percentages</b>	<b>34%</b>	<b>6%</b>	<b>8%</b>	<b>6%</b>	<b>6%</b>	<b>5%</b>	<b>6%</b>	<b>10%</b>	<b>7%</b>	<b>13%</b>	
<i>answered question</i>											<b>124</b>
<i>skipped question</i>											<b>5</b>



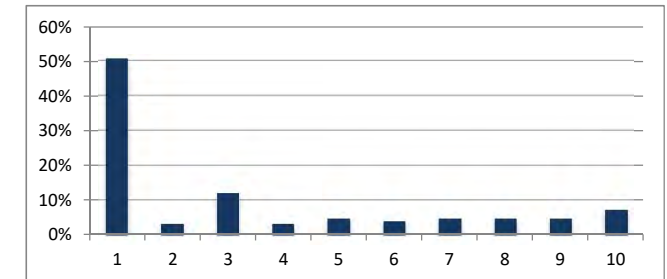
**44. "Overall size is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	30	5	4	2	2	1	4	5	7	4	64
Mail-in Responses	28	2	8	4	2	2	3	4	1	5	59
<b>Total Responses</b>	<b>58</b>	<b>7</b>	<b>12</b>	<b>6</b>	<b>4</b>	<b>3</b>	<b>7</b>	<b>9</b>	<b>8</b>	<b>9</b>	<b>123</b>
<b>Response Percentages</b>	<b>47%</b>	<b>6%</b>	<b>10%</b>	<b>5%</b>	<b>3%</b>	<b>2%</b>	<b>6%</b>	<b>7%</b>	<b>7%</b>	<b>7%</b>	
<i>answered question</i>											<b>123</b>
<i>skipped question</i>											<b>6</b>



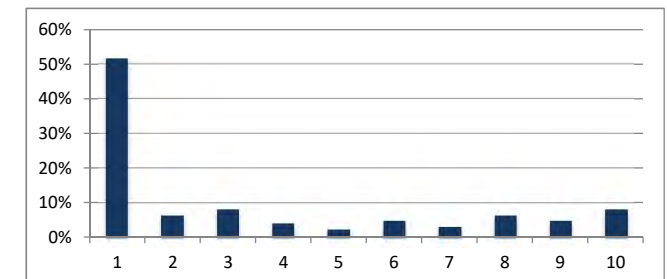
**45. "Building height is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	33	3	6	0	4	3	3	4	5	4	65
Mail-in Responses	30	1	9	4	2	2	3	2	1	5	59
<b>Total Responses</b>	<b>63</b>	<b>4</b>	<b>15</b>	<b>4</b>	<b>6</b>	<b>5</b>	<b>6</b>	<b>6</b>	<b>6</b>	<b>9</b>	<b>124</b>
<b>Response Percentages</b>	<b>51%</b>	<b>3%</b>	<b>12%</b>	<b>3%</b>	<b>5%</b>	<b>4%</b>	<b>5%</b>	<b>5%</b>	<b>5%</b>	<b>7%</b>	
<i>answered question</i>											<b>124</b>
<i>skipped question</i>											<b>5</b>



**46. "Building shape (form) is compatible."**

Answer Options	Strongly Disagree					Strongly Agree					Response Count
	1	2	3	4	5	6	7	8	9	10	
On-line Responses	33	4	4	3	3	2	1	6	4	5	65
Mail-in Responses	31	4	6	2	0	4	3	2	2	5	59
<b>Total Responses</b>	<b>64</b>	<b>8</b>	<b>10</b>	<b>5</b>	<b>3</b>	<b>6</b>	<b>4</b>	<b>8</b>	<b>6</b>	<b>10</b>	<b>124</b>
<b>Response Percentages</b>	<b>52%</b>	<b>6%</b>	<b>8%</b>	<b>4%</b>	<b>2%</b>	<b>5%</b>	<b>3%</b>	<b>6%</b>	<b>5%</b>	<b>8%</b>	
<i>answered question</i>											<b>124</b>
<i>skipped question</i>											<b>5</b>



# COMPATIBLE DESIGN SURVEY: ORIGINAL DOCUMENTS

## HOUSTON HISTORIC DISTRICTS DESIGN GUIDELINES PROJECT STRATEGY REPORT

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### INTRODUCTION

This appendix presents the original Compatible Design Survey documents that were mailed to property owners in January 2017. The Compatible Design Surveys are presented in the following order:

- Freeland
- Houston Heights East
- Houston Heights South
- Houston Heights West
- Norhill
- Woodland Heights

See Section 5 of the Strategy Paper for a description of the findings from the Compatible Design Survey.





# COMPATIBLE BUILDING DESIGN SURVEY

## FREELAND

### Introduction to the Survey

What are the keys to designing a compatible house or addition in a historic district? At previous community workshops, participants evaluated a series of alternative building models for new houses and additions. Some models were rated as being either clearly appropriate or clearly inappropriate. For other models, opinions were mixed, or there wasn't enough feedback to draw clear conclusions, and so this survey focuses on those models for which we did not receive clear direction. We have also updated some illustrations to more closely reflect the character of individual historic districts. Your answers will help us recommend building design tools to be included in the Freeland Historic District design guidelines.

The survey is divided into three parts:

#### Part 1: Overall Issues In the District

This section asks the extent to which you agree or disagree with issues that were mentioned in previous workshops.

#### Part 2: Building Design Tools

This section asks you to comment on the usefulness of design techniques that can affect compatibility, in terms of mass, scale, and relationship of a building to its neighbors.

#### Part 3: Building Scenarios

This section presents eight house designs -- four that show different approaches for constructing an addition to a historic single-family home, and four that illustrate new single-family homes in the historic district. Each scenario incorporates a combination of the design techniques described in Part 2 and will help us determine how effective these tools may be in achieving compatible designs.

**A full-color version of the survey is available online at: [www.surveymonkey.com/r/VPS-FL](http://www.surveymonkey.com/r/VPS-FL)**

**Or**

**Return this survey in the postage-paid envelope provided.**

**All surveys must be completed online or postmarked no later than **Friday, January 27, 2017.****

Questions? Please contact Steph McDougal at the City of Houston Planning Department at [Steph.McDougal@houstontx.gov](mailto:Steph.McDougal@houstontx.gov) or 832-393-6541.

**WRITE YOUR I.D. # HERE**

#   -

Find your Unique ID number on the letter that came with your survey.

**FOR MORE INFORMATION**

A background paper, titled *Houston Historic Districts Potential Design Tools* provides further information about the design tools in Part 2.

Find it online at: <http://tinyurl.com/COH-DG-Tools>

**THANK YOU!**

Thank you for participating in this Compatible Building Design Survey for the Freeland Historic District! Your response will help us develop tools that meet your historic district's unique needs.







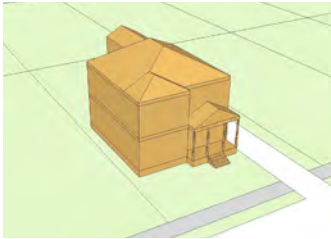
## Part 2: Design Tools

Design guidelines promote compatibility in historic districts. They may address the potential visual impacts of new construction and promote preservation of green space on individual lots. This section asks some questions about some design techniques that may be used to create a more compatible design.

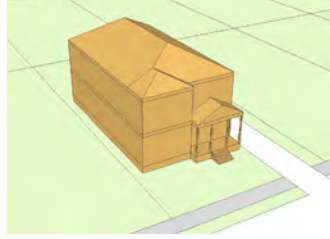
Please indicate the degree to which you agree or disagree with the statements below. The objective is to identify some of the design techniques that should be addressed in the guidelines. Please understand that agreeing with a statement in this section doesn't necessarily mean that it will become a requirement.

### Building Size in Relation to Lot Size

Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses.



*Building with a lower proportion of building area to lot size*



*Building with a higher proportion of building area to lot size*

1. "Guidelines which relate the size of a building to the size of its lot should be considered."

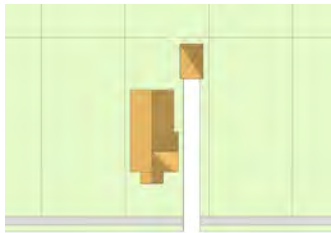
Strongly Disagree

Strongly Agree

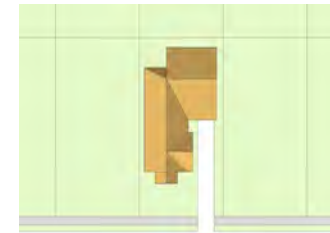
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Lot Coverage

All areas of a property that are covered by buildings and roofed porches are included in lot coverage.



*Building with a lower lot coverage*



*Building with a higher lot coverage*

2. "A limit on the percentage of lot coverage should be considered to help maintain open space."

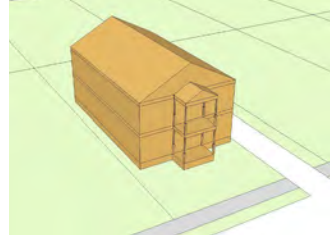
Strongly Disagree

Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### One-Story Element

A one-story element (to the front or side of a house) can help reduce its perceived size.



*Building with no one-story element*



*Building with a one-story element*

3. "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

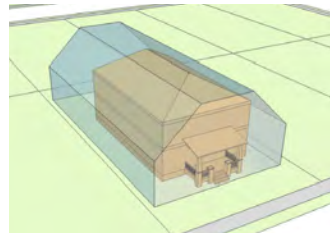
Strongly Disagree

Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Maximum Building Envelope

A maximum building envelope can modify the shape and limit the overall size of a building on its lot.



*Building complies with a maximum building envelope*



*Building exceeds maximum building envelope*

4. "A maximum building envelope should be considered as a tool to reduce perceived building size."

Strongly Disagree

Strongly Agree

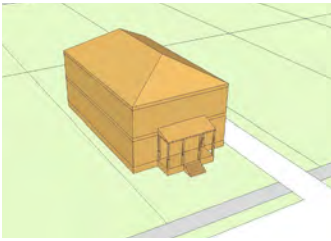
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



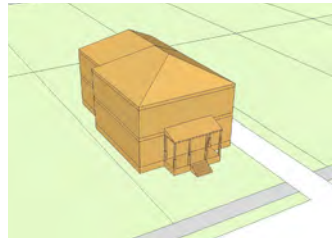
## Part 2: Design Tools (Continued)

### Side Wall Offset

Limiting the length of a side wall can reduce the perceived size of a house.



Building with no side wall offset



Building with a side wall offset

5. "A side wall offset should be considered as a tool to reduce perceived building size."

Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

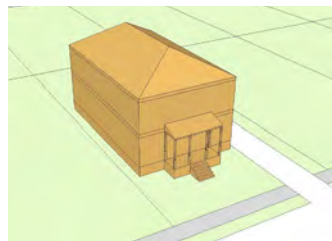
Strongly Agree

### Wall Height

Guidelines can limit the height of all or part of a wall to reduce perceived building size.



Two-story building with traditional wall height



Two-story building with taller wall heights

6. "A wall height limit should be considered as a tool to reduce perceived building size."

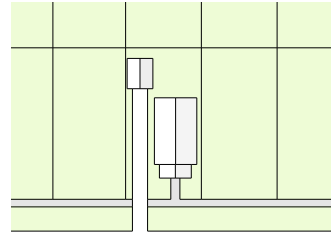
Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

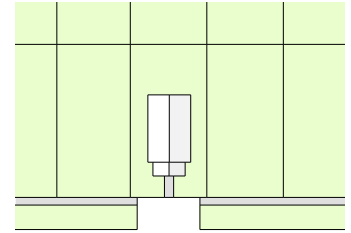
Strongly Agree

### Parking Location

The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site



Parking is located in the rear with a side driveway access.



Parking is located in the front setback area.

7. "Design guidelines should address appropriate parking locations."

Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

Strongly Agree



# COMPATIBLE BUILDING DESIGN SURVEY

## FREELAND

### Part 3: Building Scenarios

Each of the design scenarios on the following pages illustrates a house that could be built on an average size lot in the historic district. Here's what we want you to know before you begin this section:

1. In the initial workshops, people expressed a strong preference for smaller houses, such as this one (right). With that established, we are now seeking the point at which you consider a larger house or addition to be “too large.” Therefore, the models you will be reviewing purposefully do not ask about smaller houses.
2. Each picture shows a block that retains its historic character, in which all buildings shown would be classified as Contributing to the historic district. Although that is not a typical condition for every block in the district, changes that require a Certificate of Appropriateness only consider the proposed project's compatibility with Contributing buildings. Therefore, this survey presents only Contributing examples of neighboring buildings.
3. The models shown do not represent the City's or the consultants' recommendations, which are still being developed. The models selected are only being used to help understand what the community feels is compatible and incompatible within the historic context.
4. We do not intend to suggest designs that would be in conflict with deed restrictions, where those are in place, even though in some cases a model may appear to do so. You should answer these questions anyway, with the assurance that no changes to deed restrictions will be proposed.



With that in mind, and considering the historic context that is illustrated, please comment on the appropriateness of each design. Please select the one answer for each question that best describes your opinion regarding each addition or new house that is shown.

Your responses will help us identify some of the design techniques that can influence compatibility and to determine if there is a “threshold” of building scale that is considered appropriate. You will help us understand which design techniques should be considered in the guidelines.



# COMPATIBLE BUILDING DESIGN SURVEY

# FREELAND

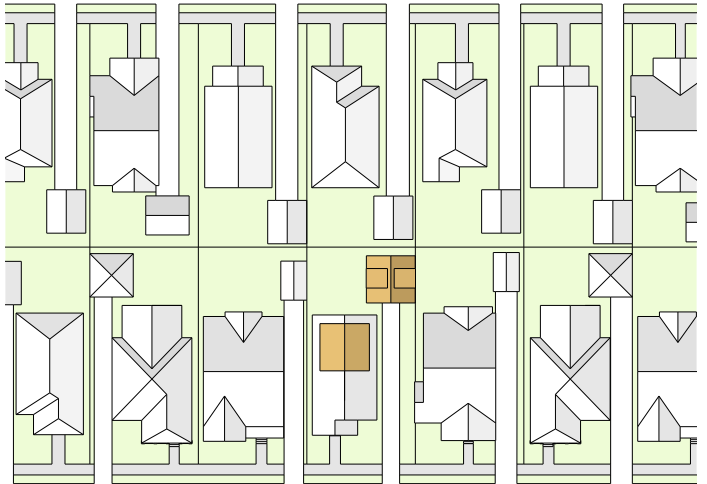
## BUILDING SCENARIO A

This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and set in from the side walls. It also includes a one-and-a-half story garage located to the rear of the lot. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) Strongly Agree

2. Size of addition is compatible.

Strongly Disagree (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) Strongly Agree

3. Height of addition is compatible.

Strongly Disagree (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) Strongly Agree

4. Form (shape) of addition is compatible.

Strongly Disagree (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) Strongly Agree







# COMPATIBLE BUILDING DESIGN SURVEY

# FREELAND

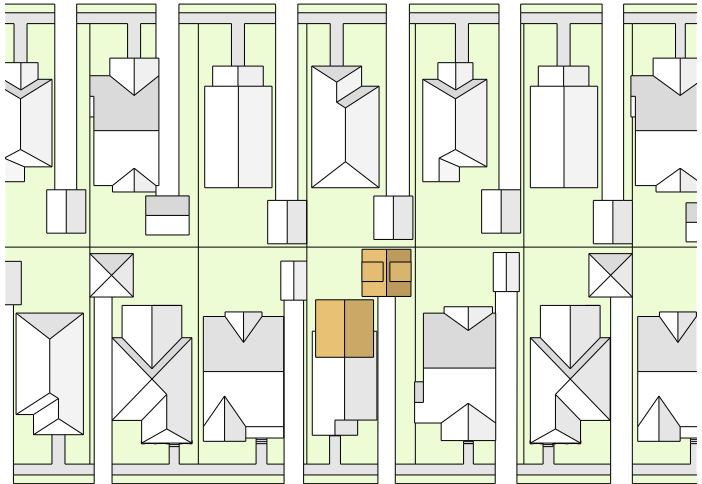
## BUILDING SCENARIO C

This scenario illustrates a historic one-story home with a two-story addition to the roof and rear. It also includes a one-and-a-half story garage located to the rear of the lot. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

2. Size of addition is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

3. Height of addition is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

4. Form (shape) of addition is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)



# COMPATIBLE BUILDING DESIGN SURVEY

# FREELAND

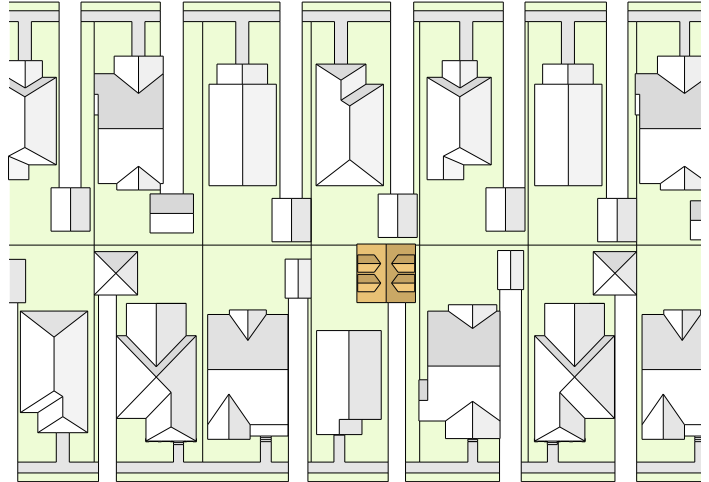
## BUILDING SCENARIO D

This scenario illustrates a new one-and-a-half story garage located to the rear of the lot. This design preserves the historic building on the site. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩





# COMPATIBLE BUILDING DESIGN SURVEY

# FREELAND

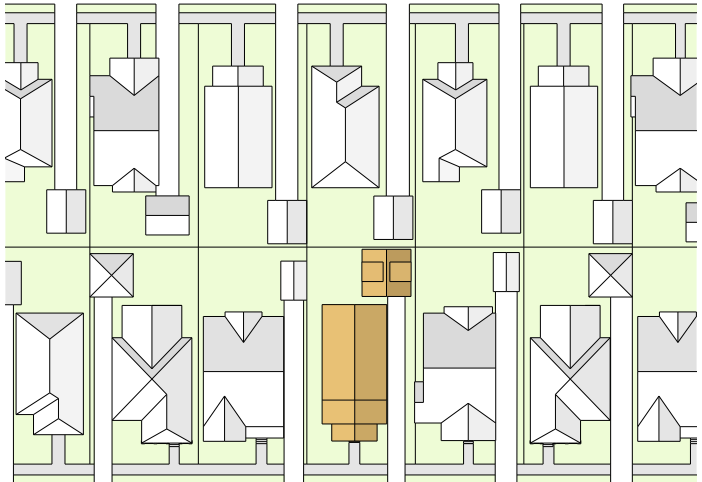
## BUILDING SCENARIO E

This scenario illustrates a new two-story home with a one-story portion in front. It also includes a one-and-a-half story garage located to the rear of the lot. This design retains some open space on the lot. The new buildings meet the required side yard setbacks, and also maintains the traditional setbacks of the context area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

2. Overall size is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

3. Building height is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

4. Building form (shape) is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	





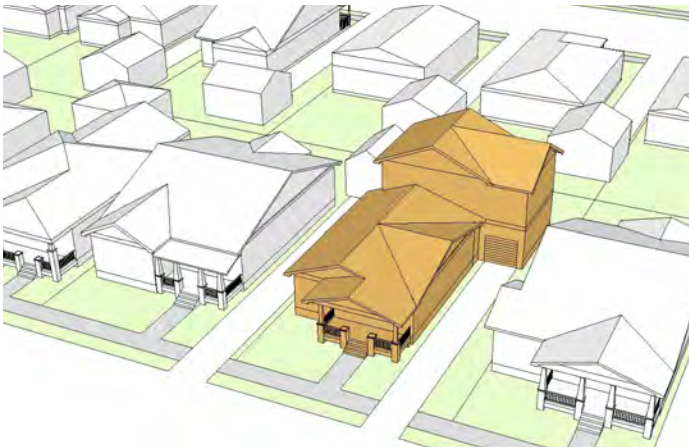
# COMPATIBLE BUILDING DESIGN SURVEY

# FREELAND

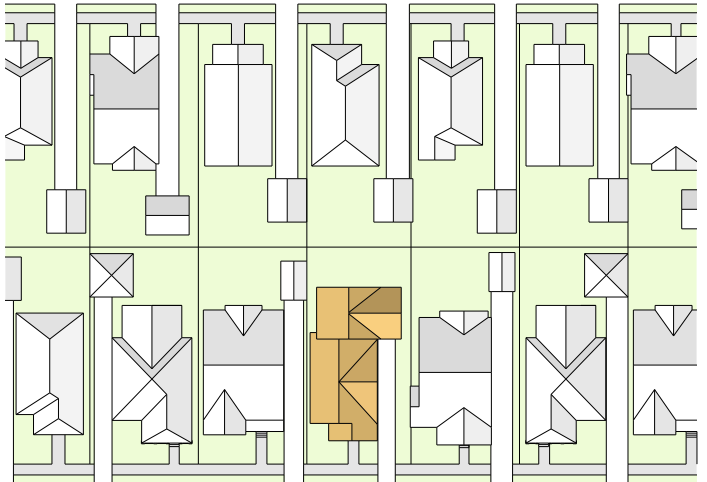
## BUILDING SCENARIO G

This scenario illustrates a new home with a one-story portion in the front, and a two-story portion in the rear that extends to the side. This design retains some open space on the lot. The new building meets the required side yard setbacks, but doesn't maintain the traditional setbacks of the context area toward the rear of the lot.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

2. Overall size is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

3. Building height is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

4. Building form (shape) is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	









# COMPATIBLE DESIGN SURVEY

## HOUSTON HEIGHTS EAST

### Introduction to the Survey

What are the keys to designing a compatible house or addition in a historic district? At previous community workshops, participants evaluated a series of alternative building models for new houses and additions. Some models were rated as being either clearly appropriate or clearly inappropriate. For other models, opinions were mixed, or there wasn't enough feedback to draw clear conclusions, and so this survey focuses on those models for which we did not receive clear direction. We have also updated some illustrations to more closely reflect the character of individual historic districts. Your answers will help us recommend building design tools to be included in the Houston Heights East Historic District design guidelines.

The survey is divided into three parts:

#### Part 1: Overall Issues In the District

This section asks the extent to which you agree or disagree with issues that were mentioned in previous workshops.

#### Part 2: Building Design Tools

This section asks you to comment on the usefulness of design techniques that can affect compatibility, in terms of mass, scale, and relationship of a building to its neighbors.

#### Part 3: Building Scenarios

This section presents eight house designs -- three that show different approaches for constructing an addition to a historic single-family home, and five that illustrate new single-family homes in the historic district. Each scenario incorporates a combination of the design techniques described in Part 2 and will help us determine how effective these tools may be in achieving compatible designs.

**A full-color version of the survey is available online at: [www.surveymonkey.com/r/VPS-HHE](http://www.surveymonkey.com/r/VPS-HHE)**

**Or**

**Return this survey in the postage-paid envelope provided.**

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**WRITE YOUR I.D. # HERE**

#   -

Find your Unique ID number on the letter that came with your survey.

**FOR MORE INFORMATION**

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Find it online at: <http://tinyurl.com/COH-DG-Tools>

**THANK YOU!**

Thank you for participating in this Compatible Building Design Survey for the Houston Heights East Historic District! Your response will help us develop tools that meet your historic district's unique needs.





# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS EAST

## Part 1: Overall Issues in the District

The following statements reflect comments made in community workshops and other meetings. Please indicate the degree to which you agree or disagree with the statements as they apply to this historic district. The objective is to identify key issues that should be addressed in the design guidelines. (Select one answer for each question unless otherwise noted.)

1. "Some recent construction in my historic district is too large."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. "The loss of green space when a larger building is constructed is a key issue."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. "The loss of mature vegetation when new construction occurs is a key issue."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. "Most recent new construction has been compatible."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

5. "A large house next door diminishes privacy in neighbors' back yards."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

6. "Regulations that protect historic district character will enhance property values."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

8. "Most recent renovation projects have been appropriate."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

9. "An addition to a historic building should be visually subordinate to the building."

Strongly Disagree Strongly Agree  
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

11. What are the key issues related to the treatment of historic buildings in the district?



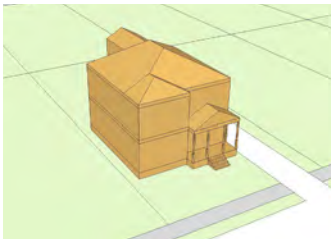
## Part 2: Design Tools

Design guidelines promote compatibility in historic districts. They may address the potential visual impacts of new construction and promote preservation of green space on individual lots. This section asks some questions about some design techniques that may be used to create a more compatible design.

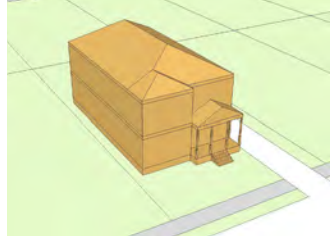
Please indicate the degree to which you agree or disagree with the statements below. The objective is to identify some of the design techniques that should be addressed in the guidelines. Please understand that agreeing with a statement in this section doesn't necessarily mean that it will become a requirement.

### Building Size in Relation to Lot Size

Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses.



*Building with a lower proportion of building area to lot size*



*Building with a higher proportion of building area to lot size*

1. "Guidelines which relate the size of a building to the size of its lot should be considered."

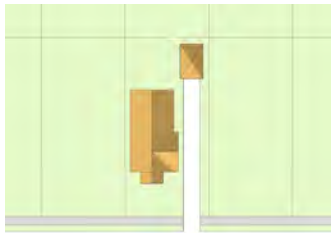
Strongly Disagree

Strongly Agree

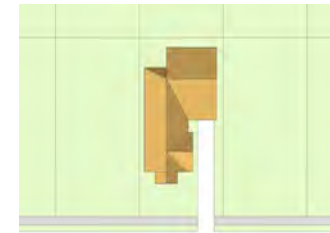
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Lot Coverage

All areas of a property that are covered by buildings and roofed porches are included in lot coverage.



*Building with a lower lot coverage*



*Building with a higher lot coverage*

2. "A limit on the percentage of lot coverage should be considered to help maintain open space."

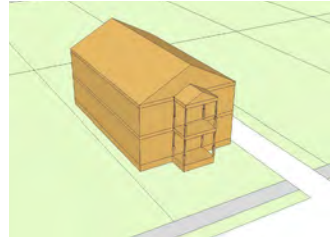
Strongly Disagree

Strongly Agree

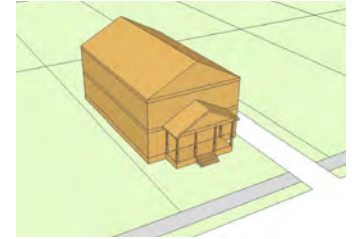
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### One-Story Element

A one-story element (to the front or side of a house) can help reduce its perceived size.



*Building with no one-story element*



*Building with a one-story element*

3. "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

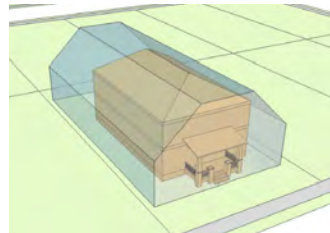
Strongly Disagree

Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Maximum Building Envelope

A maximum building envelope can modify the shape and limit the overall size of a building on its lot.



*Building complies with a maximum building envelope*



*Building exceeds maximum building envelope*

4. "A maximum building envelope should be considered as a tool to reduce perceived building size."

Strongly Disagree

Strongly Agree

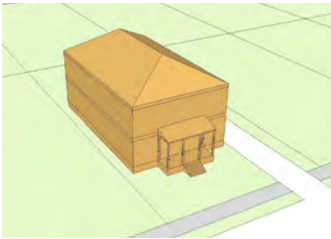
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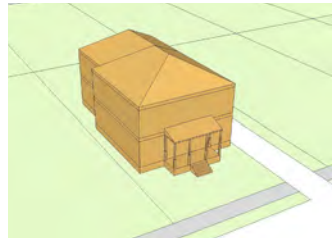
## Part 2: Design Tools (Continued)

### Side Wall Offset

Limiting the length of a side wall can reduce the perceived size of a house.



Building with no side wall offset



Building with a side wall offset

5. "A side wall offset should be considered as a tool to reduce perceived building size."

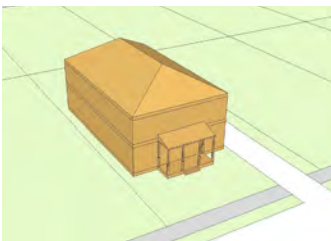
Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

Strongly Agree

### Wall Height

Guidelines can limit the height of all or part of a wall to reduce perceived building size.



Two-story building with traditional wall height



Two-story building with taller wall heights

6. "A wall height limit should be considered as a tool to reduce perceived building size."

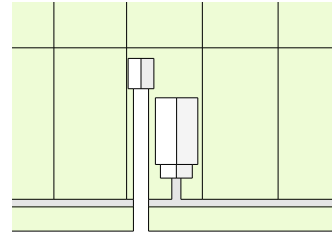
Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

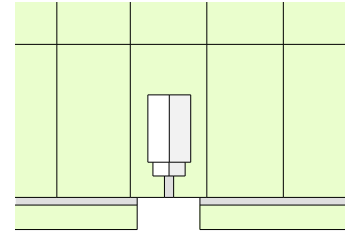
Strongly Agree

### Parking Location

The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site



Parking is located in the rear with a side driveway access.



Parking is located in the front setback area.

7. "Design guidelines should address appropriate parking locations."

Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

Strongly Agree



# COMPATIBLE DESIGN SURVEY

## HOUSTON HEIGHTS EAST

### Part 3: Building Scenarios

Each of the design scenarios on the following pages illustrates a house that could be built on an average size lot in the historic district. Here's what we want you to know before you begin this section:

1. In the initial workshops, people expressed a strong preference for smaller houses, such as this one (right). With that established, we are now seeking the point at which you consider a larger house or addition to be “too large”. Therefore, the models you will be reviewing purposefully do not ask about smaller houses.
2. Each picture shows a block that retains its historic character, in which all buildings shown would be classified as Contributing to the historic district. Although that is not a typical condition for every block in the district, changes that require a Certificate of Appropriateness only consider the proposed project's compatibility with Contributing buildings. Therefore, this survey presents only Contributing examples of neighboring buildings.
3. The models shown do not represent the City's or the consultants' recommendations, which are still being developed. The models selected are only being used to help understand what the community feels is compatible and incompatible within the historic context.
4. We do not intend to suggest designs that would be in conflict with deed restrictions, where those are in place, even though in some cases a model may appear to do so. You should answer these questions anyway, with the assurance that no changes to deed restrictions will be proposed.



With that in mind, and considering the historic context that is illustrated, please comment on the appropriateness of each design. Please select the one answer for each question that best describes your opinion regarding each addition or new house that is shown.

Your responses will help us identify some of the design techniques that can influence compatibility and to determine if there is a “threshold” of building scale that is considered appropriate. You will help us understand which design techniques should be considered in the guidelines.



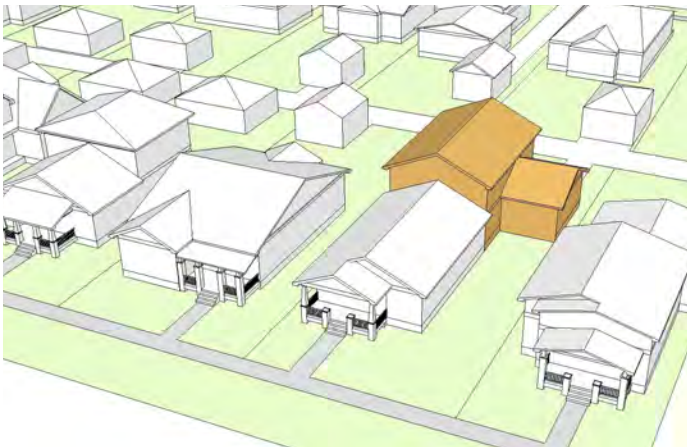
# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS EAST

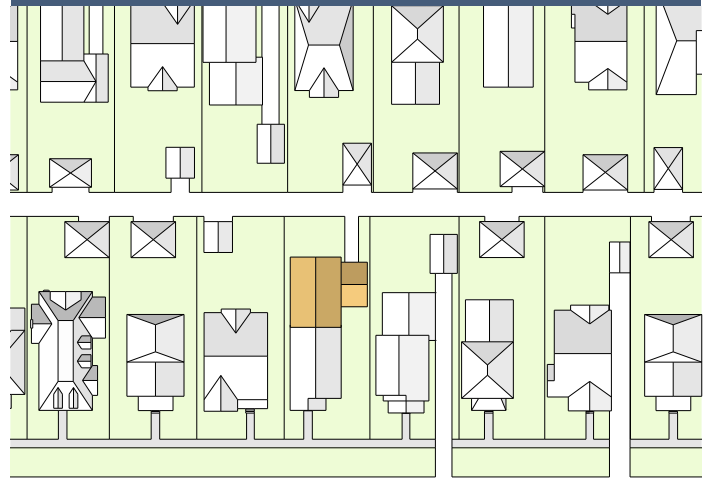
## BUILDING SCENARIO A

This scenario illustrates a historic one-story home with a two-story addition to the rear. It also includes an attached one-story garage that extends to the side, accessed off the alley. This design reduces open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

2. Size of addition is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

3. Height of addition is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

4. Form (shape) of addition is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	









# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS EAST

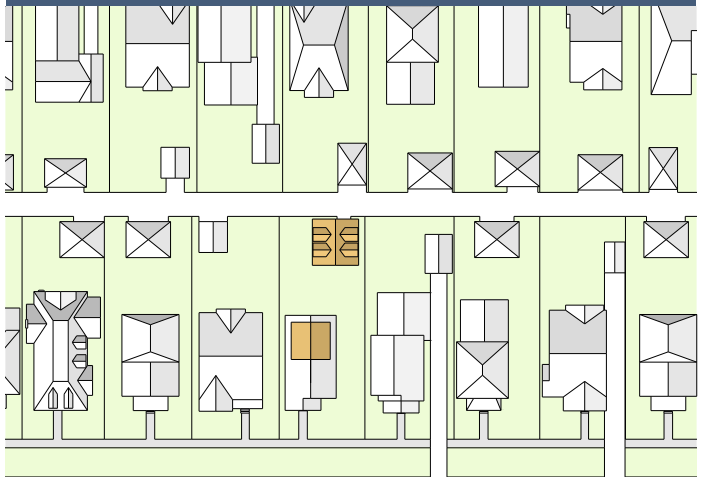
## BUILDING SCENARIO C

This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and set in from the side walls. It also includes a one-and-a-half story garage located to the rear of the lot, accessed off the alley. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

2. Size of addition is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

3. Height of addition is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

4. Form (shape) of addition is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)





# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS EAST

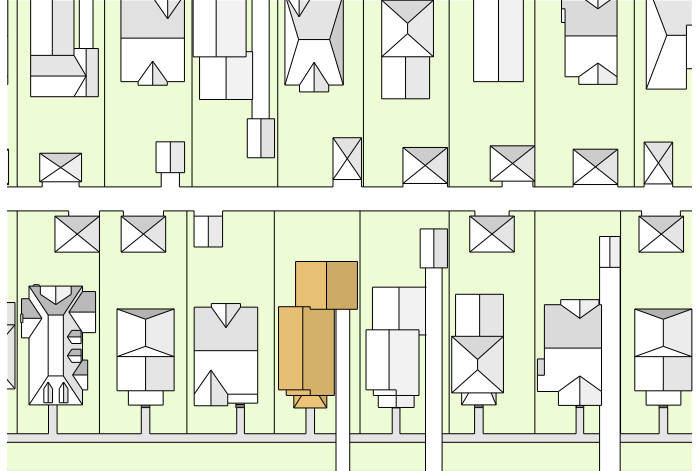
## BUILDING SCENARIO E

This scenario illustrates a new two-story home with an offset portion in the rear. This design retains some open space on the lot.

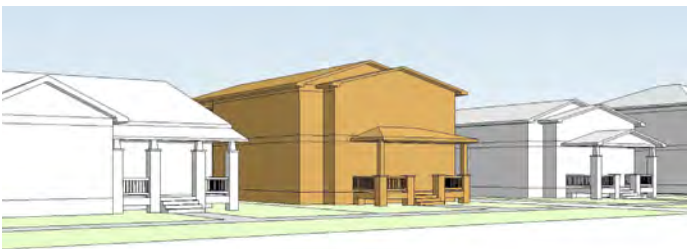
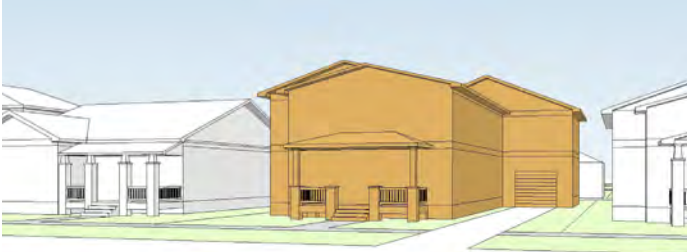
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building shape (form) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩







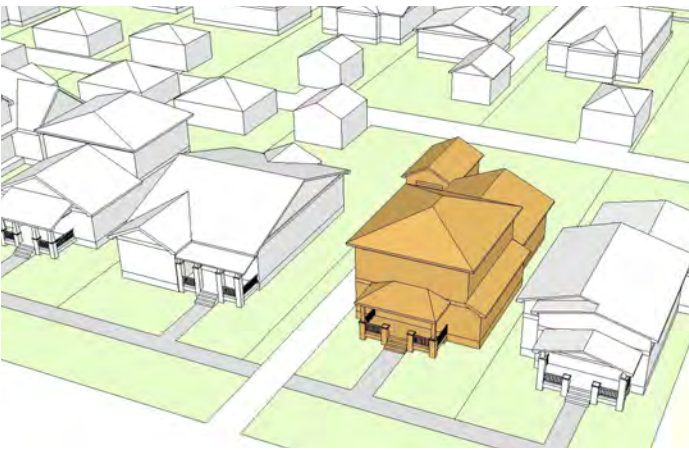
# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS EAST

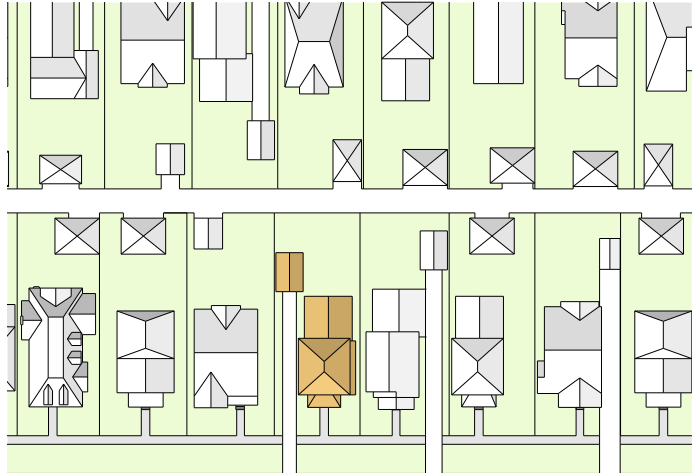
## BUILDING SCENARIO G

This scenario illustrates a new two-story home with a one-story portion in front and along the side. It also has a detached one-story garage in the rear. This design retains some open space on the lot.

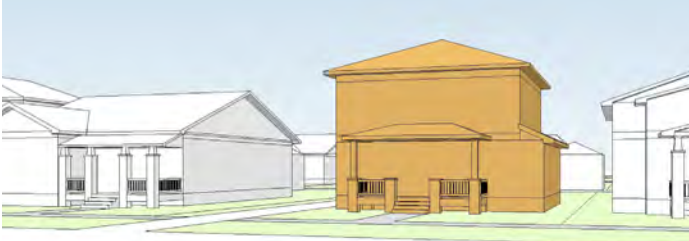
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building shape (form) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩









# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS SOUTH

## Introduction to the Survey

What are the keys to designing a compatible house or addition in a historic district? At previous community workshops, participants evaluated a series of alternative building models for new houses and additions. Some models were rated as being either clearly appropriate or clearly inappropriate. For other models, opinions were mixed, or there wasn't enough feedback to draw clear conclusions, and so this survey focuses on those models for which we did not receive clear direction. We have also updated some illustrations to more closely reflect the character of individual historic districts. Your answers will help us recommend building design tools to be included in the Houston Heights South Historic District design guidelines.

The survey is divided into three parts:

### Part 1: Overall Issues In the District

This section asks the extent to which you agree or disagree with issues that were mentioned in previous workshops.

### Part 2: Building Design Tools

This section asks you to comment on the usefulness of design techniques that can affect compatibility, in terms of mass, scale, and relationship of a building to its neighbors.

### Part 3: Building Scenarios

This section presents nine house designs -- four that show different approaches for constructing an addition to a historic single-family home, and five that illustrate new single-family homes in the historic district. Each scenario incorporates a combination of the design techniques described in Part 2 and will help us determine how effective these tools may be in achieving compatible designs.

**A full-color version of the survey is available online at: [www.surveymonkey.com/r/VPS-HHS](http://www.surveymonkey.com/r/VPS-HHS)**

**Or**

**Return this survey in the postage-paid envelope provided.**

**All surveys must be completed online or postmarked no later than **Friday, January 27, 2017.****

Questions? Please contact Steph McDougal at the City of Houston Planning Department at [Steph.McDougal@houstontx.gov](mailto:Steph.McDougal@houstontx.gov) or 832-393-6541.

**WRITE YOUR I.D. # HERE**

#   -

Find your Unique ID number on the letter that came with your survey.

**FOR MORE INFORMATION**

A background paper, titled *Houston Historic Districts Potential Design Tools* provides further information about the design tools in Part 2.

Find it online at: <http://tinyurl.com/COH-DG-Tools>

**THANK YOU!**

Thank you for participating in this Compatible Building Design Survey for the Houston Heights South Historic District! Your response will help us develop tools that meet your historic district's unique needs.



## Part 1: Overall Issues in the District

The following statements reflect comments made in community workshops and other meetings. Please indicate the degree to which you agree or disagree with the statements as they apply to this historic district. The objective is to identify key issues that should be addressed in the design guidelines. (Select one answer for each question unless otherwise noted.)

1. "Some recent construction in my historic district is too large."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. "The loss of green space when a larger building is constructed is a key issue."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. "The loss of mature vegetation when new construction occurs is a key issue."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. "Most recent new construction has been compatible."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

5. "A large house next door diminishes privacy in neighbors' back yards."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

6. "Regulations that protect historic district character will enhance property values."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

8. "Most recent renovation projects have been appropriate."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

9. "An addition to a historic building should be visually subordinate to the building."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

11. What are the key issues related to the treatment of historic buildings in the district?



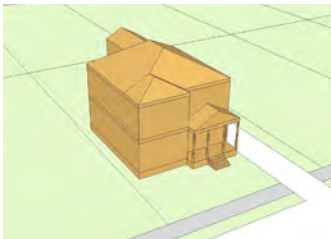
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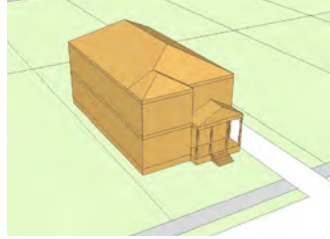
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### Building Size in Relation to Lot Size

Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses.



*Building with a lower proportion of building area to lot size*



*Building with a higher proportion of building area to lot size*

1. "Guidelines which relate the size of a building to the size of its lot should be considered."

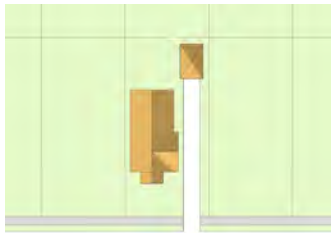
Strongly Disagree

Strongly Agree

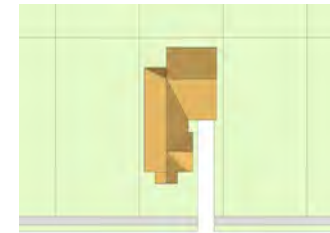
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### Lot Coverage

All areas of a property that are covered by buildings and roofed porches are included in lot coverage.



*Building with a lower lot coverage*



*Building with a higher lot coverage*

2. "A limit on the percentage of lot coverage should be considered to help maintain open space."

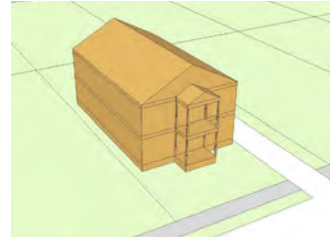
Strongly Disagree

Strongly Agree

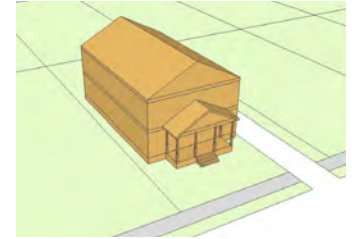
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### One-Story Element

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*Building with no one-story element*



*Building with a one-story element*

3. "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

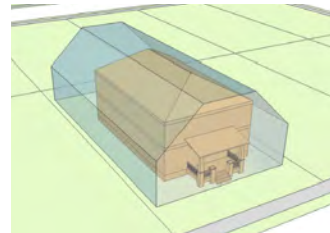
Strongly Disagree

Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Maximum Building Envelope

A maximum building envelope can modify the shape and limit the overall size of a building on its lot.



*Building complies with a maximum building envelope*



*Building exceeds maximum building envelope*

4. "A maximum building envelope should be considered as a tool to reduce perceived building size."

Strongly Disagree

Strongly Agree

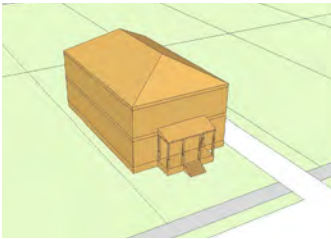
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



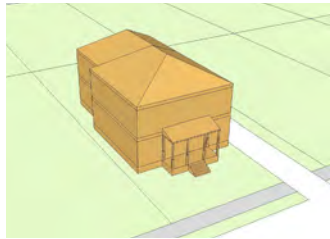
## Part 2: Design Tools (Continued)

### Side Wall Offset

Limiting the length of a side wall can reduce the perceived size of a house.



Building with no side wall offset



Building with a side wall offset

5. "A side wall offset should be considered as a tool to reduce perceived building size."

Strongly Disagree

- 1 2 3 4 5 6 7 8 9 10

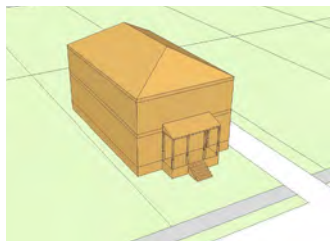
Strongly Agree

### Wall Height

Guidelines can limit the height of all or part of a wall to reduce perceived building size.



Two-story building with traditional wall height



Two-story building with taller wall heights

6. "A wall height limit should be considered as a tool to reduce perceived building size."

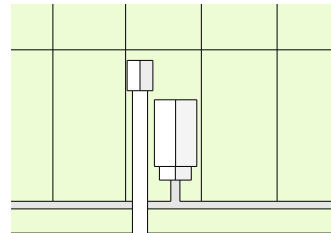
Strongly Disagree

- 1 2 3 4 5 6 7 8 9 10

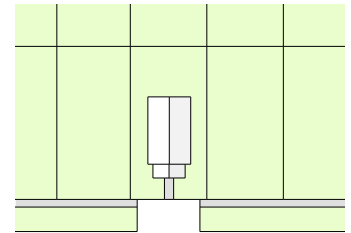
Strongly Agree

### Parking Location

The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site



Parking is located in the rear with a side driveway access.



Parking is located in the front setback area.

7. "Design guidelines should address appropriate parking locations."

Strongly Disagree

- 1 2 3 4 5 6 7 8 9 10

Strongly Agree



# COMPATIBLE DESIGN SURVEY

## HOUSTON HEIGHTS SOUTH

### Part 3: Building Scenarios

Each of the design scenarios on the following pages illustrates a house that could be built on an average size lot in the historic district. Here's what we want you to know before you begin this section:

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With that in mind, and considering the historic context that is illustrated, please comment on the appropriateness of each design. Please select the one answer for each question that best describes your opinion regarding each addition or new house that is shown.

Your responses will help us identify some of the design techniques that can influence compatibility and to determine if there is a “threshold” of building scale that is considered appropriate. You will help us understand which design techniques should be considered in the guidelines.





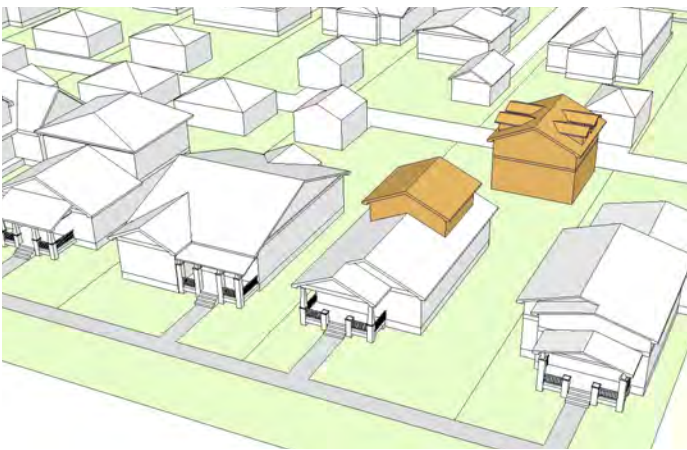
# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS SOUTH

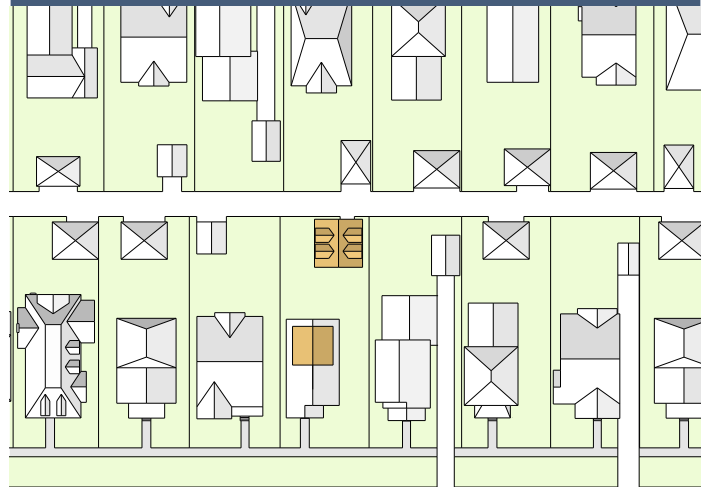
## BUILDING SCENARIO A

This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and set in from the side walls. It also includes a one-and-a-half story garage located to the rear of the lot, accessed off the alley. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩





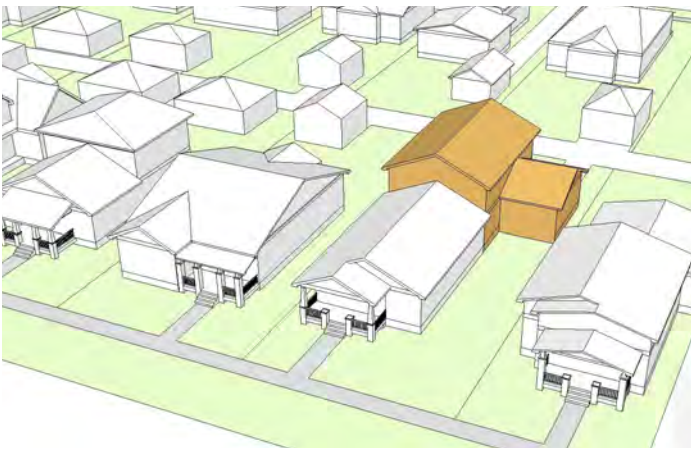
# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS SOUTH

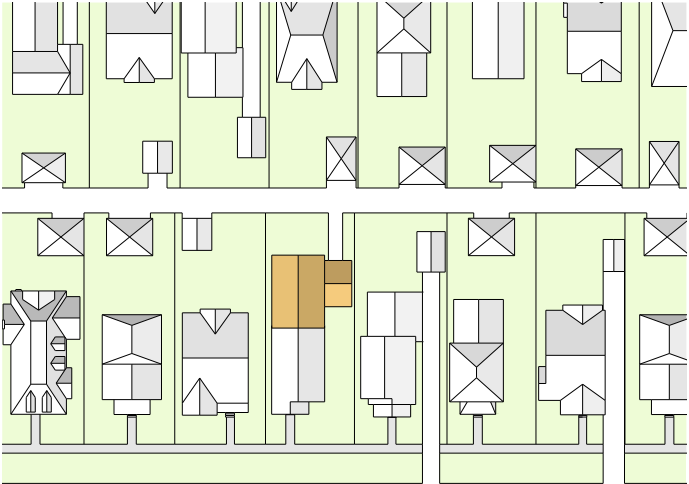
## BUILDING SCENARIO C

This scenario illustrates a historic one-story home with a two-story addition to the rear. It also includes an attached one-story garage that extends to the side, accessed off the alley. This design reduces open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩







# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS SOUTH

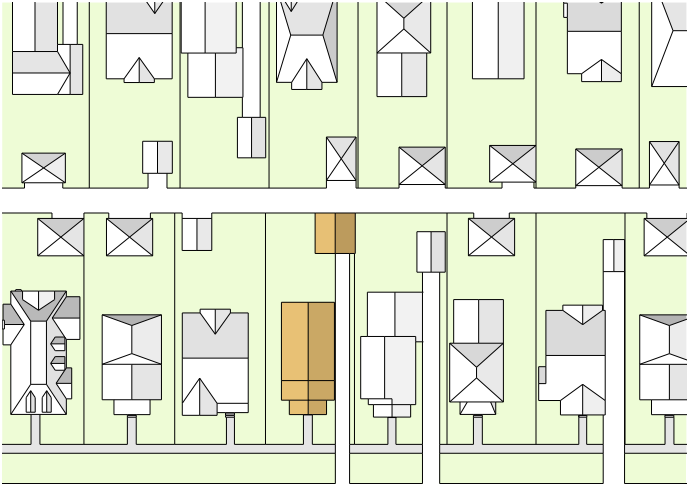
## BUILDING SCENARIO E

This scenario illustrates a new two-story home with a one-story portion in front. It also includes a one-and-a-half story garage located to the rear of the lot. This design retains some open space on the lot.

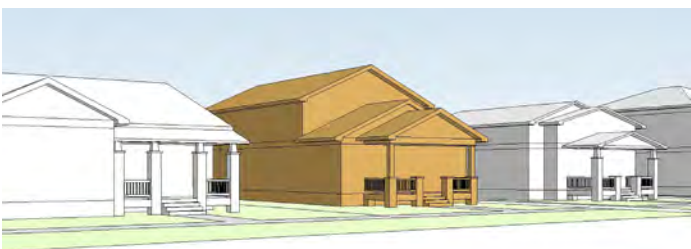
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building form (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩







# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS SOUTH

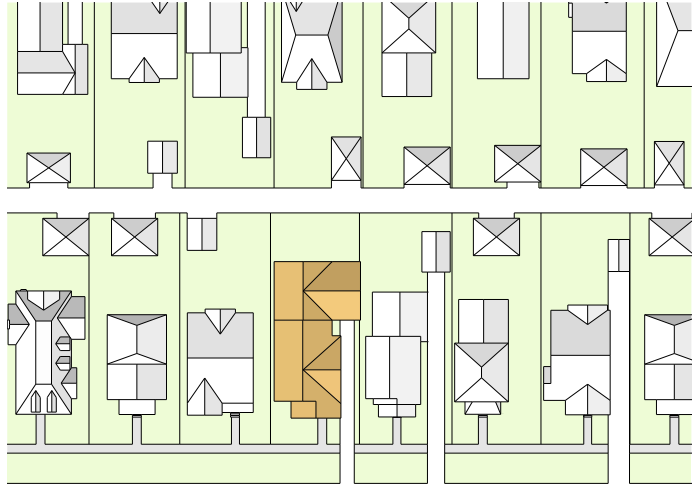
## BUILDING SCENARIO G

This scenario illustrates a new home with a one-story portion in the front and a two-story portion in the rear that extends to the side. This design reduces open space on the lot.

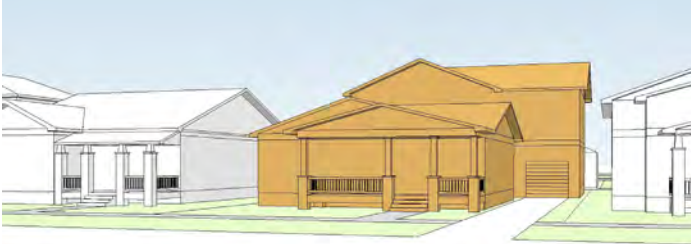
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building form (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩





# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS SOUTH

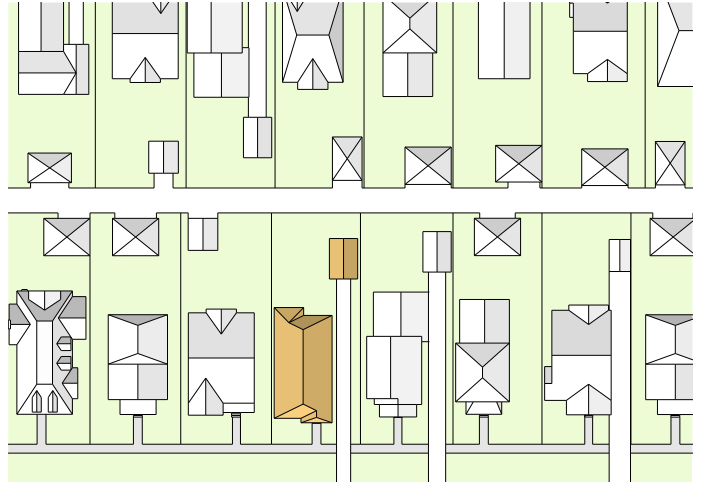
## BUILDING SCENARIO I

This scenario illustrates a new two-story building with a two-story front porch element. It also includes a one-story garage located to the rear of the lot. This design retains some open space on the lot.

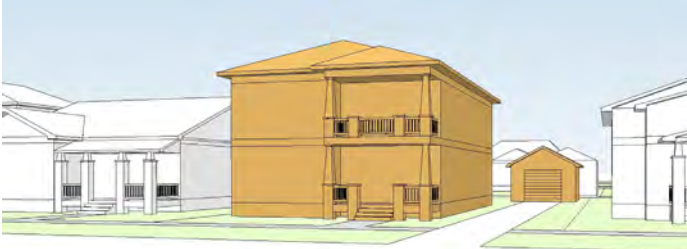
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building form (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



# COMPATIBLE DESIGN SURVEY

## HOUSTON HEIGHTS WEST

### Introduction to the Survey

What are the keys to designing a compatible house or addition in a historic district? At previous community workshops, participants evaluated a series of alternative building models for new houses and additions. Some models were rated as being either clearly appropriate or clearly inappropriate. For other models, opinions were mixed, or there wasn't enough feedback to draw clear conclusions, and so this survey focuses on those models for which we did not receive clear direction. We have also updated some illustrations to more closely reflect the character of individual historic districts. Your answers will help us recommend building design tools to be included in the Houston Heights West Historic District design guidelines.

The survey is divided into three parts:

#### Part 1: Overall Issues In the District

This section asks the extent to which you agree or disagree with issues that were mentioned in previous workshops.

#### Part 2: Building Design Tools

This section asks you to comment on the usefulness of design techniques that can affect compatibility, in terms of mass, scale, and relationship of a building to its neighbors.

#### Part 3: Building Scenarios

This section presents nine house designs -- four that show different approaches for constructing an addition to a historic single-family home, and five that illustrate new single-family homes in the historic district. Each scenario incorporates a combination of the design techniques described in Part 2 and will help us determine how effective these tools may be in achieving compatible designs.

**A full-color version of the survey is available online at: [www.surveymonkey.com/r/VPS-HHW](http://www.surveymonkey.com/r/VPS-HHW)**

**Or**

**Return this survey in the postage-paid envelope provided.**

**All surveys must be completed online or postmarked no later than **Friday, January 27, 2017.****

Questions? Please contact Steph McDougal at the City of Houston Planning Department at [Steph.McDougal@houstontx.gov](mailto:Steph.McDougal@houstontx.gov) or 832-393-6541.

**WRITE YOUR I.D. # HERE**

#   -

Find your Unique ID number on the letter that came with your survey.

**FOR MORE INFORMATION**

A background paper, titled *Houston Historic Districts Potential Design Tools* provides further information about the design tools in Part 2.

Find it online at: <http://tinyurl.com/COH-DG-Tools>

**THANK YOU!**

Thank you for participating in this Compatible Building Design Survey for the Houston Heights West Historic District! Your response will help us develop tools that meet your historic district's unique needs.





## Part 1: Overall Issues in the District

The following statements reflect comments made in community workshops and other meetings. Please indicate the degree to which you agree or disagree with the statements as they apply to this historic district. The objective is to identify key issues that should be addressed in the design guidelines. (Select one answer for each question unless otherwise noted.)

1. "Some recent construction in my historic district is too large."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. "The loss of green space when a larger building is constructed is a key issue."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. "The loss of mature vegetation when new construction occurs is a key issue."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. "Most recent new construction has been compatible."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

5. "A large house next door diminishes privacy in neighbors' back yards."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

6. "Regulations that protect historic district character will enhance property values."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

8. "Most recent renovation projects have been appropriate."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

9. "An addition to a historic building should be visually subordinate to the building."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

11. What are the key issues related to the treatment of historic buildings in the district?



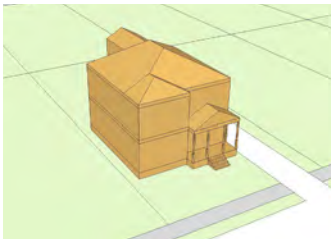
## Part 2: Design Tools

Design guidelines promote compatibility in historic districts. They may address the potential visual impacts of new construction and promote preservation of green space on individual lots. This section asks some questions about some design techniques that may be used to create a more compatible design.

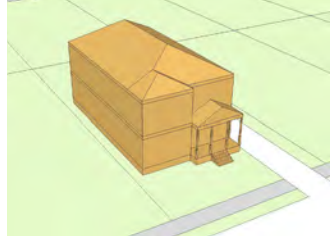
Please indicate the degree to which you agree or disagree with the statements below. The objective is to identify some of the design techniques that should be addressed in the guidelines. Please understand that agreeing with a statement in this section doesn't necessarily mean that it will become a requirement.

### Building Size in Relation to Lot Size

Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses.



*Building with a lower proportion of building area to lot size*



*Building with a higher proportion of building area to lot size*

1. "Guidelines which relate the size of a building to the size of its lot should be considered."

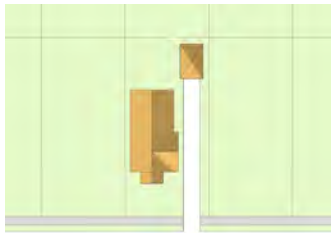
Strongly Disagree

Strongly Agree

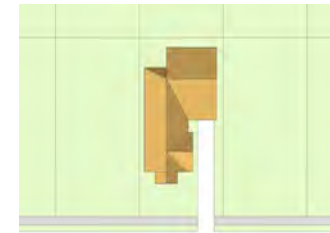
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Lot Coverage

All areas of a property that are covered by buildings and roofed porches are included in lot coverage.



*Building with a lower lot coverage*



*Building with a higher lot coverage*

2. "A limit on the percentage of lot coverage should be considered to help maintain open space."

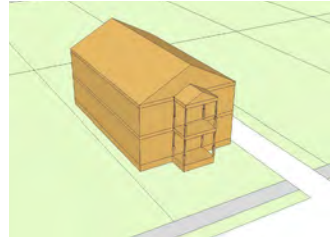
Strongly Disagree

Strongly Agree

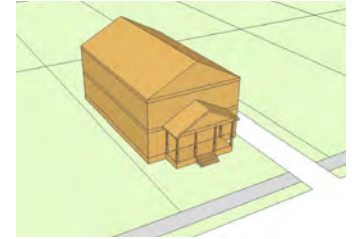
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### One-Story Element

A one-story element (to the front or side of a house) can help reduce its perceived size.



*Building with no one-story element*



*Building with a one-story element*

3. "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

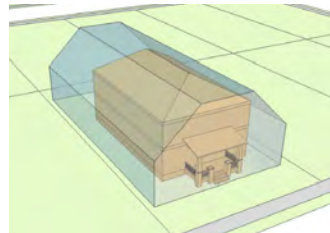
Strongly Disagree

Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Maximum Building Envelope

A maximum building envelope can modify the shape and limit the overall size of a building on its lot.



*Building complies with a maximum building envelope*



*Building exceeds maximum building envelope*

4. "A maximum building envelope should be considered as a tool to reduce perceived building size."

Strongly Disagree

Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

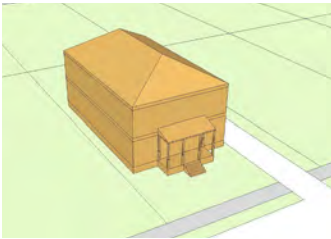




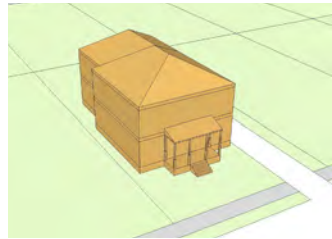
## Part 2: Design Tools (Continued)

### Side Wall Offset

Limiting the length of a side wall can reduce the perceived size of a house.



Building with no side wall offset



Building with a side wall offset

5. "A side wall offset should be considered as a tool to reduce perceived building size."

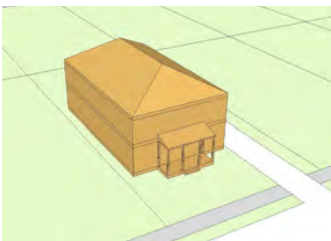
Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

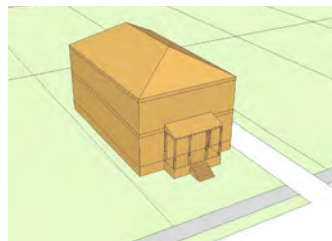
Strongly Agree

### Wall Height

Guidelines can limit the height of all or part of a wall to reduce perceived building size.



Two-story building with traditional wall height



Two-story building with taller wall heights

6. "A wall height limit should be considered as a tool to reduce perceived building size."

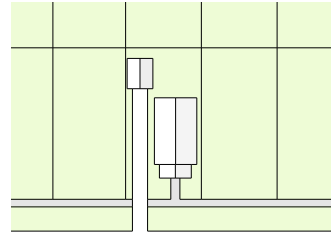
Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

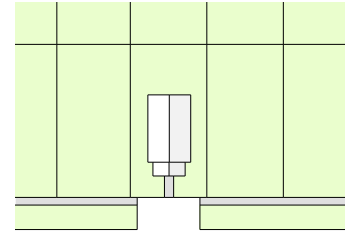
Strongly Agree

### Parking Location

The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site



Parking is located in the rear with a side driveway access.



Parking is located in the front setback area.

7. "Design guidelines should address appropriate parking locations."

Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

Strongly Agree



# COMPATIBLE DESIGN SURVEY

## HOUSTON HEIGHTS WEST

### Part 3: Building Scenarios

Each of the design scenarios on the following pages illustrates a house that could be built on an average size lot in the historic district. Here's what we want you to know before you begin this section:

1. In the initial workshops, people expressed a strong preference for smaller houses, such as this one (right). With that established, we are now seeking the point at which you consider a larger house or addition to be “too large”. Therefore, the models you will be reviewing purposefully do not ask about smaller houses.
2. Each picture shows a block that retains its historic character, in which all buildings shown would be classified as Contributing to the historic district. Although that is not a typical condition for every block in the district, changes that require a Certificate of Appropriateness only consider the proposed project's compatibility with Contributing buildings. Therefore, this survey presents only Contributing examples of neighboring buildings.
3. The models shown do not represent the City's or the consultants' recommendations, which are still being developed. The models selected are only being used to help understand what the community feels is compatible and incompatible within the historic context.
4. We do not intend to suggest designs that would be in conflict with deed restrictions, where those are in place, even though in some cases a model may appear to do so. You should answer these questions anyway, with the assurance that no changes to deed restrictions will be proposed.



With that in mind, and considering the historic context that is illustrated, please comment on the appropriateness of each design. Please select the one answer for each question that best describes your opinion regarding each addition or new house that is shown.

Your responses will help us identify some of the design techniques that can influence compatibility and to determine if there is a “threshold” of building scale that is considered appropriate. You will help us understand which design techniques should be considered in the guidelines.



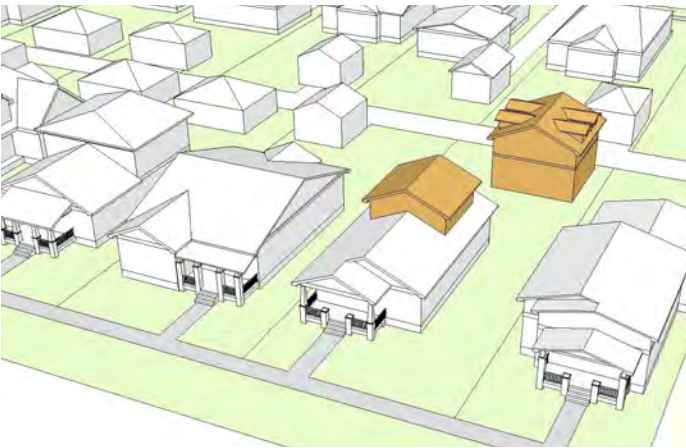
# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS WEST

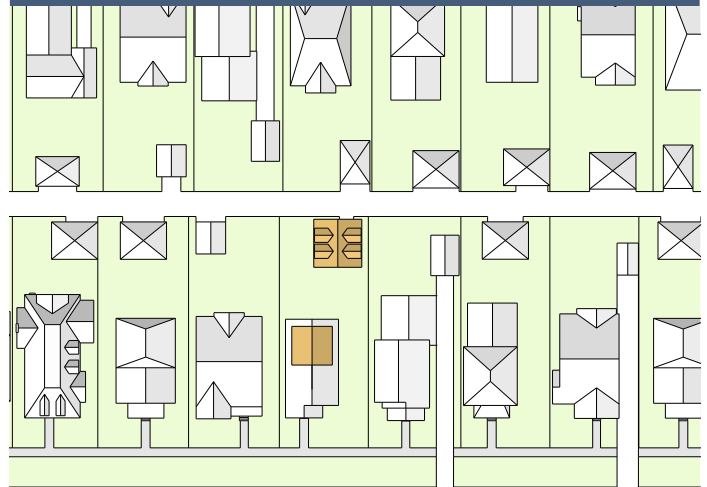
## BUILDING SCENARIO A

This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and set in from the side walls. It also includes a one-and-a-half story garage located to the rear of the lot, accessed off the alley. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree												Strongly Agree
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)			

2. Size of addition is compatible.

Strongly Disagree												Strongly Agree
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)			

3. Height of addition is compatible.

Strongly Disagree												Strongly Agree
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)			

4. Form (shape) of addition is compatible.

Strongly Disagree												Strongly Agree
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)			







# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS WEST

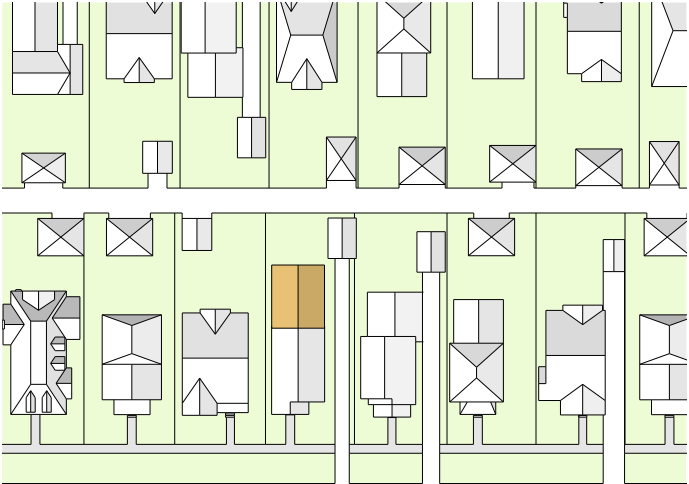
## BUILDING SCENARIO C

This scenario illustrates a historic one-story home with a two-story addition to the rear. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩







# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS WEST

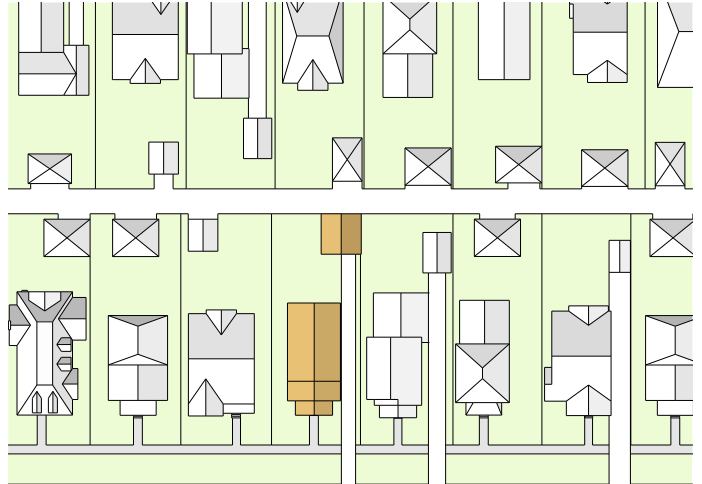
## BUILDING SCENARIO E

This scenario illustrates a new two-story home with a one-story portion in front. It also includes a one-and-a-half story garage located to the rear of the lot. This design retains some open space on the lot.

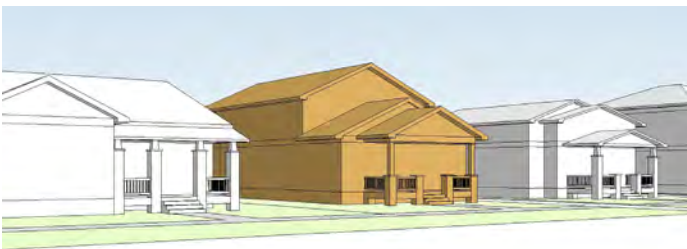
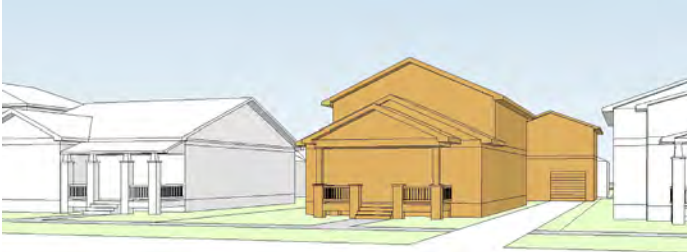
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building form (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩





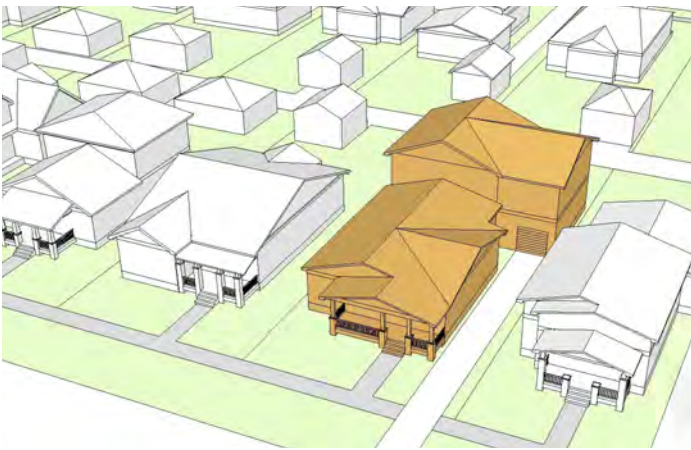
# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS WEST

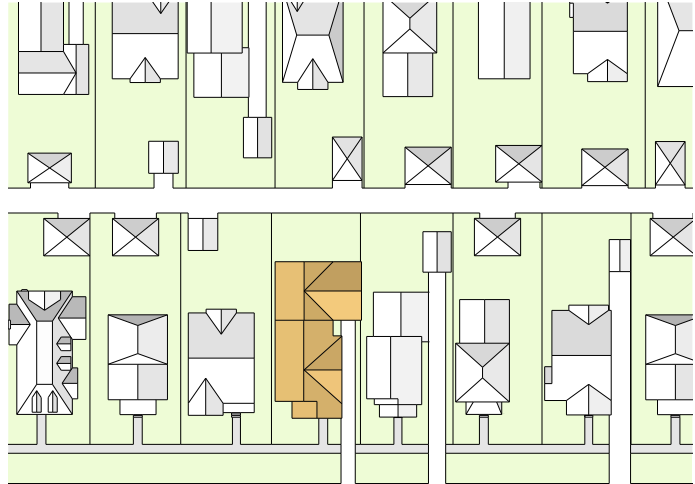
## BUILDING SCENARIO G

This scenario illustrates a new home with a one-story portion in the front and a two-story portion in the rear that extends to the side. This design reduces open space on the lot.

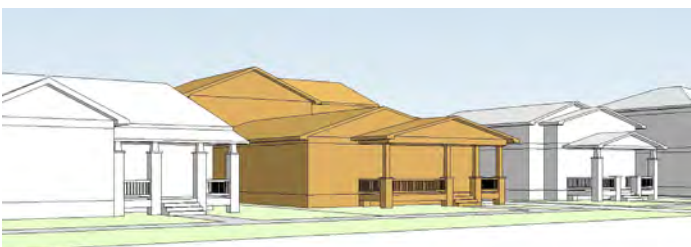
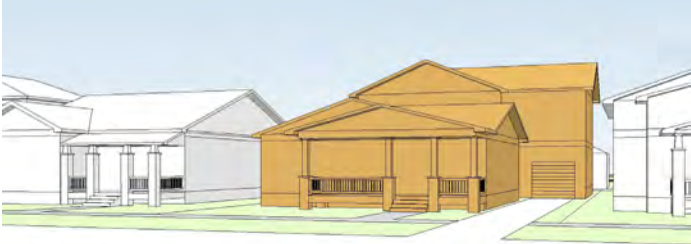
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building form (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩







# COMPATIBLE DESIGN SURVEY

# HOUSTON HEIGHTS WEST

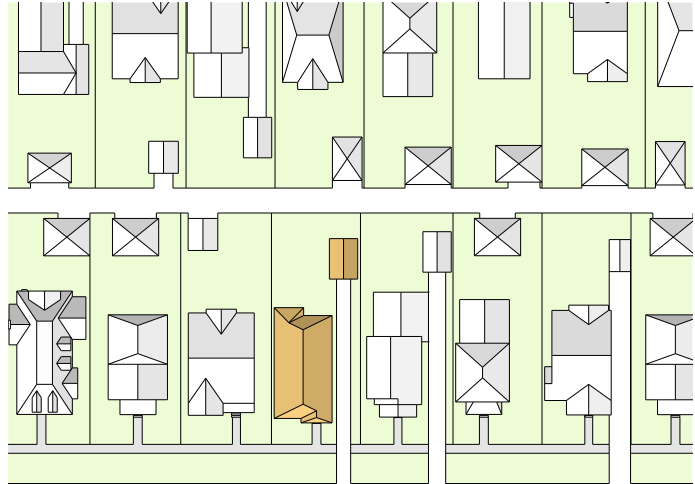
## BUILDING SCENARIO I

This scenario illustrates a new two-story building with a two-story front porch element. It also includes a one-story garage located to the rear of the lot. This design retains some open space on the lot.

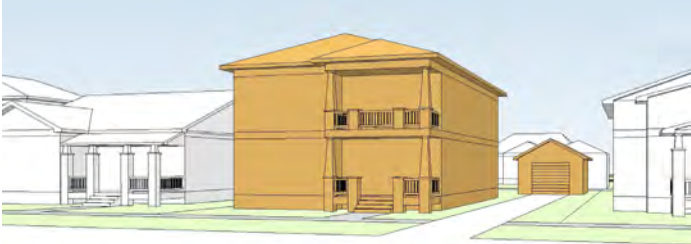
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building form (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



# COMPATIBLE DESIGN SURVEY

# NORHILL

## Introduction to the Survey

What are the keys to designing a compatible house or addition in a historic district? At previous community workshops, participants evaluated a series of alternative building models for new houses and additions. Some models were rated as being either clearly appropriate or clearly inappropriate. For other models, opinions were mixed, or there wasn't enough feedback to draw clear conclusions, and so this survey focuses on those models for which we did not receive clear direction. We have also updated some illustrations to more closely reflect the character of individual historic districts. Your answers will help us recommend building design tools to be included in the Norhill Historic District design guidelines.

The survey is divided into three parts:

### Part 1: Overall Issues In the District

This section asks the extent to which you agree or disagree with issues that were mentioned in previous workshops.

### Part 2: Building Design Tools

This section asks you to comment on the usefulness of design techniques that can affect compatibility, in terms of mass, scale, and relationship of a building to its neighbors.

### Part 3: Building Scenarios

This section presents eight house designs -- four that show different approaches for constructing an addition to a historic single-family home, and four that illustrate new single-family homes in the historic district. Each scenario incorporates a combination of the design techniques described in Part 2 and will help us determine how effective these tools may be in achieving compatible designs.

**A full-color version of the survey is available online at: [www.surveymonkey.com/r/VPS-NH](http://www.surveymonkey.com/r/VPS-NH)**

**Or**

**Return this survey in the postage-paid envelope provided.**

**All surveys must be completed online or postmarked no later than **Friday, January 27, 2017.****

Questions? Please contact Steph McDougal at the City of Houston Planning Department at [Steph.McDougal@houstontx.gov](mailto:Steph.McDougal@houstontx.gov) or 832-393-6541.

**WRITE YOUR I.D. # HERE**

#   -

Find your Unique ID number on the letter that came with your survey.

**FOR MORE INFORMATION**

A background paper, titled *Houston Historic Districts Potential Design Tools* provides further information about the design tools in Part 2.

Find it online at: <http://tinyurl.com/COH-DG-Tools>

**THANK YOU!**

Thank you for participating in this Compatible Building Design Survey for the Norhill Historic District! Your response will help us develop tools that meet your historic district's unique needs.







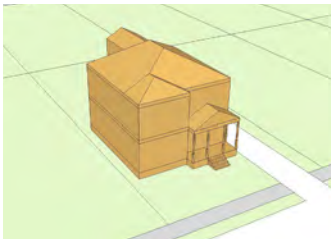
## Part 2: Design Tools

Design guidelines promote compatibility in historic districts. They may address the potential visual impacts of new construction and promote preservation of green space on individual lots. This section asks some questions about some design techniques that may be used to create a more compatible design.

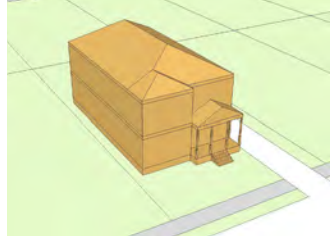
Please indicate the degree to which you agree or disagree with the statements below. The objective is to identify some of the design techniques that should be addressed in the guidelines. Please understand that agreeing with a statement in this section doesn't necessarily mean that it will become a requirement.

### Building Size in Relation to Lot Size

Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses.



*Building with a lower proportion of building area to lot size*



*Building with a higher proportion of building area to lot size*

1. "Guidelines which relate the size of a building to the size of its lot should be considered."

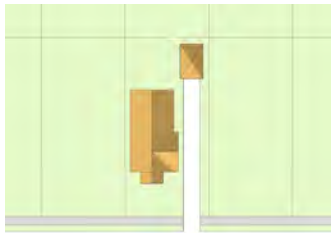
Strongly Disagree

Strongly Agree

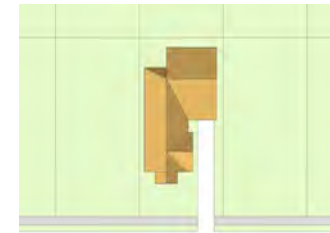
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Lot Coverage

All areas of a property that are covered by buildings and roofed porches are included in lot coverage.



*Building with a lower lot coverage*



*Building with a higher lot coverage*

2. "A limit on the percentage of lot coverage should be considered to help maintain open space."

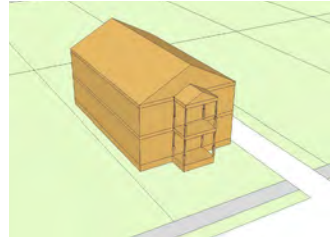
Strongly Disagree

Strongly Agree

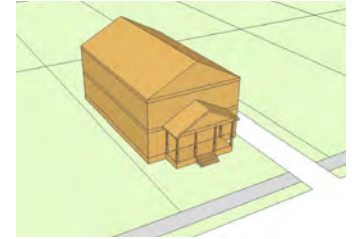
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### One-Story Element

A one-story element (to the front or side of a house) can help reduce its perceived size.



*Building with no one-story element*



*Building with a one-story element*

3. "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

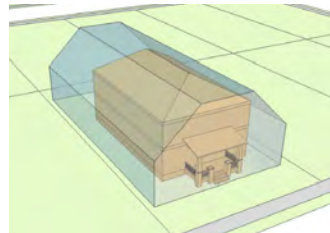
Strongly Disagree

Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Maximum Building Envelope

A maximum building envelope can modify the shape and limit the overall size of a building on its lot.



*Building complies with a maximum building envelope*



*Building exceeds maximum building envelope*

4. "A maximum building envelope should be considered as a tool to reduce perceived building size."

Strongly Disagree

Strongly Agree

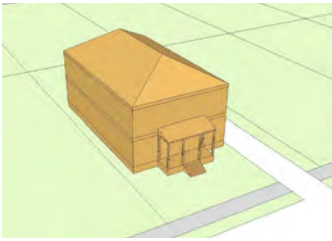
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



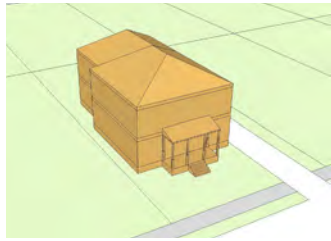
## Part 2: Design Tools (Continued)

### Side Wall Offset

Limiting the length of a side wall can reduce the perceived size of a house.



Building with no side wall offset



Building with a side wall offset

5. "A side wall offset should be considered as a tool to reduce perceived building size."

Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

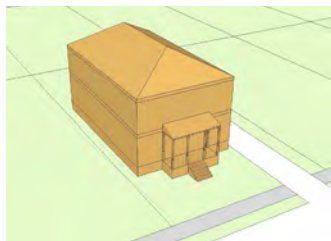
Strongly Agree

### Wall Height

Guidelines can limit the height of all or part of a wall to reduce perceived building size.



Two-story building with traditional wall height



Two-story building with taller wall heights

6. "A wall height limit should be considered as a tool to reduce perceived building size."

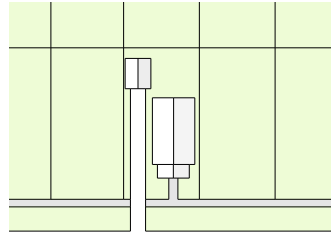
Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

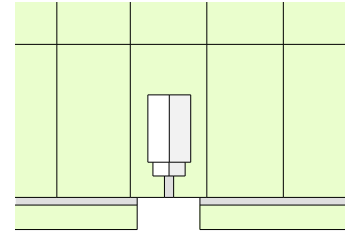
Strongly Agree

### Parking Location

The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site



Parking is located in the rear with a side driveway access.



Parking is located in the front setback area.

7. "Design guidelines should address appropriate parking locations."

Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

Strongly Agree



# COMPATIBLE DESIGN SURVEY

## NORHILL

### Part 3: Building Scenarios

Each of the design scenarios on the following pages illustrates a house that could be built on an average size lot in the historic district. Here's what we want you to know before you begin this section:

1. In the initial workshops, people expressed a strong preference for smaller houses, such as this one (right). With that established, we are now seeking the point at which you consider a larger house or addition to be “too large”. Therefore, the models you will be reviewing purposefully do not ask about smaller houses.
2. Each picture shows a block that retains its historic character, in which all buildings shown would be classified as Contributing to the historic district. Although that is not a typical condition for every block in the district, changes that require a Certificate of Appropriateness only consider the proposed project's compatibility with Contributing buildings. Therefore, this survey presents only Contributing examples of neighboring buildings.
3. The models shown do not represent the City's or the consultants' recommendations, which are still being developed. The models selected are only being used to help understand what the community feels is compatible and incompatible within the historic context.
4. We do not intend to suggest designs that would be in conflict with deed restrictions, where those are in place, even though in some cases a model may appear to do so. You should answer these questions anyway, with the assurance that no changes to deed restrictions will be proposed.



With that in mind, and considering the historic context that is illustrated, please comment on the appropriateness of each design. Please select the one answer for each question that best describes your opinion regarding each addition or new house that is shown.

Your responses will help us identify some of the design techniques that can influence compatibility and to determine if there is a “threshold” of building scale that is considered appropriate. You will help us understand which design techniques should be considered in the guidelines.



# COMPATIBLE DESIGN SURVEY

# NORHILL

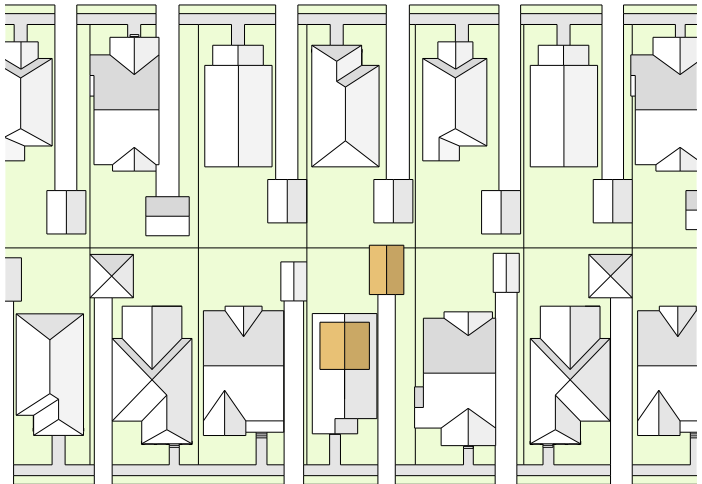
## BUILDING SCENARIO A

This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and set in from the side walls. It also includes a one-story garage located to the rear of the lot. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩





# COMPATIBLE DESIGN SURVEY

# NORHILL

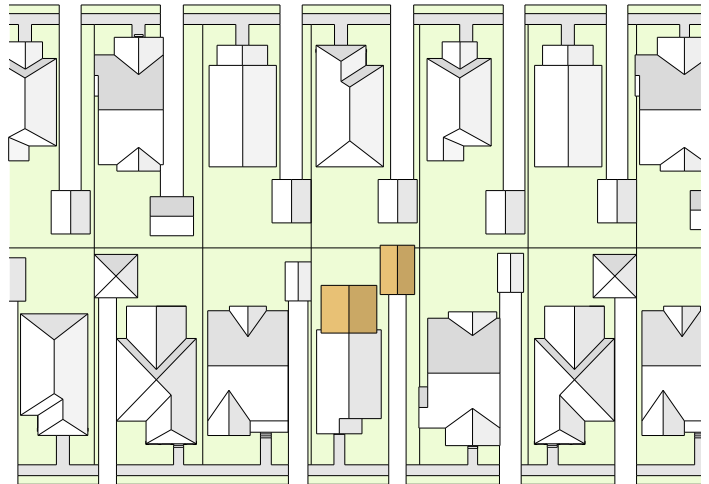
## BUILDING SCENARIO B

This scenario illustrates a historic one-story home with a two-story addition to the rear that is offset from the existing side walls. It also includes a one-story garage located to the rear of the lot. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩





# COMPATIBLE DESIGN SURVEY

# NORHILL

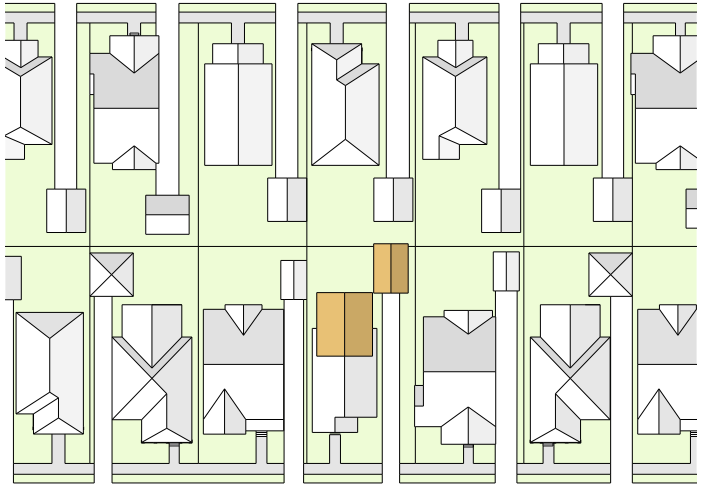
## BUILDING SCENARIO C

This scenario illustrates a historic one-story home with a two-story addition to the roof and rear. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



# COMPATIBLE DESIGN SURVEY

# NORHILL

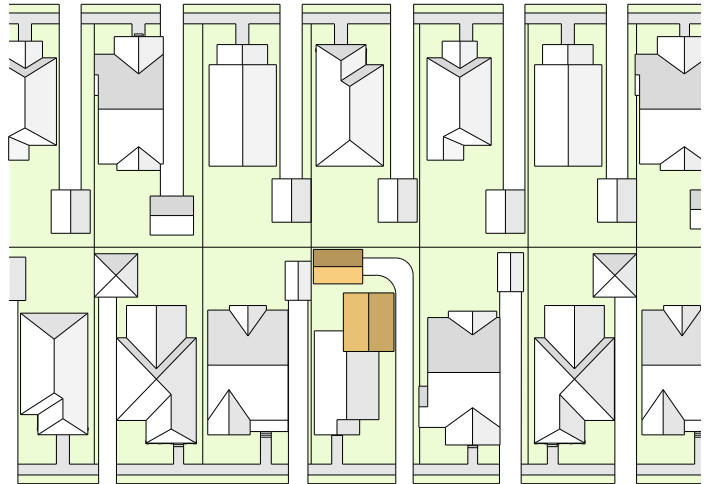
## BUILDING SCENARIO D

This scenario illustrates a historic one-story home with a two-story addition to the roof and rear that is centered on the lot. It also includes a one-story garage located to the rear of the lot. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



# COMPATIBLE DESIGN SURVEY

# NORHILL

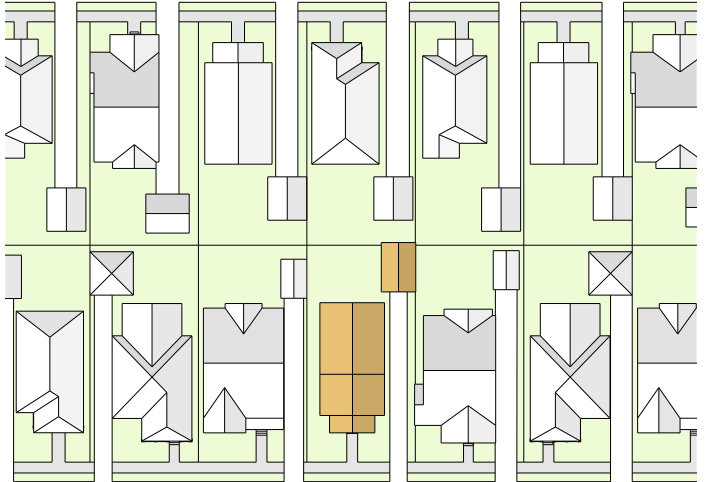
## BUILDING SCENARIO E

This scenario illustrates a new two-story home with a one-story portion in front. It also includes a one-story garage located to the rear of the lot. This design retains some open space on the lot.

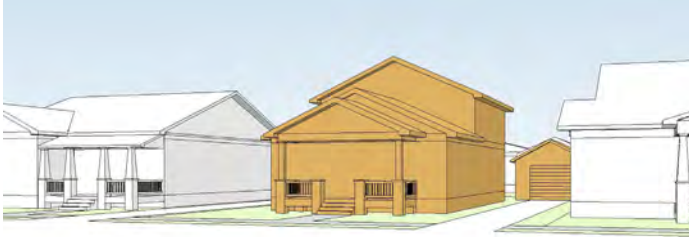
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building from (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩





# COMPATIBLE DESIGN SURVEY

# NORHILL

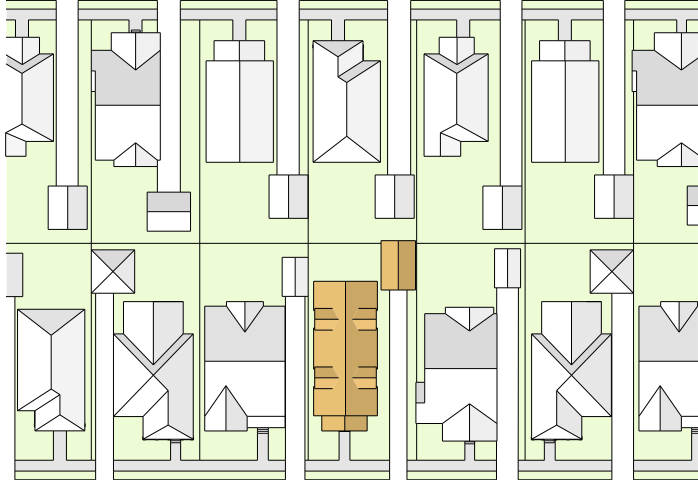
## BUILDING SCENARIO F

This scenario illustrates a new one-story home with dormers. It also includes a one-story garage located to the rear of the lot. This design reduces open space on the lot.

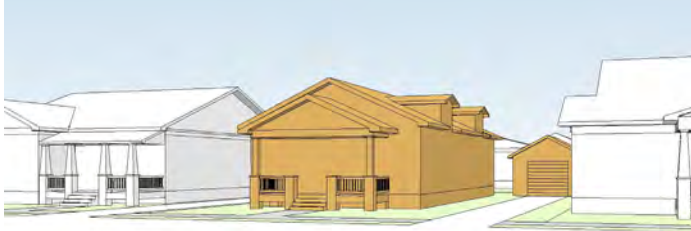
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

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Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building form (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



# COMPATIBLE DESIGN SURVEY

# NORHILL

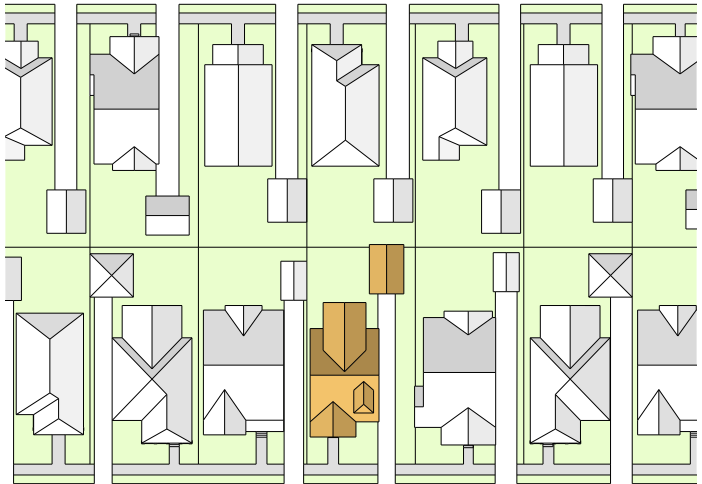
## BUILDING SCENARIO G

This scenario illustrates a new one-story home with a one-and-a-half story portion in the rear. It also includes a detached one-story garage located to the rear of the lot. This design retains some open space on the lot.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Overall size is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Building height is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Building form (shape) is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩









# COMPATIBLE DESIGN SURVEY

# WOODLAND HEIGHTS

## Introduction to the Survey

What are the keys to designing a compatible house or addition in a historic district? At previous community workshops, participants evaluated a series of alternative building models for new houses and additions. Some models were rated as being either clearly appropriate or clearly inappropriate. For other models, opinions were mixed, or there wasn't enough feedback to draw clear conclusions, and so this survey focuses on those models for which we did not receive clear direction. We have also updated some illustrations to more closely reflect the character of individual historic districts. Your answers will help us recommend building design tools to be included in the Woodland Heights Historic District design guidelines.

The survey is divided into three parts:

### Part 1: Overall Issues In the District

This section asks the extent to which you agree or disagree with issues that were mentioned in previous workshops.

### Part 2: Building Design Tools

This section asks you to comment on the usefulness of design techniques that can affect compatibility, in terms of mass, scale, and relationship of a building to its neighbors.

### Part 3: Building Scenarios

This section presents seven house designs -- three that show different approaches for constructing an addition to a historic single-family home, and four that illustrate new single-family homes in the historic district. Each scenario incorporates a combination of the design techniques described in Part 2 and will help us determine how effective these tools may be in achieving compatible designs.

**A full-color version of the survey is available online at: [www.surveymonkey.com/r/VPS-WH](http://www.surveymonkey.com/r/VPS-WH)**

**Or**

**Return this survey in the postage-paid envelope provided.**

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Questions? Please contact Steph McDougal at the City of Houston Planning Department at [Steph.McDougal@houstontx.gov](mailto:Steph.McDougal@houstontx.gov) or 832-393-6541.

**WRITE YOUR I.D. # HERE**

#   -

Find your Unique ID number on the letter that came with your survey.

**FOR MORE INFORMATION**

A background paper, titled *Houston Historic Districts Potential Design Tools* provides further information about the design tools in Part 2.

Find it online at: <http://tinyurl.com/COH-DG-Tools>

**THANK YOU!**

Thank you for participating in this Compatible Building Design Survey for the Woodland Heights Historic District! Your response will help us develop tools that meet your historic district's unique needs.



## Part 1: Overall Issues in the District

The following statements reflect comments made in community workshops and other meetings. Please indicate the degree to which you agree or disagree with the statements as they apply to this historic district. The objective is to identify key issues that should be addressed in the design guidelines. (Select one answer for each question unless otherwise noted.)

1. "Some recent construction in my historic district is too large."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. "The loss of green space when a larger building is constructed is a key issue."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. "The loss of mature vegetation when new construction occurs is a key issue."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. "Most recent new construction has been compatible."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

5. "A large house next door diminishes privacy in neighbors' back yards."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

6. "Regulations that protect historic district character will enhance property values."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

7. "A bigger house can fit in if it is well designed, and respects traditional neighborhood patterns."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

8. "Most recent renovation projects have been appropriate."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

9. "An addition to a historic building should be visually subordinate to the building."

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

11. What are the key issues related to the treatment of historic buildings in the district?



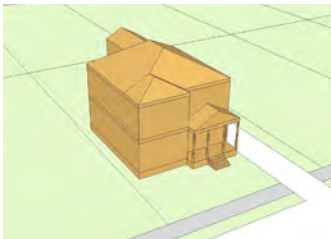
## Part 2: Design Tools

Design guidelines promote compatibility in historic districts. They may address the potential visual impacts of new construction and promote preservation of green space on individual lots. This section asks some questions about some design techniques that may be used to create a more compatible design.

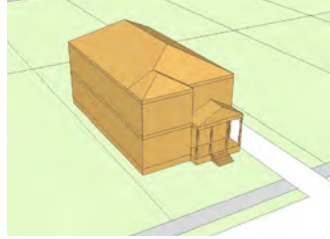
Please indicate the degree to which you agree or disagree with the statements below. The objective is to identify some of the design techniques that should be addressed in the guidelines. Please understand that agreeing with a statement in this section doesn't necessarily mean that it will become a requirement.

### Building Size in Relation to Lot Size

Keeping a building in proportion to its lot can help minimize a sense of out-of-scale houses.



*Building with a lower proportion of building area to lot size*



*Building with a higher proportion of building area to lot size*

1. "Guidelines which relate the size of a building to the size of its lot should be considered."

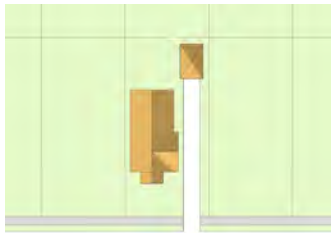
Strongly Disagree

Strongly Agree

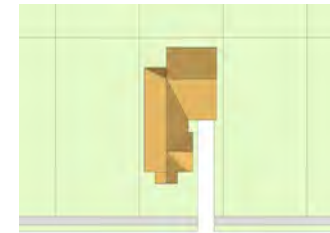
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Lot Coverage

All areas of a property that are covered by buildings and roofed porches are included in lot coverage.



*Building with a lower lot coverage*



*Building with a higher lot coverage*

2. "A limit on the percentage of lot coverage should be considered to help maintain open space."

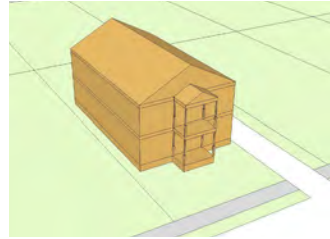
Strongly Disagree

Strongly Agree

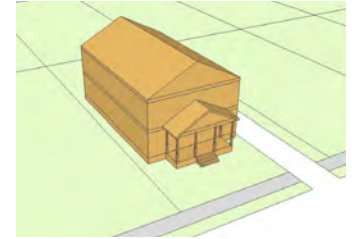
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### One-Story Element

A one-story element (to the front or side of a house) can help reduce its perceived size.



*Building with no one-story element*



*Building with a one-story element*

3. "Using a one story element (such as a porch or a wing of a house) should be addressed in the design guidelines."

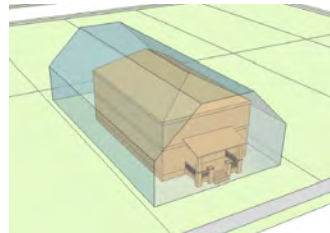
Strongly Disagree

Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

### Maximum Building Envelope

A maximum building envelope can modify the shape and limit the overall size of a building on its lot.



*Building complies with a maximum building envelope*



*Building exceeds maximum building envelope*

4. "A maximum building envelope should be considered as a tool to reduce perceived building size."

Strongly Disagree

Strongly Agree

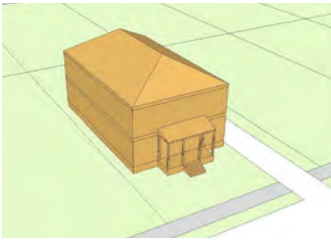
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩



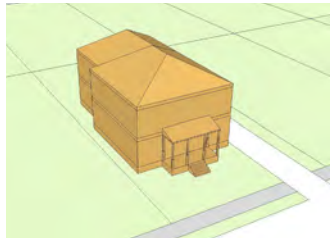
## Part 2: Design Tools (Continued)

### Side Wall Offset

Limiting the length of a side wall can reduce the perceived size of a house.



Building with no side wall offset



Building with a side wall offset

5. "A side wall offset should be considered as a tool to reduce perceived building size."

Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

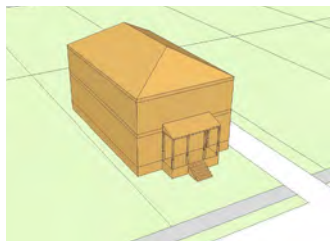
Strongly Agree

### Wall Height

Guidelines can limit the height of all or part of a wall to reduce perceived building size.



Two-story building with traditional wall height



Two-story building with taller wall heights

6. "A wall height limit should be considered as a tool to reduce perceived building size."

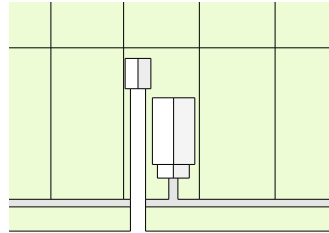
Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

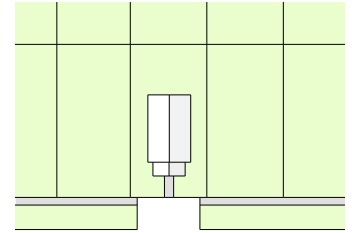
Strongly Agree

### Parking Location

The location of a garage and a surface parking area can influence the perception of open space and the perceived size of all buildings on a site



Parking is located in the rear with a side driveway access.



Parking is located in the front setback area.

7. "Design guidelines should address appropriate parking locations."

Strongly Disagree

- ① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

Strongly Agree





# COMPATIBLE DESIGN SURVEY

# WOODLAND HEIGHTS

## Part 3: Building Scenarios

Each of the design scenarios on the following pages illustrates a house that could be built on an average size lot in the historic district. Here's what we want you to know before you begin this section:

1. In the initial workshops, people expressed a strong preference for smaller houses, such as this one (right). With that established, we are now seeking the point at which you consider a larger house or addition to be “too large”. Therefore, the models you will be reviewing purposefully do not ask about smaller houses.
2. Each picture shows a block that retains its historic character, in which all buildings shown would be classified as Contributing to the historic district. Although that is not a typical condition for every block in the district, changes that require a Certificate of Appropriateness only consider the proposed project's compatibility with Contributing buildings. Therefore, this survey presents only Contributing examples of neighboring buildings.
3. The models shown do not represent the City's or the consultants' recommendations, which are still being developed. The models selected are only being used to help understand what the community feels is compatible and incompatible within the historic context.
4. We do not intend to suggest designs that would be in conflict with deed restrictions, where those are in place, even though in some cases a model may appear to do so. You should answer these questions anyway, with the assurance that no changes to deed restrictions will be proposed.



With that in mind, and considering the historic context that is illustrated, please comment on the appropriateness of each design. Please select the one answer for each question that best describes your opinion regarding each addition or new house that is shown.

Your responses will help us identify some of the design techniques that can influence compatibility and to determine if there is a “threshold” of building scale that is considered appropriate. You will help us understand which design techniques should be considered in the guidelines.



# COMPATIBLE DESIGN SURVEY

# WOODLAND HEIGHTS

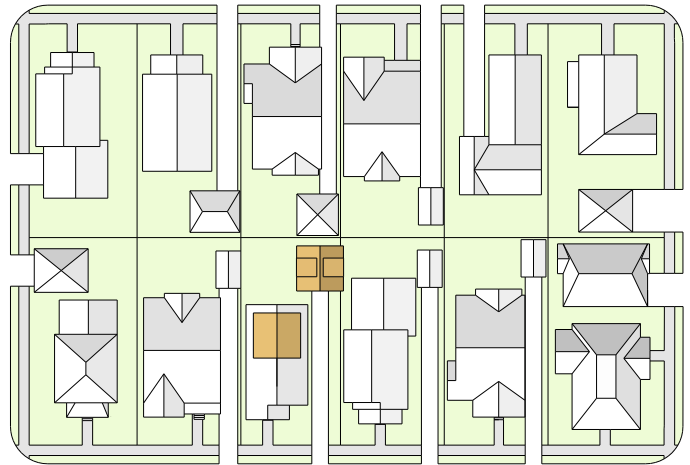
## BUILDING SCENARIO A

This scenario illustrates a historic one-story home with a rooftop addition that is set back from the front wall and set in from the side walls. It also includes a one-and-a-half story garage located to the rear of the lot. This design retains some open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) Strongly Agree

2. Size of addition is compatible.

Strongly Disagree (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) Strongly Agree

3. Height of addition is compatible.

Strongly Disagree (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) Strongly Agree

4. Form (shape) of addition is compatible.

Strongly Disagree (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) Strongly Agree





# COMPATIBLE DESIGN SURVEY

# WOODLAND HEIGHTS

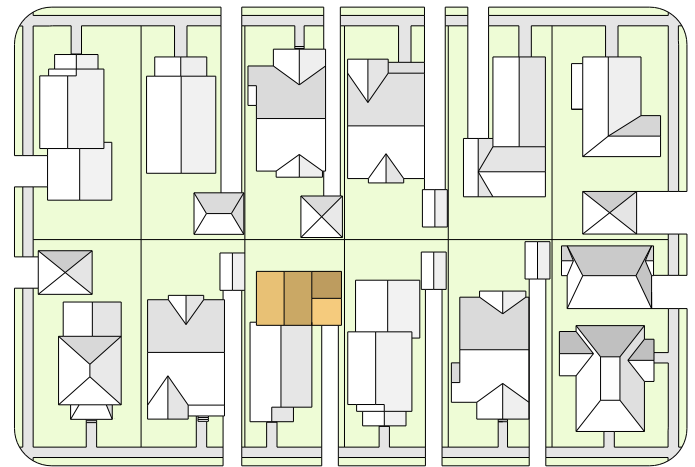
## BUILDING SCENARIO C

This scenario illustrates a historic one-story home with a two-story addition to the rear. It also includes an attached one-story garage that extends to the side. This design reduces open space on the lot, while increasing livable area.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

2. Size of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

3. Height of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩

4. Form (shape) of addition is compatible.

Strongly Disagree Strongly Agree

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩









# COMPATIBLE DESIGN SURVEY

# WOODLAND HEIGHTS

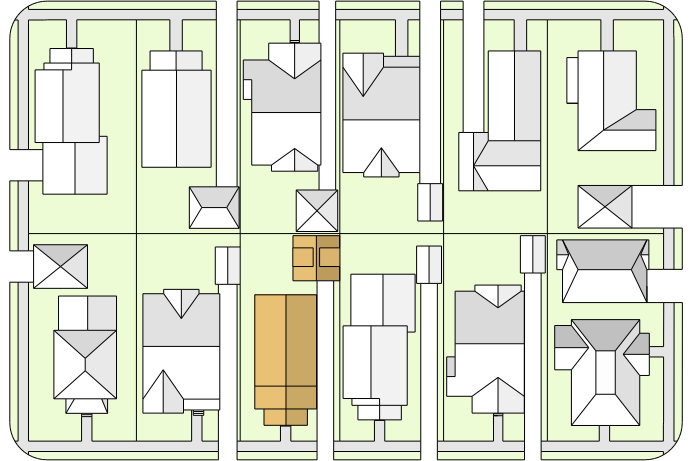
## BUILDING SCENARIO E

This scenario illustrates a new two-story home with a one-story portion in front. It also includes a detached garage in the rear with a secondary living space above. This design reduces open space on the lot.

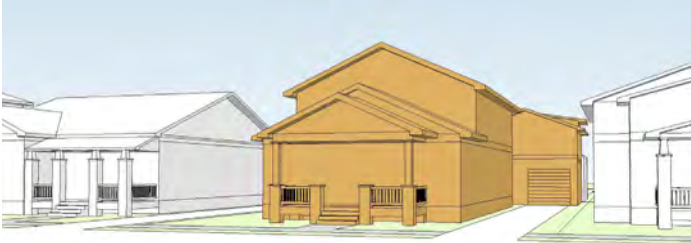
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

2. Overall size is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

3. Building height is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)

4. Building form (shape) is compatible.

Strongly Disagree	Strongly Agree								
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)



# COMPATIBLE DESIGN SURVEY

# WOODLAND HEIGHTS

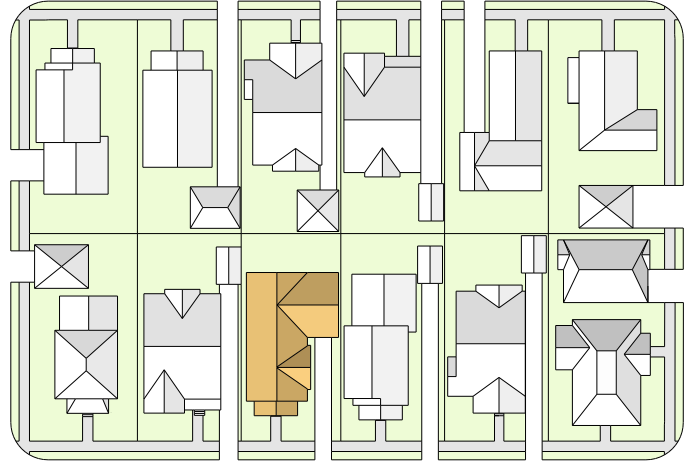
## BUILDING SCENARIO F

This scenario illustrates a new one-story home with variations in side walls and an attached garage in the rear. This design reduces open space on the lot.

### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree											Strongly Agree
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)		

2. Overall size is compatible.

Strongly Disagree											Strongly Agree
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)		

3. Building height is compatible.

Strongly Disagree											Strongly Agree
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)		

4. Building form (shape) is compatible.

Strongly Disagree											Strongly Agree
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)		



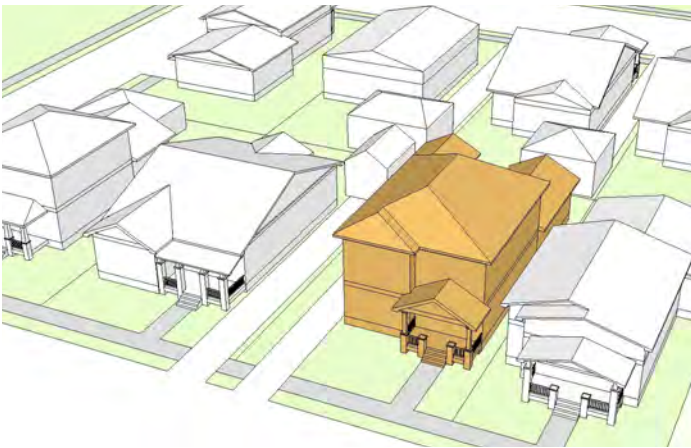
# COMPATIBLE DESIGN SURVEY

# WOODLAND HEIGHTS

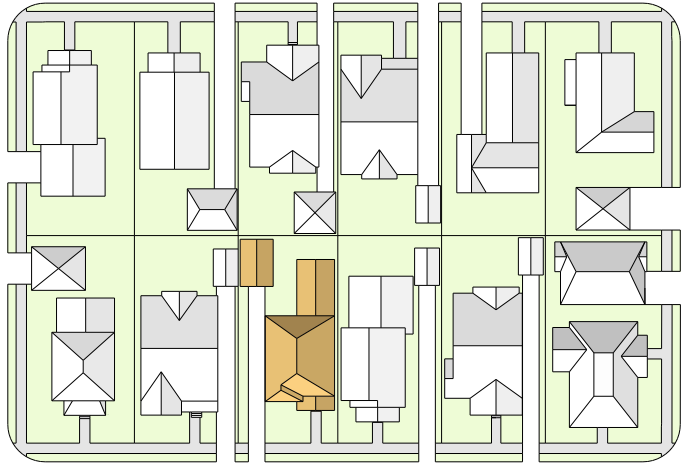
## BUILDING SCENARIO G

This scenario illustrates a new two-story home with a one-story portion in front. It also has a one-story detached garage in the rear.

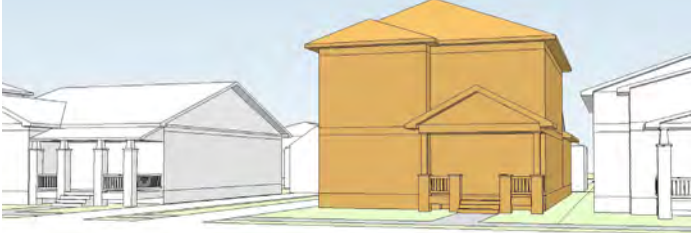
### BIRD'S EYE VIEW



### PLAN VIEW



### STREET LEVEL VIEWS



Please respond to each of the statements below by selecting the answer that best describes your opinion.

1. Lot coverage is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

2. Overall size is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

3. Building height is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

4. Building form (shape) is compatible.

Strongly Disagree	Strongly Agree
(1) (2) (3) (4) (5) (6) (7) (8) (9) (10)	

# BACKGROUND MAPS

## HOUSTON HISTORIC DISTRICTS DESIGN GUIDELINES PROJECT STRATEGY REPORT

# APPENDIX F

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## INTRODUCTION

City staff assembled a series of maps derived from Geographic Information System technology (GIS) data for each historic district. This appears here as a series of maps for each of the historic districts to help understand the degree of consistency or diversity that exists as well as other patterns of development.

For each of the historic districts, five maps were developed from GIS data and are included in this appendix:

- Building Age
- Building Size
- Lot Coverage
- Lot Size
- Floor Area Ratio

A map showing those structures that are contributing and noncontributing also was generated for each district. In some districts, historic Sanborn fire insurance maps were also available and are included in this appendix.

This series of data maps helps to document historical and current development patterns. This informed the recommendations for design standards that appear in Appendix B.

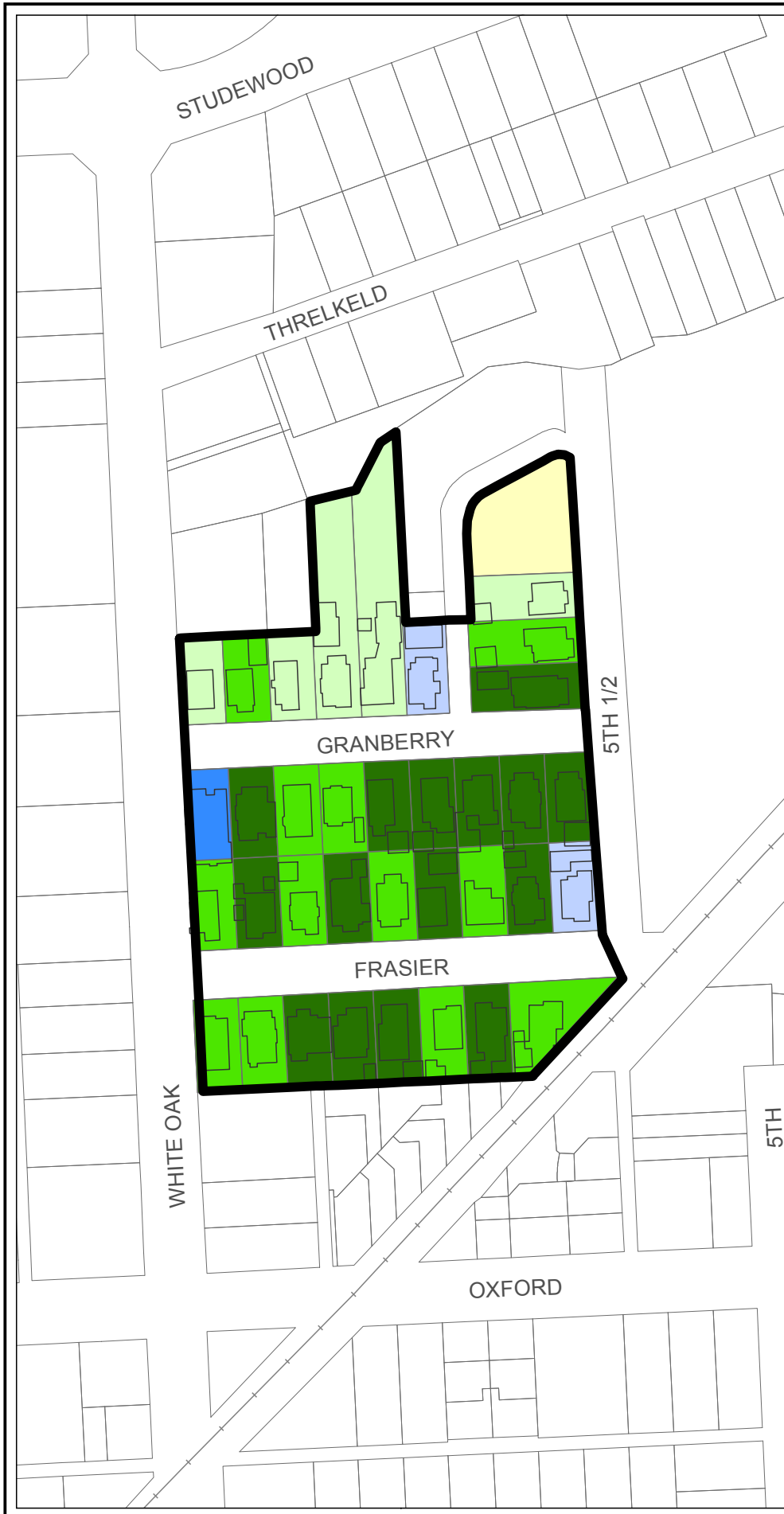




# FREELAND HISTORIC DISTRICT







This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING & DEVELOPMENT DEPARTMENT**

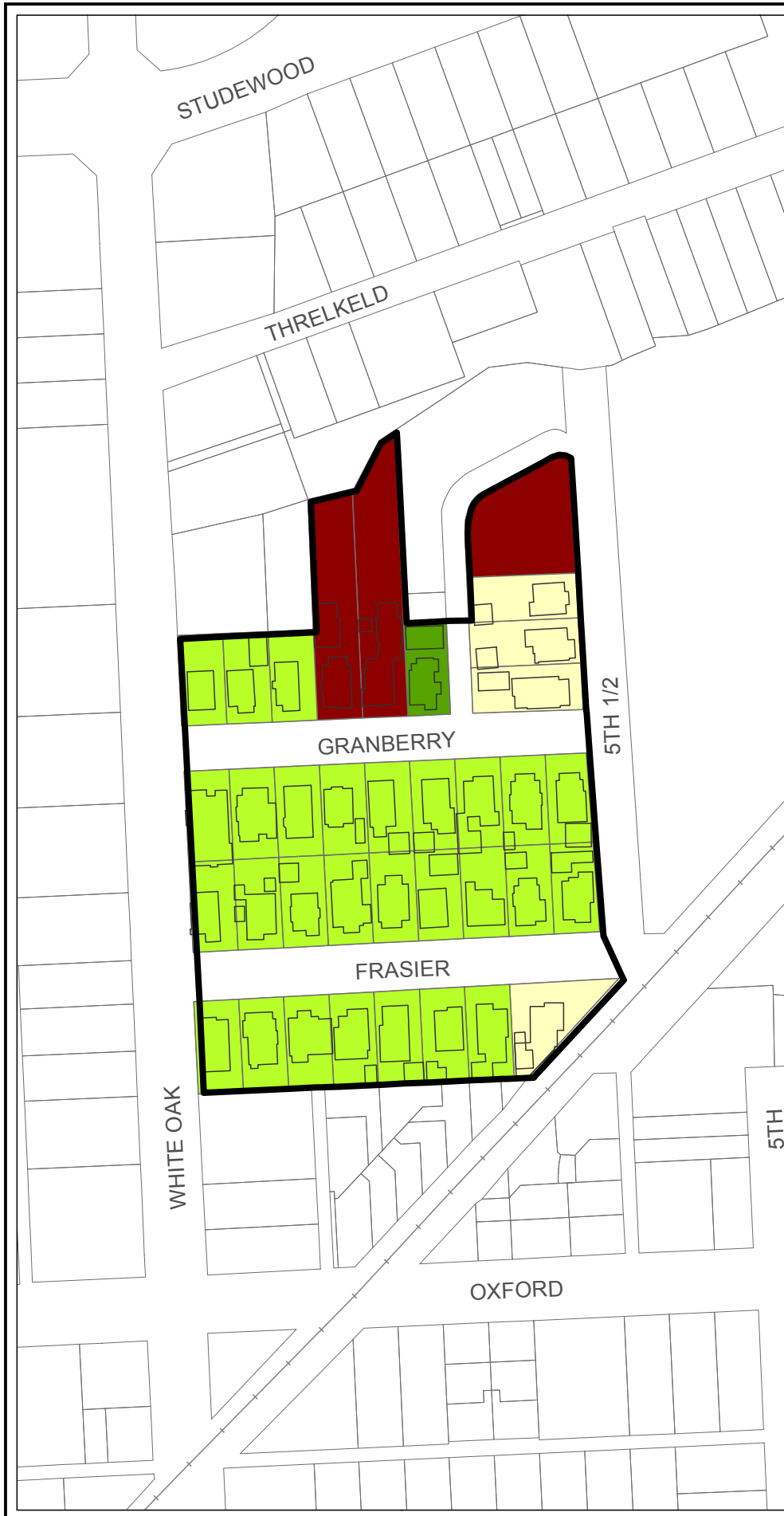
**City of Houston Historic Districts  
Freeland Lot Coverage**



Source: GIS Services Division,  
Vendor Building Footprints, 2015  
Date: June 2016  
Reference: p1.18958

Lot Coverage	Count
Less than 5%	(1)
5% - 9%	(0)
10% - 19%	(0)
20% - 29%	(5)
30% - 39%	(12)
40% - 49%	(15)
50% - 59%	(2)
60% - 69%	(1)
70% - 100%	(0)

- Parcels
- Building Footprints
- Freeland
- Railroad

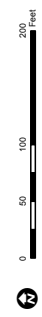


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**PLANNING & DEVELOPMENT DEPARTMENT**

**City of Houston Historic Districts  
Freeland Lot Size**



Source: GIS Services Division, Vendor Building Footprints, 2015  
Date: August 2016  
Reference: PJ 19113

- Parcels
  - Building Footprints
  - Freeland
  - Railroad
- Lot Size (Square Feet)**
- 4000 - 4999 (1)
  - 5000 - 5999 (28)
  - 6000 - 6999 (4)
  - > 10,000 (3)



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**PLANNING & DEVELOPMENT DEPARTMENT**

**City of Houston Historic Districts  
Freeland FAR**



Source: GIS Services Division,  
Vendor: Building Footprints 2015  
Date: September 2016  
Reference: pl19182

Legend Item	Description	Count
[White Box]	Parcels	
[Black Outline]	Building Footprints	
[Thick Black Outline]	Freeland	
[Dashed Line]	Railroad	
[Light Blue Box]	FAR (Floor to Area Ratio) 0.15 - 0.19	(6)
[Medium Blue Box]	FAR (Floor to Area Ratio) 0.20 - 0.24	(13)
[Dark Blue Box]	FAR (Floor to Area Ratio) 0.25 - 0.29	(10)
[Light Purple Box]	FAR (Floor to Area Ratio) 0.30 - 0.34	(1)
[Medium Purple Box]	FAR (Floor to Area Ratio) 0.35 - 0.39	(1)
[Dark Purple Box]	FAR (Floor to Area Ratio) 0.40 - 0.44	(2)
[Grey Box]	N/A	





SCALE 100 FT TO AN INCH



270

E. 7 1/2 AV.

269 AV.

E. 7TH AV.

E. 6 1/2 AV.

(E) WHITE OAK DRIVE (E6TH AV.)

E. 5 1/2 AV.

E. 5TH AV.

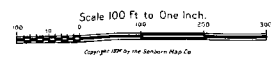
E. 4 1/2 AV.

E. 4TH AV.

271

267

223





# HOUSTON HEIGHTS EAST HISTORIC DISTRICT





[Outline] Parcels  
 [Thick Outline] Building Footprints  
 [Thin Outline] Houston Heights East

**Building Size (Square Feet)**

<span style="color: #f08080;">■</span> < 500 (1)	<span style="color: #f0e68c;">■</span> 2000 - 2499 (106)
<span style="color: #ff69b4;">■</span> 500 - 999 (65)	<span style="color: #d2b48c;">■</span> 2500 - 2999 (93)
<span style="color: #ff4500;">■</span> 1000 - 1499 (237)	<span style="color: #800000;">■</span> 3000 - 3499 (72)
<span style="color: #800000;">■</span> 1500 - 1999 (180)	<span style="color: #404040;">■</span> > 3500 (128)
<span style="color: #404040;">■</span> N/A (29)	

**City of Houston Historic Districts**  
**Houston Heights East Building Size**

0    150    300    600  
 Feet




Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: August 2016  
 Reference: pj191114

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









 Parcels  
 Building Footprints  
 Houston Heights East

**Lot Coverage**

 Less than 5% (11)	 40% - 49% (285)
 5% - 9% (0)	 50% - 59% (146)
 10% - 19% (11)	 60% - 69% (64)
 20% - 29% (101)	 70% - 100% (33)
 30% - 39% (257)	 N/A (3)

**City of Houston Historic Districts**  
**Houston Heights East Lot Coverage**

0 150 300 600 Feet  
 Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: June 2016  
 Reference: p18988

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**PLANNING & DEVELOPMENT DEPARTMENT**



- Parcels
- Building Footprints
- Houston Heights East

**Lot Size (Square Feet)**

< 4000 (162)	7000 - 7999 (80)
4000 - 4999 (37)	8000 - 8999 (17)
5000 - 5999 (33)	9000 - 9999 (33)
6000 - 6999 (479)	> 10,000 (70)

**City of Houston Historic Districts**  
**Houston Heights East Lot Size**

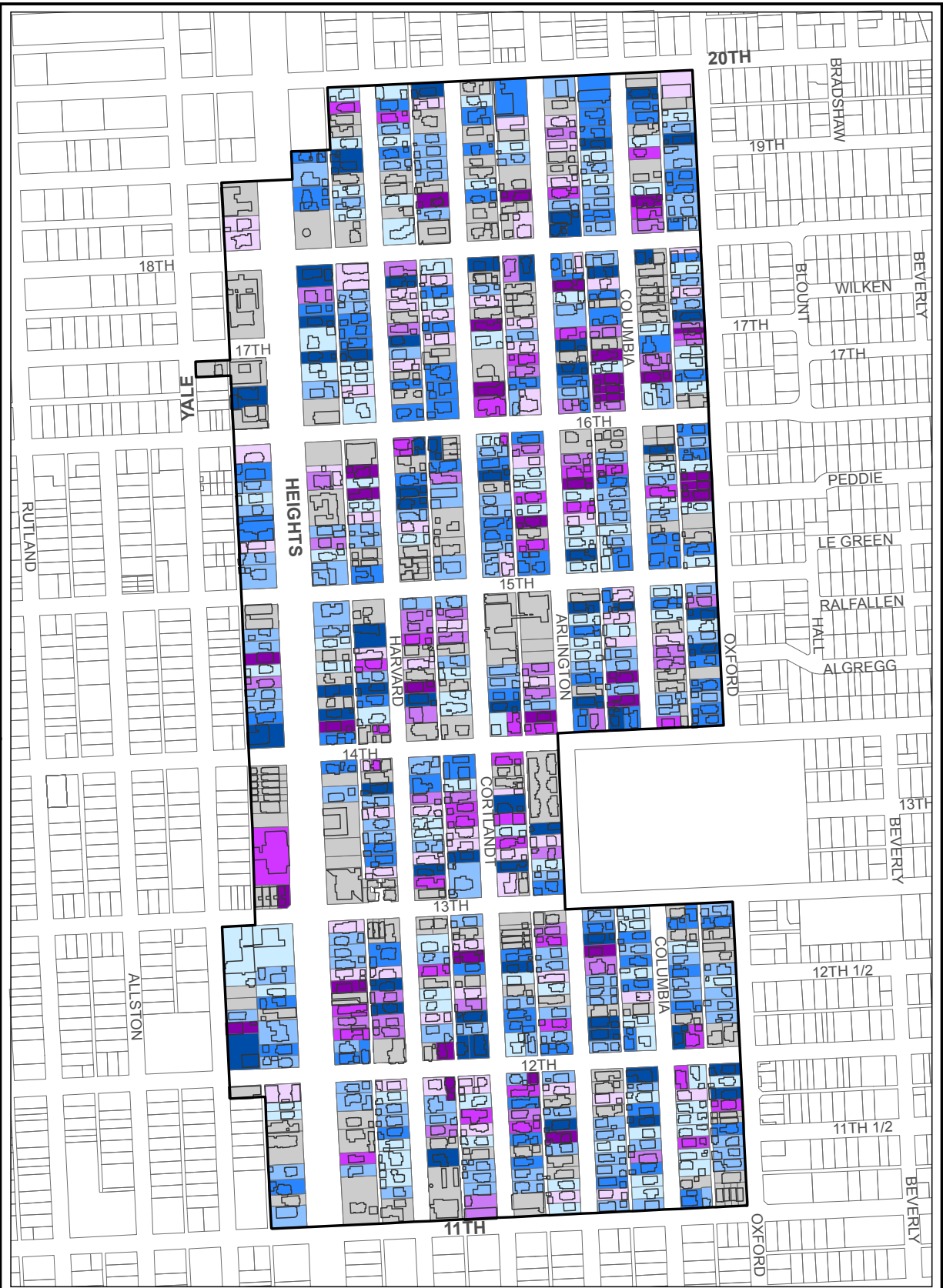
0 150 300 600 feet

Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: August 2016  
 Reference: pj19113

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING &  
 DEVELOPMENT  
 DEPARTMENT**



☐ Parcels  
 ☐ Building Footprints  
 ☐ Houston Heights East

**FAR (Floor to Area Ratio)**

0.15 - 0.19 (108)	0.35 - 0.39 (71)
0.20 - 0.24 (151)	0.40 - 0.44 (43)
0.25 - 0.29 (107)	0.45 - 0.49 (44)
0.30 - 0.34 (64)	0.50 - 0.54 (34)
	N/A

**City of Houston Historic Districts**  
**Houston Heights East FAR**



Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: September 2016  
 Reference: pj19182

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.







# Houston Heights East Historic District

Historic District Boundary  
 - - - -

## Building Classification

- Contributing
- Non-Contributing
- Park

Established: February 20, 2008  
 Source: GIS Services Division  
 Date: May 1, 2013  
 Reference: pj17025\_Heights\_East

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**PLANNING & DEVELOPMENT DEPARTMENT**







# HOUSTON HEIGHTS SOUTH HISTORIC DISTRICT



Parcels  
 Building Footprints  
 Houston Heights South


**Building Age (Effective Date)**

	< 1900 (6)		1930 - 1939 (35)		1970 - 1979 (16)
	1900 - 1909 (44)		1940 - 1949 (16)		1980 - 1989 (49)
	1910 - 1919 (24)		1950 - 1959 (7)		1990 - 1999 (56)
	1920 - 1929 (327)		1960 - 1969 (8)		2000 - 2009 (107)
					2010 - 2016 (40)
					N/A (53)

**City of Houston Historic Districts  
Houston Heights South Building Age**

0 200 400 800 Feet  
 Source: GIS Services Division, Vender Building Footprints 2015  
 Date: June 2016  
 Reference: pj18980

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**PLANNING & DEVELOPMENT DEPARTMENT**



- Parcels
- Building Footprints
- Houston Heights South

**Building Size (Square Feet)**

	500 - 999 (41)		2500 - 2999 (89)
	1000 - 1499 (193)		3000 - 3499 (81)
	1500 - 1999 (145)		> 3500 (108)
	2000 - 2499 (91)		N/A (43)

**City of Houston Historic Districts**  
**Houston Heights South Building Size**



Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: August 2016  
 Reference: p19114

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**PLANNING &  
 DEVELOPMENT  
 DEPARTMENT**

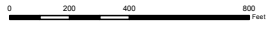


- Parcels
- Building Footprints
- Houston Heights South

**Lot Coverage**

Less than 5% (12)	40% - 49% (242)
5% - 9% (2)	50% - 59% (133)
10% - 19% (16)	60% - 69% (76)
20% - 29% (79)	70% - 100% (37)
30% - 39% (186)	N/A (6)

**City of Houston Historic Districts**  
**Houston Heights South Lot Coverage**



Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: June 2016  
 Reference: pj18988

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- Parcels
- Building Footprints
- Houston Heights South

**Lot Size (Square Feet)**

	< 4000 (132)		7000 - 7999 (70)
	4000 - 4999 (38)		8000 - 8999 (15)
	5000 - 5999 (35)		9000 - 9999 (29)
	6000 - 6999 (411)		> 10,000 (59)



Source: GIS Services Division,  
Vender Building Footprints 2015  
Date: August 2016  
Reference: p19113

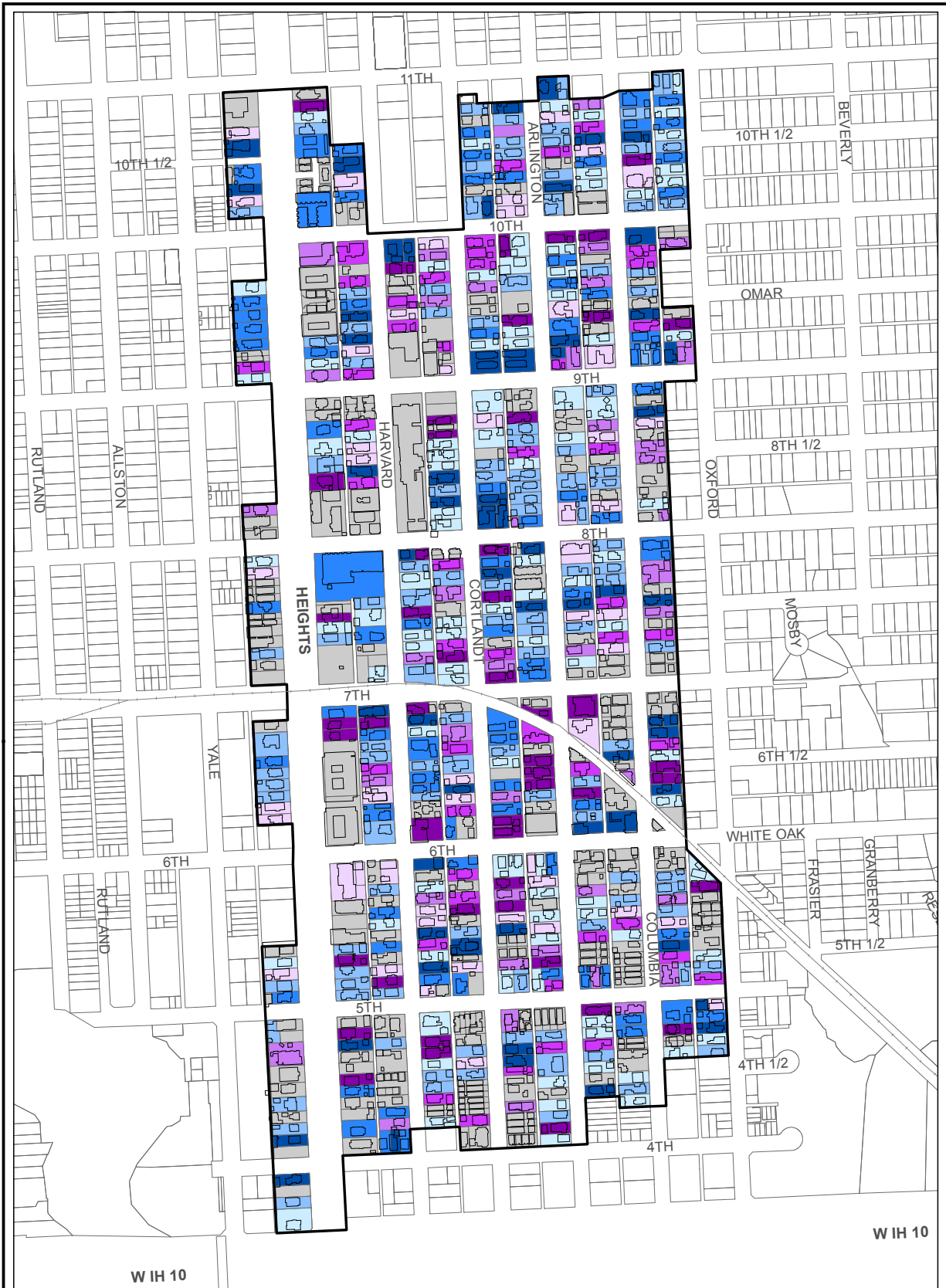
**City of Houston Historic Districts**  
**Houston Heights South Lot Size**

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



**PLANNING & DEVELOPMENT DEPARTMENT**



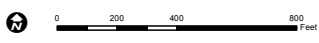


[ ] Parcels  
 [ ] Building Footprints  
 [ ] Houston Heights South

**FAR (Floor to Area Ratio)**

0.15 - 0.19 (95)	0.35 - 0.39 (49)
0.20 - 0.24 (115)	0.40 - 0.44 (41)
0.25 - 0.29 (80)	0.45 - 0.49 (47)
0.30 - 0.34 (58)	0.50 - 0.54 (49)
	N/A

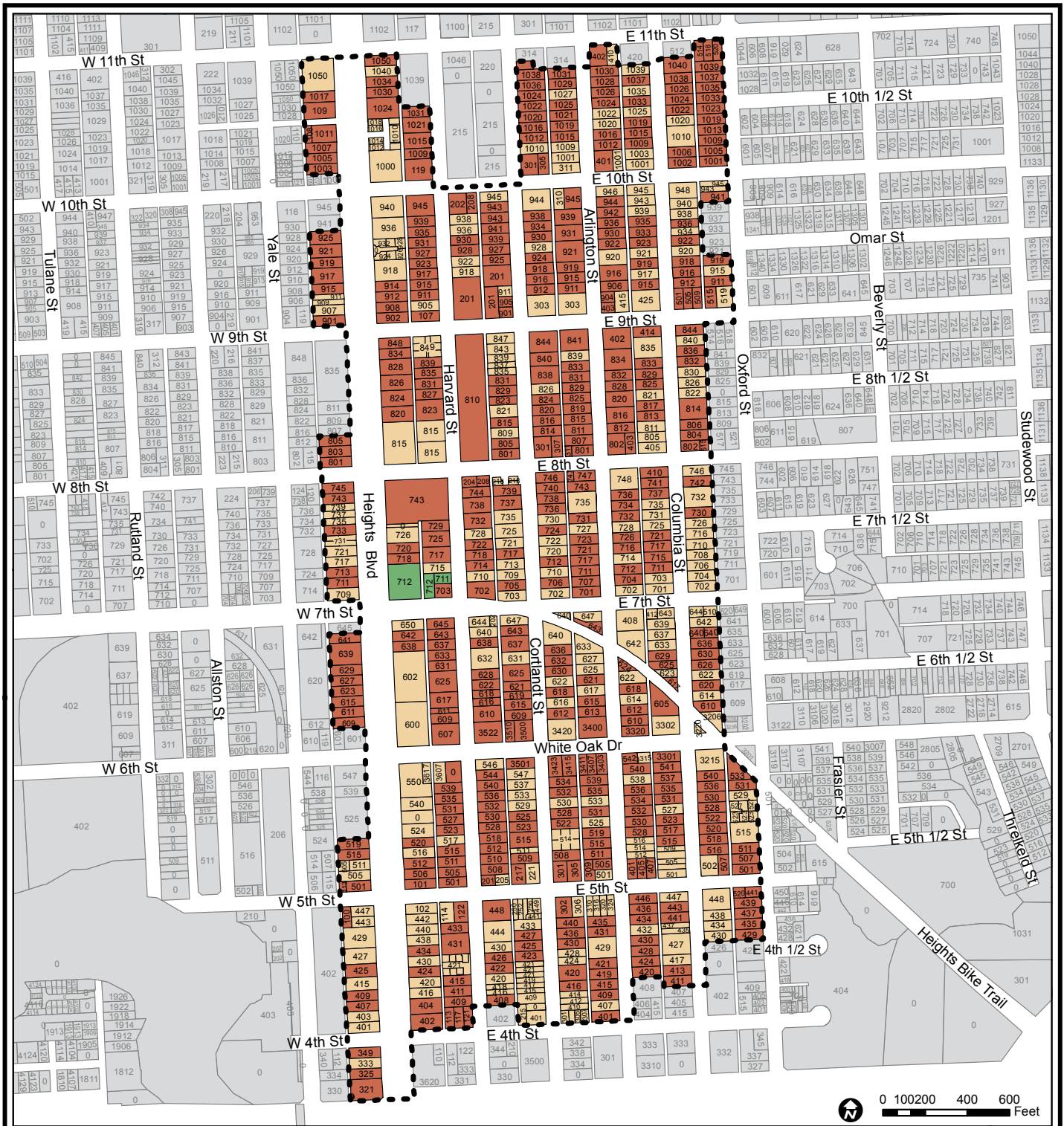
**City of Houston Historic Districts**  
**Houston Heights South FAR**



Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: September 2016  
 Reference: pj19182

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# Houston Heights South Historic District

Historic District Boundary  
 - - - -

## Building Classification

- Contributing
- Non-Contributing
- Park

Established: June 29, 2011  
 Source: GIS Services Division  
 Date: 4/24/2013  
 Reference: pj17025\_Heights\_South

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**PLANNING & DEVELOPMENT DEPARTMENT**

# HOUSTON HEIGHTS WEST HISTORIC DISTRICT



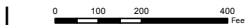




□ Parcels  
 □ Building Footprints  
 □ Houston Heights West

### City of Houston Historic Districts Houston Heights West Building Size

Building Size (Square Feet)	
500 - 999 (31)	2500 - 2999 (69)
1000 - 1499 (165)	3000 - 3499 (35)
1500 - 1999 (93)	> 3500 (36)
2000 - 2499 (84)	N/A (12)



Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: August 2016  
 Reference: pj19114

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**PLANNING & DEVELOPMENT DEPARTMENT**



- Parcels
- Building Footprints
- Houston Heights West

**Lot Coverage**

Less than 5% (4)	40% - 49% (160)
5% - 9% (0)	50% - 59% (93)
10% - 19% (8)	60% - 69% (38)
20% - 29% (60)	70% - 100% (30)
30% - 39% (132)	

**City of Houston Historic Districts  
Houston Heights West Lot Coverage**

Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: June 2016  
 Reference: pj18988

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**PLANNING &  
DEVELOPMENT  
DEPARTMENT**





**Lot Size (Square Feet)**

< 4000 (74)	7000 - 7999 (13)
4000 - 4999 (91)	8000 - 8999 (47)
5000 - 5999 (37)	9000 - 9999 (11)
6000 - 6999 (225)	> 10,000 (25)
	N/A (2)

**City of Houston Historic Districts**  
**Houston Heights West Lot Size**

0 100 200 400 Feet  
 Source: GIS Services Division, Vender Building Footprints 2015  
 Date: August 2016  
 Reference: pj19113

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[ ] Parcels  
 [ ] Building Footprints  
 [ ] Houston Heights West

**FAR (Floor to Area Ratio)**

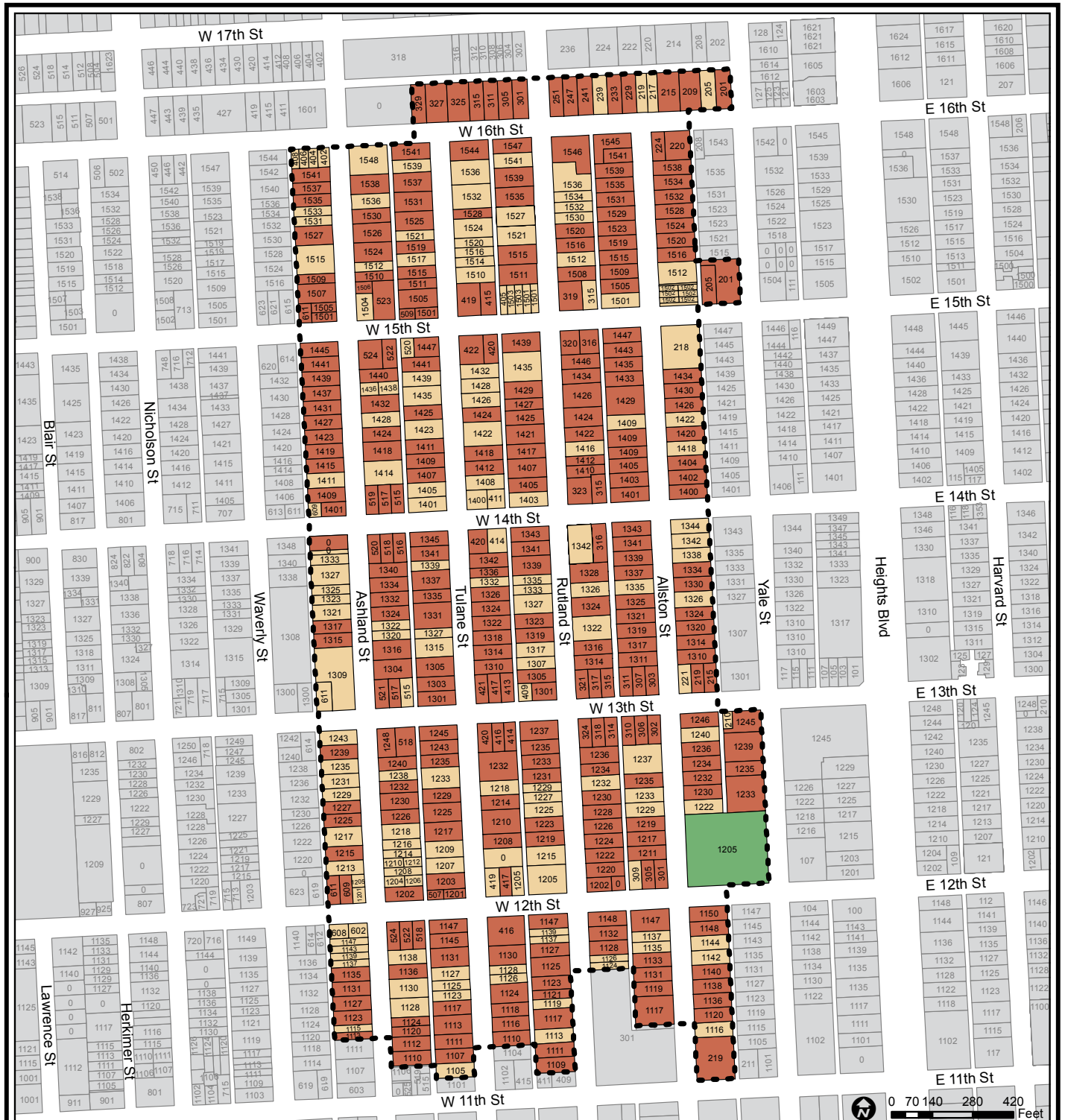
0.15 - 0.19 (66)	0.35 - 0.39 (35)
0.20 - 0.24 (71)	0.40 - 0.44 (34)
0.25 - 0.29 (69)	0.45 - 0.49 (31)
0.30 - 0.34 (56)	0.50 - 0.54 (29)
	N/A

**City of Houston Historic Districts**  
**Houston Heights West FAR**

0 100 200 400 Feet  
 Source: GIS Services Division, Vender Building Footprints 2015  
 Date: September 2016  
 Reference: pj19182

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# Houston Heights West Historic District

**Historic District Boundary**  
 - - - - -

**Building Classification**

- Contributing
- Non-Contributing
- Park

Established: December 19, 2007  
 Source: GIS Services Division  
 Date: May 21, 2013  
 Reference: pj17025\_Heights\_West

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**PLANNING & DEVELOPMENT DEPARTMENT**

# NORHILL HISTORIC DISTRICT







- Parcels
- Building Footprints
- Norhill

**Building Size (Square Feet)**

	< 500 (1)		2000 - 2499 (30)
	500 - 999 (86)		2500 - 2999 (18)
	1000 - 1499 (562)		3000 - 3499 (2)
	1500 - 1999 (138)		> 3500 (6)
	N/A (11)		

**City of Houston Historic Districts  
Norhill Building Size**



Source: GIS Services Division,  
Vender Building Footprints 2015  
Date: August 2016  
Reference: pj19114

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**PLANNING &  
DEVELOPMENT  
DEPARTMENT**





Parcels  
 Building Footprints  
 Norhill

**Lot Coverage**

	Less than 5% (2)		40% - 49% (404)
	5% - 9% (1)		50% - 59% (125)
	10% - 19% (5)		60% - 69% (21)
	20% - 29% (35)		70% - 100% (1)
	30% - 39% (259)		N/A (1)

**City of Houston Historic Districts**  
**Norhill Lot Coverage**



Source: GIS Services Division,  
 Vendor Building Footprints 2015  
 Date: June 2016  
 Reference: pj18988

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Parcels  
 Building Footprints  
 Norhill

**Lot Size (Square Feet)**

< 4000 (3)	7000 - 7999 (19)
4000 - 4999 (3)	8000 - 8999 (4)
5000 - 5999 (773)	> 10,000 (14)
6000 - 6999 (38)	

**City of Houston Historic Districts**  
**Norhill Lot Size**

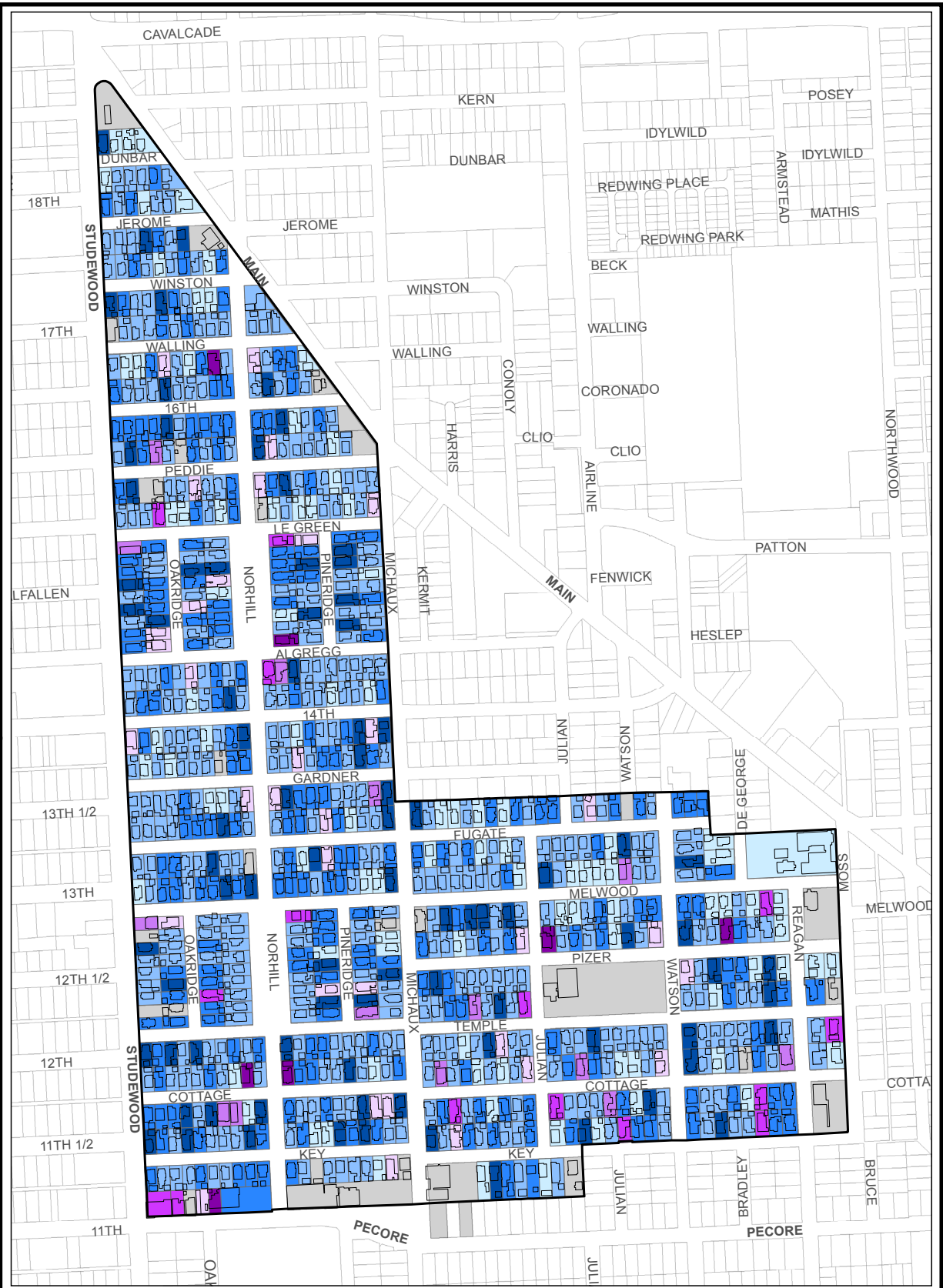


Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: August 2016  
 Reference: pj19113

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**PLANNING & DEVELOPMENT DEPARTMENT**


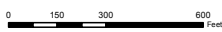


Parcels  
 Building Footprints  
 Norhill

**FAR (Floor to Area Ratio)**

0.15 - 0.19 (96)	0.35 - 0.39 (34)
0.20 - 0.24 (355)	0.40 - 0.44 (14)
0.25 - 0.29 (220)	0.45 - 0.49 (15)
0.30 - 0.34 (85)	0.50 - 0.54 (7)
	N/A

**City of Houston Historic Districts**  
**Norhill FAR**

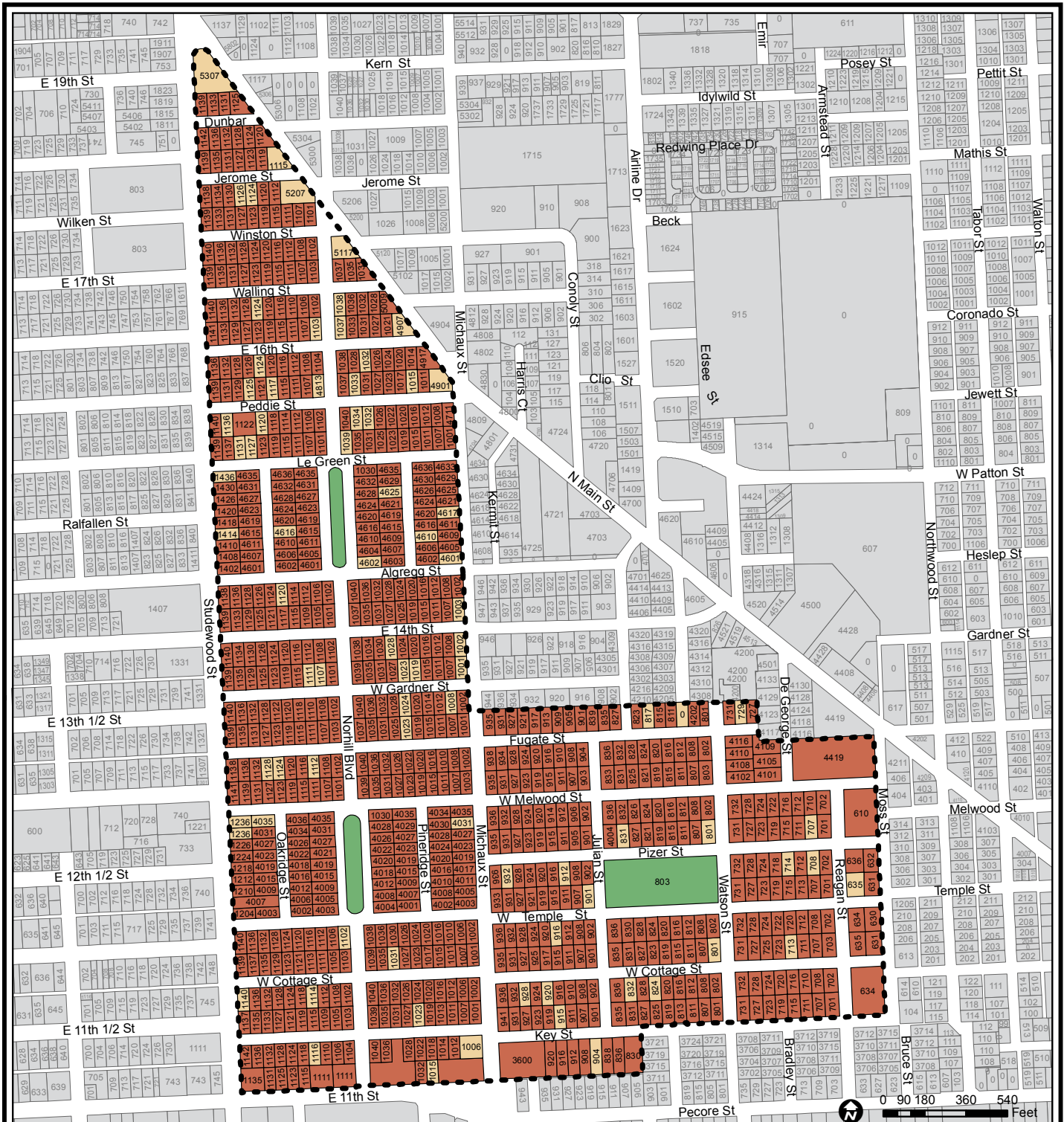



Source: GIS Services Division,  
 Vender Building Footprints 2015  
 Date: September 2016  
 Reference: pj19182

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# Norhill Historic District

## Historic District Boundary

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## Building Classification

- Contributing
- Non-Contributing
- Park

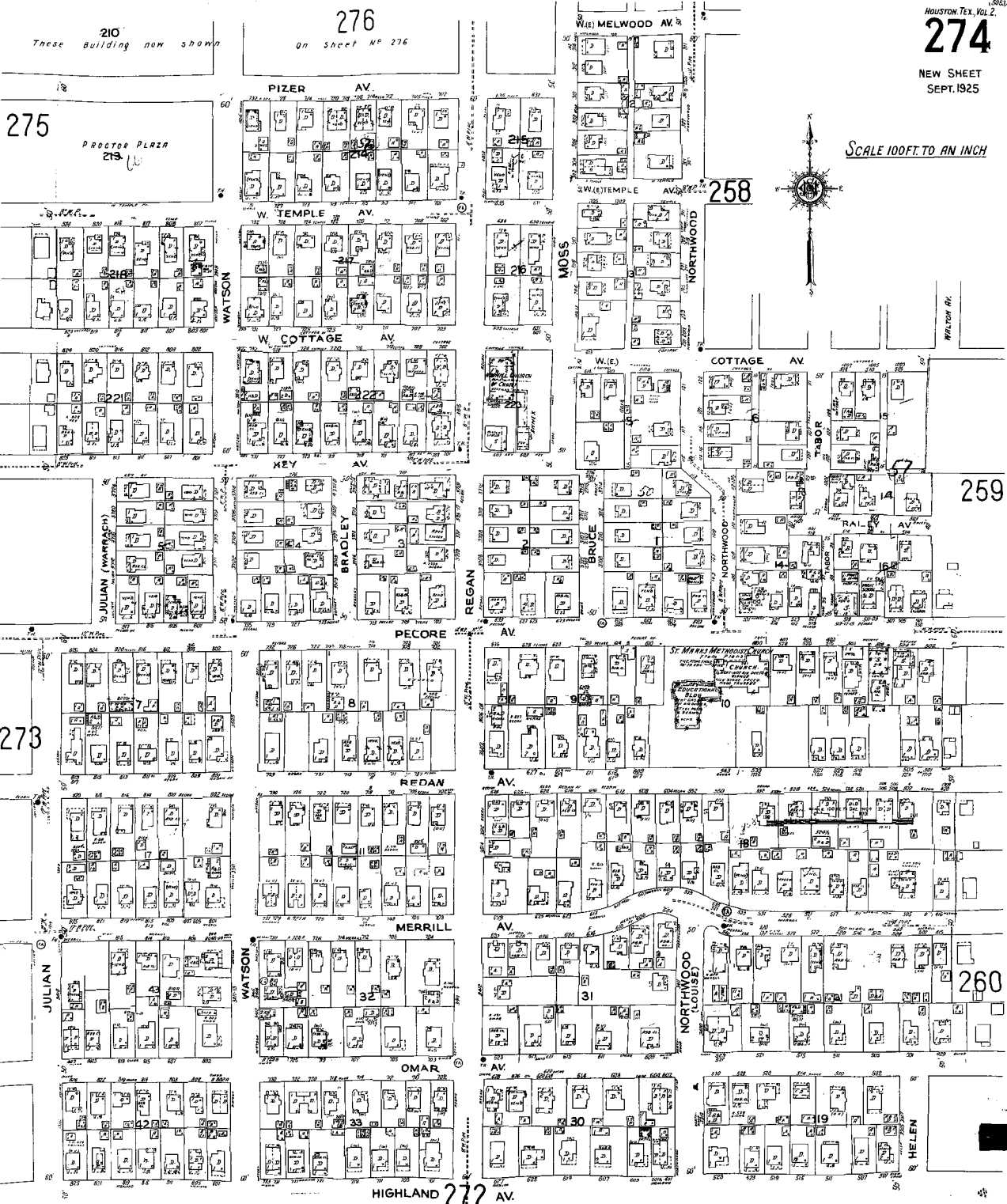
Established: June 14, 2000  
 Source: GIS Services Division  
 Date: May 1, 2013  
 Reference: pj17025\_Norhill

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**PLANNING & DEVELOPMENT DEPARTMENT**

SCALE 100 FT. TO AN INCH

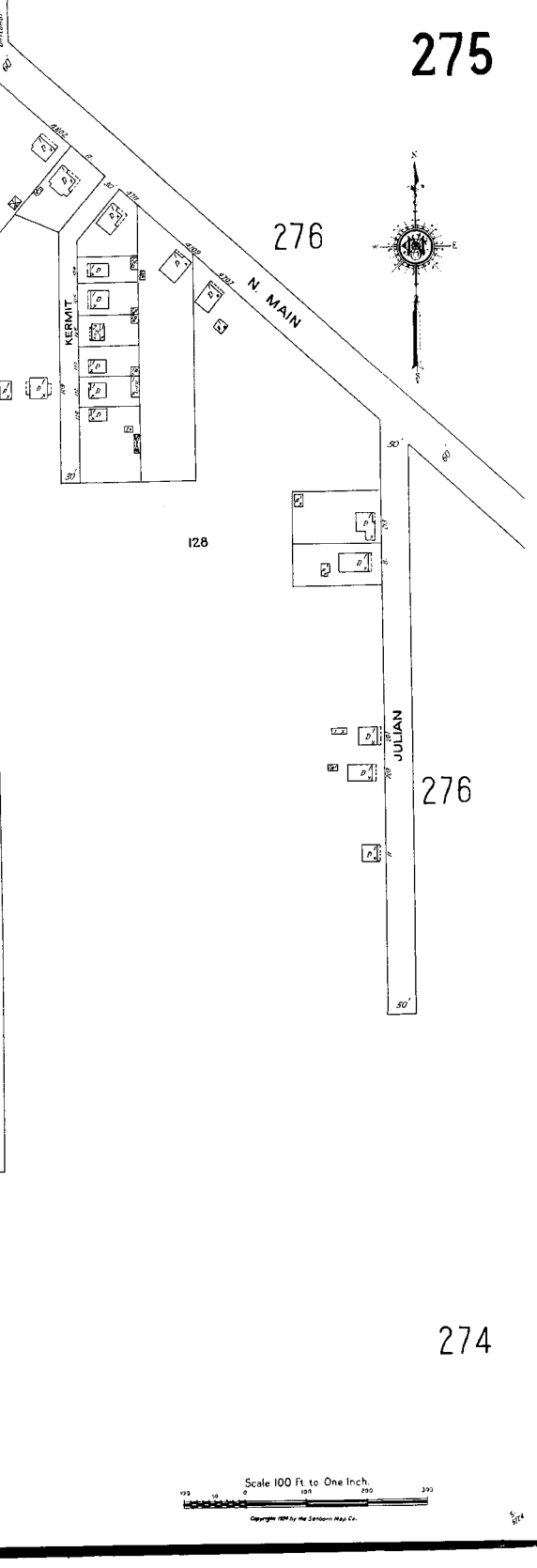
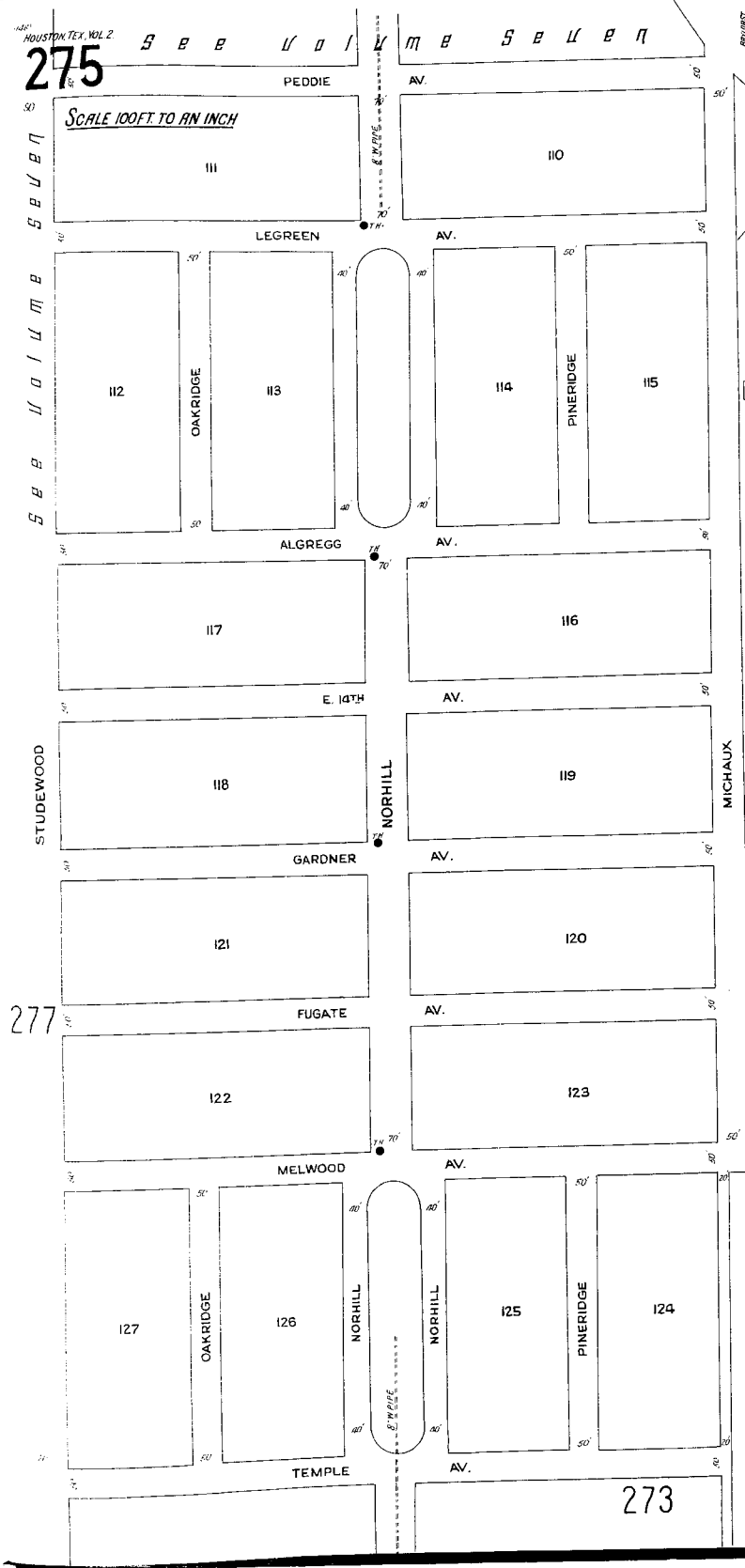




HOUSTON, TEX., VOL. 2  
275

SCALE 100 FT. TO AN INCH

275

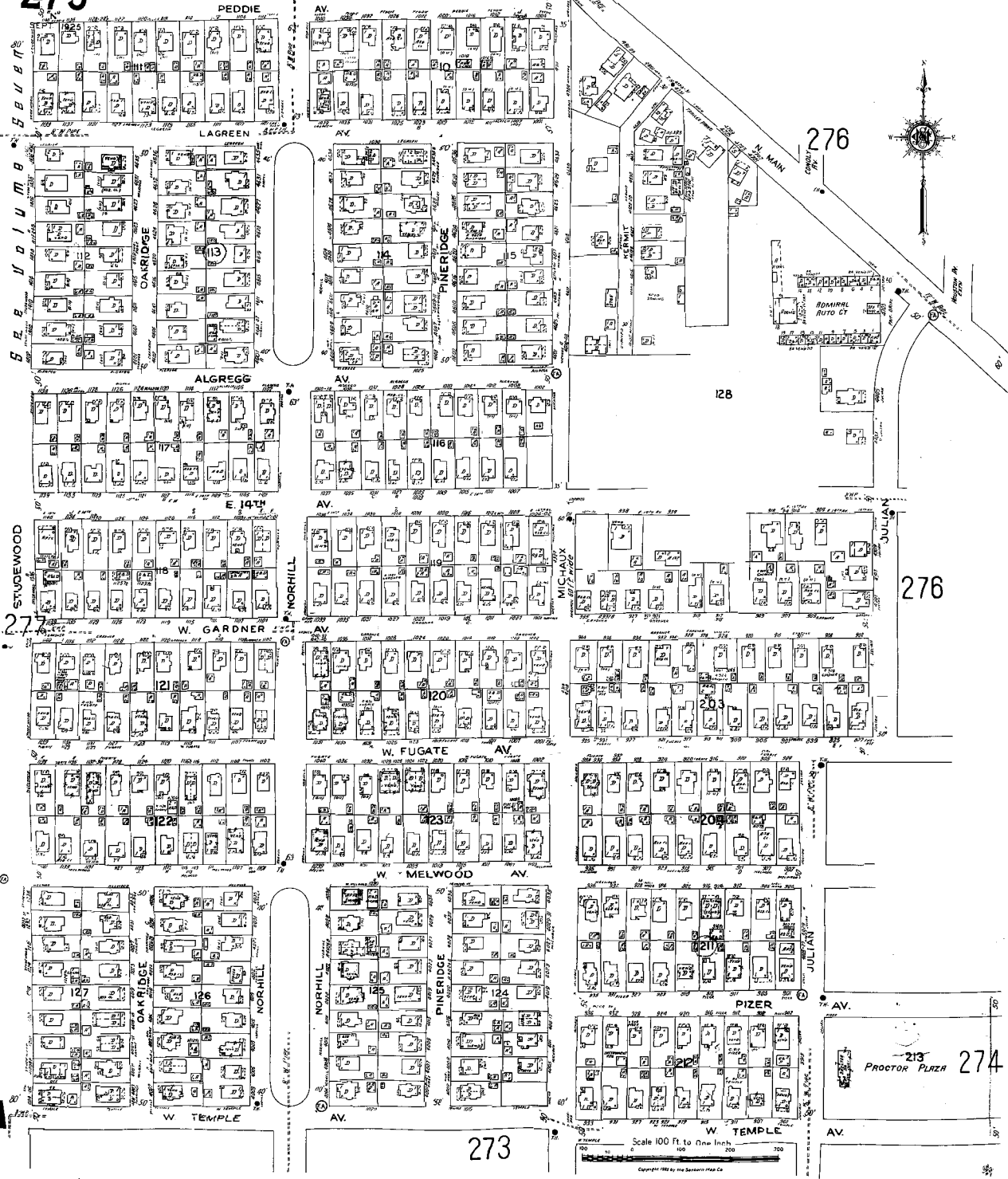


277

Scale 100 Ft to One Inch.  
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S E B U D I M E S E U B N











# WOODLAND HEIGHTS HISTORIC DISTRICT



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**PLANNING & DEVELOPMENT DEPARTMENT**

## City of Houston Historic Districts Woodland Heights Building Age



Source: GIS Services Division,  
Vendor: Building Footprints 2015  
Date: June 2016  
Reference: pj18980

Building Age (Effective Date)	Count
< 1900	4
1900 - 1909	24
1910 - 1919	34
1920 - 1929	210
1930 - 1939	61
1940 - 1949	13
1950 - 1959	1
1960 - 1969	3
1970 - 1979	3
1980 - 1989	1
1990 - 1999	10
2000 - 2009	15
2010 - 2016	5
N/A	2





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**PLANNING & DEVELOPMENT DEPARTMENT**

**City of Houston Historic Districts  
Woodland Heights Lot Coverage**



Source: GIS Services Division, Vendor Building Footprints 2015  
Date: June 2016  
Reference: PJ16998

Lot Coverage	
Less than 5% (1)	50% - 59% (72)
5% - 9% (1)	60% - 69% (16)
10% - 19% (3)	70% - 100% (1)
20% - 29% (38)	
30% - 39% (103)	
40% - 49% (151)	

- Parcels
- Building Footprints
- Woodland Heights







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**PLANNING & DEVELOPMENT DEPARTMENT**

**City of Houston Historic Districts  
Woodland Heights FAR**



Source: GIS Services Division,  
Vendor Building Footprints 2015  
Date: September 2016  
Reference: #19182

Symbol	Description
[Outline]	Parcels
[Solid]	Building Footprints
[Hatched]	Woodland Heights

FAR (Floor to Area Ratio)	Count
0.15 - 0.19	(29)
0.20 - 0.24	(75)
0.25 - 0.29	(73)
0.30 - 0.34	(59)
0.35 - 0.39	(43)
0.40 - 0.44	(32)
0.45 - 0.49	(31)
0.50 - 0.54	(14)
N/A	



# Woodland Heights Historic District

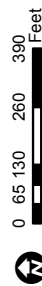
Historic District Boundary

Building Classification

Contributing

Non-Contributing

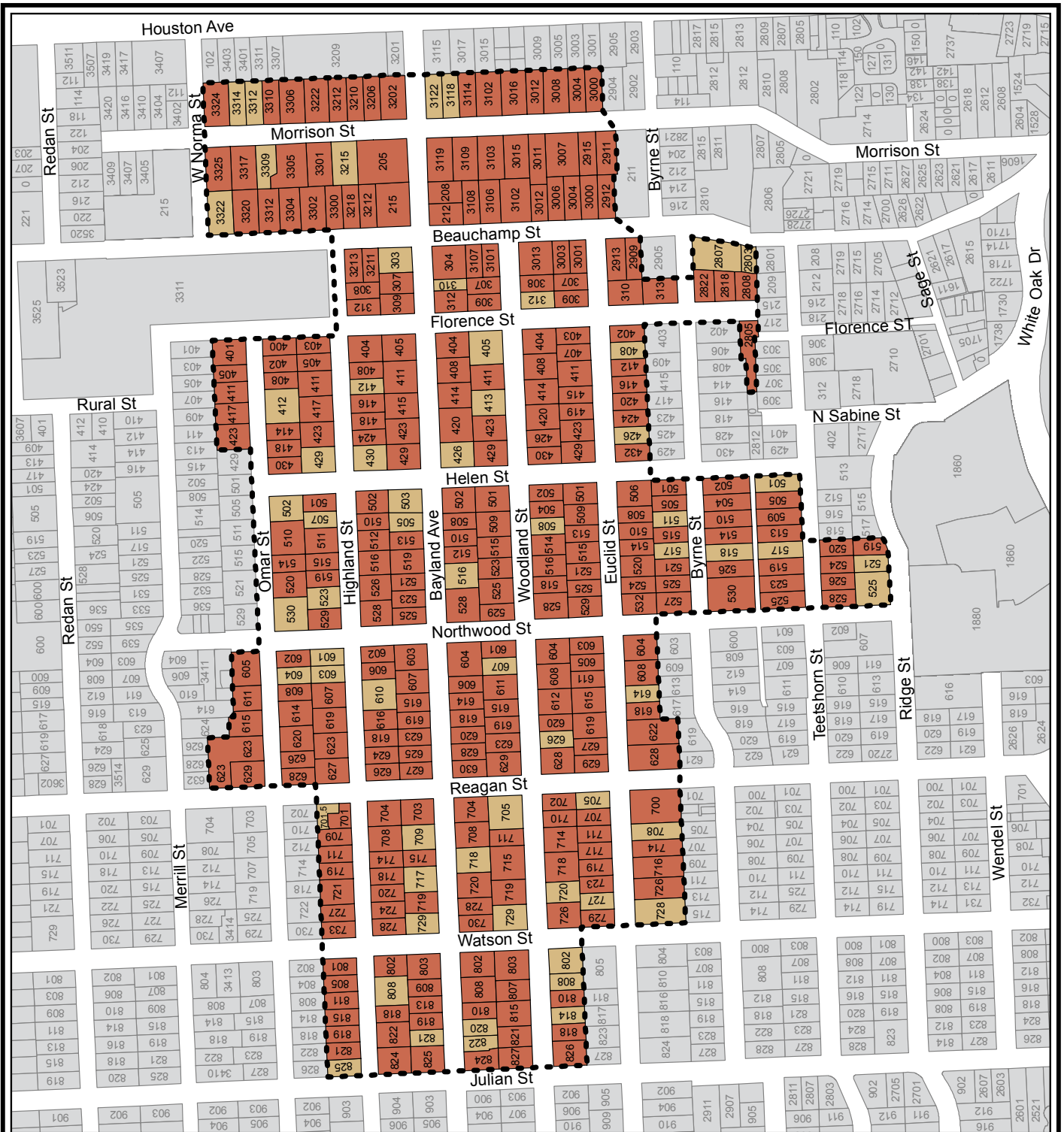
Established: July 29, 2011  
Source: GIS Services Division  
Date: March 11, 2014  
Reference: pj17480



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# CHARACTER AREA DESCRIPTIONS

HOUSTON HISTORIC DISTRICTS DESIGN GUIDELINES  
PROJECT STRATEGY REPORT

APPENDIX

G

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## INTRODUCTION

This appendix presents a series of posters that describe different Character Areas which appear in the historic districts. These are based on GIS data (shown in Appendix F) as well as field observations. They address distinguishing features that may be considered when identifying those aspects of a context area that are important for determining appropriateness of design proposals.

These Character Area posters provide descriptions of some of the key features that are found in various parts of the historic districts. They include some statistical data, such as the percentage of lot coverage, and range of house sizes, as well as some narrative about the degree of consistency or diversity that exists in terms of the percentage of contributing structures and size of buildings.

In a community workshop held in September of 2016, participants helped to edit these descriptions. (At that time, they were called Typologies, but are now named Character Areas.)





# CHARACTER AREAS

**HIGHLY CONSISTENT**  
SINGLE STORY MASSING  
CURB & GUTTER

**GROUP 1**  
**1.A**

## DESCRIPTION:

Character Area 1A has a high degree of consistency, in terms of building age and traditional development patterns. It retains a high percentage of buildings that “contribute” to a historic district. It has streets with curb and gutter (whereas Character Area 1B does not).

## Distinguishing Neighborhood Features:

- Rectilinear street grid
- Street widths range from 25 ft. to 30 ft.
- Parallel on-street parking
- Narrow, rectangular-shaped lots
- No alleys

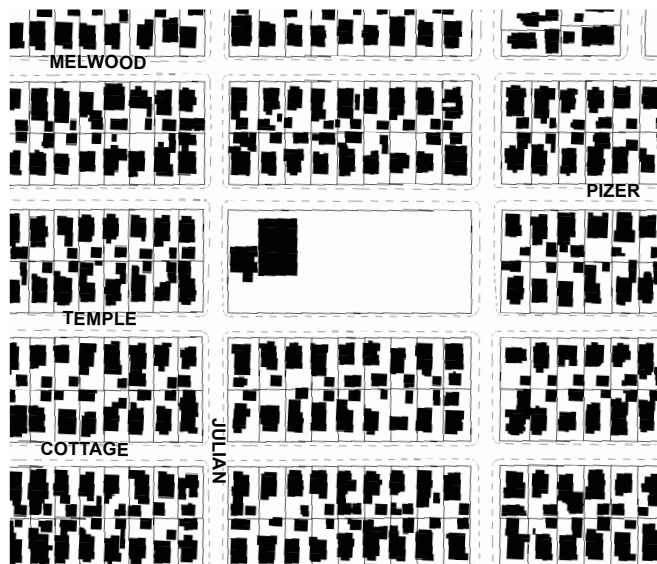
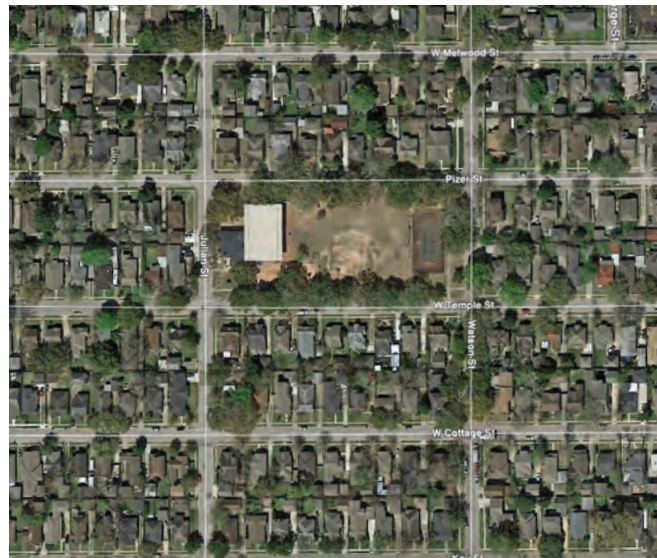
## Distinguishing Site Features:

- Uniform front yard setbacks
- Front yards are open and inviting.
- Parking is typically in a detached garage, located in the rear of the lot. As a result, garages are visually subordinate to the street.
- Driveways create wider side yard setbacks on one side of each parcel. This results in a greater separation between buildings.

## Distinguishing Building Features:

- The majority of houses are one story in height.
- Most buildings date from the period of historic significance, typically from the 1920s and into the 1940s.
- Homes are modest in scale. Most range from 1,000 sf to 1,500 sf.
- New buildings and additions appear to be in scale with historic structures.
- One-story porches are typical and orient to the street.
- Primary entrances face the street.

## NEIGHBORHOOD CHARACTERISTICS:



**STREET PATTERN:** Grid Pattern  
**STREET WIDTH:** 25 ft.-30 ft.  
**PUBLIC REALM:** • Curb and Gutter  
 • Tree lawn between Street and Sidewalk  
**LANDSCAPING:** Medium - Dense  
**CONSISTENCY :** Very Uniform  
**ALLEYWAY:** No

## SITE CHARACTERISTICS:



**LOT ORIENTATION:** Primarily North & South  
**LOT DEPTH & WIDTH:** 105'x50'  
**LOT SIZE:** 5,000 sf.-6,000 sf.  
**LOT COVERAGE:** 30%-50%  
**BLOCK END CAP:** 0%  
**SETBACKS:** 10 ft.-15 ft.  
**PARKING:** Side Drive Leading to Rear Garage

## BUILDING CHARACTERISTICS:



In general, homes in this character area have a consistent setback and streets include tree lawns and detached sidewalks with pathways leading to front doors.



Home size is consistent throughout this character area. One-story homes with uniform lot sizes, floor-area-ratios, and parking in the rear are common. However, materials and styles vary.



Tree coverage and landscaping have an effect on the privacy and visibility of design features.

Porch features define the character within the character area and provide a human scale to the structure.

**KEY:**

- Building/Garage
- Driveway Access
- Building Setback
- - - Property Lines

**BUILDING HEIGHT:** 1-Story  
**BUILDING SIZE:** 1,000 sf.-1,500 sf.  
**FLOOR AREA RATIO:** Majority 0.20-0.29  
**BUILDING AGE:** 1920-1940  
**ROOF FORM:** Primarily Gable and Hip  
**PORCH / ENTRY:** 1-Story Porch Connecting to Sidewalk





# CHARACTER AREAS

**HIGHLY CONSISTENT**  
SINGLE STORY MASSING  
NO CURB & GUTTER

**GROUP 1**  
**1.B**

## DESCRIPTION:

Character Area 1B has a high degree of consistency, in terms of building age and traditional development patterns. It retains a high percentage of buildings that “contribute” to a historic district. It has streets with no curb and gutter (whereas Character Area 1A does). This results in a sense of a greater setback and in many cases larger lawns. In some areas, however, this area is used for parking.

### Distinguishing Neighborhood Features:

- Rectilinear street grid
- Street widths range from 25 ft. to 30 ft.
- Informal on-street parking
- Narrow, rectangular-shaped lots
- No alleys

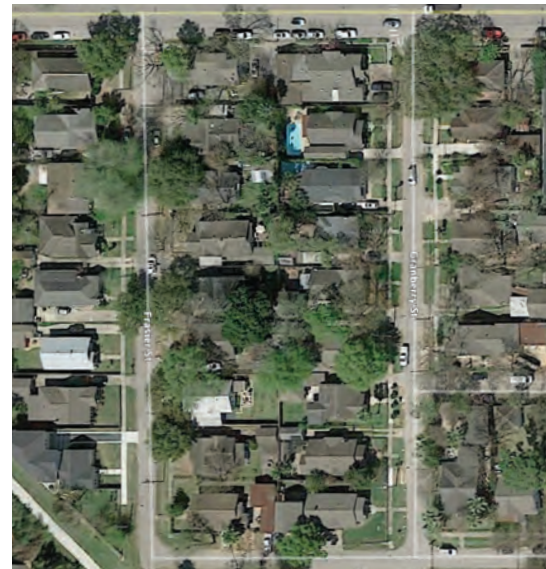
### Distinguishing Site Features:

- Uniform front yard setbacks
- Front yards are open and inviting.
- Parking is typically in a detached garage, located in the rear of the lot. As a result, garages are visually subordinate to the street.
- Driveways create wider side yard setbacks on one side of each parcel. This results in a sense of a greater separation between buildings.

### Distinguishing Building Features:

- The majority of houses are one story in height.
- Most buildings date from the period of historic significance, typically from the 1920s and into the 1940s.
- Homes are modest in scale. Most range from 1,000 sf to 1,500 sf.
- New buildings and additions appear to be in scale with historic buildings.
- One-story porches are typical and orient to the street.
- Primary entrances face the street.

## NEIGHBORHOOD CHARACTERISTICS:



**STREET PATTERN:** Grid Pattern  
**STREET WIDTH:** 20 ft.  
**PUBLIC REALM:** • NO Curb and Gutter  
 • Tree lawn between Street and Sidewalk  
**LANDSCAPING:** Medium - Dense  
**CONSISTENCY:** Very Uniform  
**ALLEYWAY:** No

## SITE CHARACTERISTICS:



**LOT ORIENTATION:** Primarily East & West  
**LOT DEPTH & WIDTH:** 105'x50'  
**LOT SIZE:** 5,000 sf.-6,000 sf.  
**LOT COVERAGE:** 30%-50%  
**BLOCK END CAP:** 0%  
**SETBACKS:** 10 ft.-20 ft.  
**PARKING:** Side Drive Leading to Rear Garage

## BUILDING CHARACTERISTICS:



In general, homes in this character area have a consistent setback and streets include tree lawns and detached sidewalks. Curb and gutter are not present at the street edge in this character area.



Home size is consistent throughout this character area. One-story homes with uniform lot sizes, floor-area-ratios, and parking in the rear are common. However, the materials and styles vary.



Tree coverage and landscaping have an effect on the privacy and visibility of design features.

Porch features define the character within the character area and provide a human scale to the structure.

**KEY:**

- Building/Garage
- Driveway Access
- Building Setback
- - - Property Lines

**BUILDING HEIGHT:** 1-Story  
**BUILDING SIZE:** 1,000 sf.-1,500 sf.  
**FLOOR AREA RATIO:** Majority 0.20-0.29  
**BUILDING AGE:** 1920-1940  
**ROOF FORM:** Primarily Gable and Hip  
**PORCH / ENTRY:** 1-Story Porch Connecting to Sidewalk





# CHARACTER AREAS

## MODERATE VARIATION ONE & TWO-STORY MASSING TRADITIONAL PARKING LOCATION TRADITIONAL LOT SIZE

## GROUP 2 2.A

### DESCRIPTION:

Character Area 2A has a moderate range of variation, in terms of building age and traditional development patterns. It retains a high percentage of buildings that “contribute” to a historic district. The lots are oriented to the North/South like 2C (whereas Character Area 2B lots orient to the East/West).

### Distinguishing Neighborhood Features:

- Rectilinear street grid
- Moderate street widths
- Formal on-street parking
- Narrow, rectangular-shaped lots
- No alleys

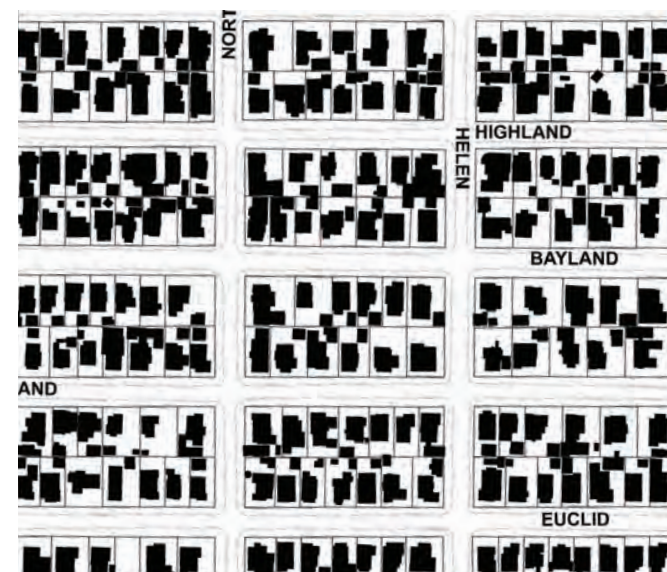
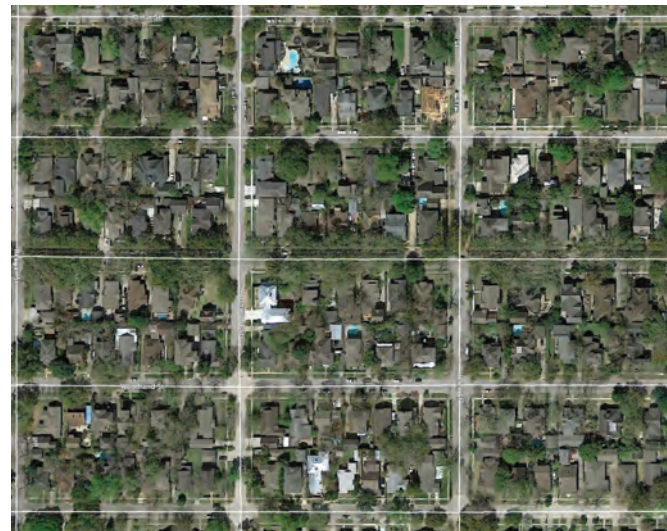
### Distinguishing Site Features:

- Uniform front yard setbacks
- Front yards are open and inviting.
- Parking is typically in a detached garage, located in the rear of the lot. As a result, garages are visually subordinate to the street.
- Driveways create wider side yard setbacks on one side of each parcel. This results in a sense of a greater separation between buildings.

### Distinguishing Building Features:

- Both 1 & 2-Story houses are common.
- Most buildings date from the period of historic significance, typically from the 1920s and into the 1940s.
- Homes are modest in scale. Most range from 1,000 sf to 1,500 sf.
- New buildings and additions appear to be in scale with historic buildings.
- One-story porches are typical and orient to the street.
- Primary entrances face the street.

### NEIGHBORHOOD CHARACTERISTICS:



**STREET PATTERN:** Grid Pattern  
**STREET WIDTH:** 25 ft.-30 ft.  
**PUBLIC REALM:** • Curb and Gutter  
 • Tree lawn between Street and Sidewalk  
**LANDSCAPING:** Medium - Dense  
**CONSISTENCY:** Narrow Range of Variation  
**ALLEYWAY:** No

### SITE CHARACTERISTICS:



**LOT ORIENTATION:** Primarily North & South  
**LOT DEPTH & WIDTH:** 100'x50'  
**LOT SIZE:** 5,000 sf.-6,000 sf.  
**LOT COVERAGE:** 30%-50%  
**BLOCK END CAP:** 0%  
**SETBACKS:** 10 ft.-15 ft.  
**PARKING:** Side Drive Leading to Rear Garage

### BUILDING CHARACTERISTICS:



Homes in this character area have consistent setbacks and streets include narrow tree lawns, detached sidewalks and curb and gutter at the street edge.



Home size and style varies moderately throughout this character area. One and two-story homes with varied massing, materiality, lot size, floor-area-ratio, and parking in the rear are present.



The old-growth street tree canopy is dense throughout this character area area.

Porches and side drive access to rear garages are consistent features.

**KEY:**

- Building/Garage
- Driveway Access
- Building Setback
- - - Property Lines

**BUILDING HEIGHT:** 1 & 2-Stories  
**BUILDING SIZE:** 1,000 sf.-3,000 sf.  
**FLOOR AREA RATIO:** Majority 0.20-0.39 (with some higher)  
**BUILDING AGE:** 1920-1940  
**ROOF FORM:** Primarily Gable and Hip  
**PORCH / ENTRY:** 1-Story Porch Connecting to Sidewalk





# CHARACTER AREAS

## MODERATE VARIATION ONE & TWO-STORY MASSING TRADITIONAL PARKING LOCATION LARGE LOT SIZE

## GROUP 2 2.B

### DESCRIPTION:

Character Area 2B has a moderate range of variation, in terms of building age and traditional development patterns. It retains a high percentage of buildings that “contribute” to a historic district. The lots are predominantly oriented to the East/West (whereas the lots in Character Areas 2A and 2C orient to the North/South). Many lots at the block ends face cross-streets, which create a significant amount of Block End Cap conditions. Lot sizes are larger than Character Area 2A and Character Area 2C, as are building sizes.

### Distinguishing Neighborhood Features:

- Rectilinear street grid
- Moderate street widths
- Formal on-street parking
- Large & deep, rectangular-shaped lots
- No alleys

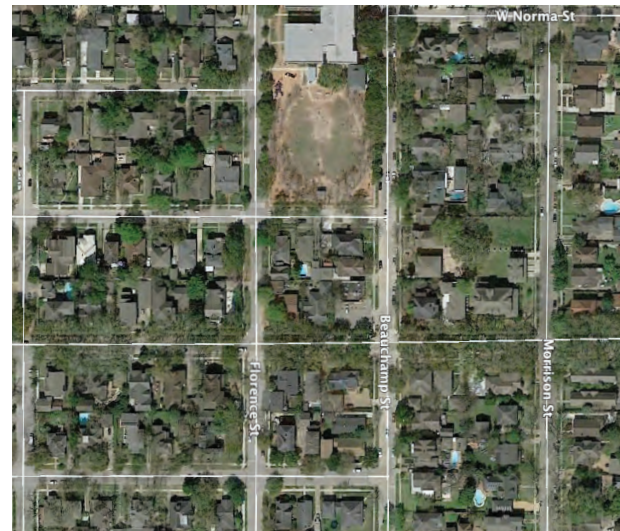
### Distinguishing Site Features:

- Uniform front yard setbacks
- Front yards are open and inviting.
- Parking is typically in a detached garage, located in the rear of the lot. As a result, garages are visually subordinate to the street.
- Driveways create wider side yard setbacks on one side of each parcel. This results in a sense of a greater separation between buildings.

### Distinguishing Building Features:

- Both 1 & 2-Story houses are common.
- Most buildings date from the period of historic significance, typically from the 1920s and into the 1940s.
- Homes are moderate in scale. Most range from 2,000 sf to 3,500 sf.
- New buildings and additions appear to be in scale with historic buildings.
- One-story porches are typical and orient to the street.
- Primary entrances face the street.

### NEIGHBORHOOD CHARACTERISTICS:



**STREET PATTERN:** Grid Pattern  
**STREET WIDTH:** 25 ft.-30 ft.  
**PUBLIC REALM:** • Curb and Gutter  
 • Tree lawn between Street and Sidewalk  
**LANDSCAPING:** Medium - Dense  
**CONSISTENCY:** Narrow Range of Variation  
**ALLEYWAY:** No

### SITE CHARACTERISTICS:



**LOT ORIENTATION:** Primarily East & West  
**LOT DEPTH & WIDTH:** 130'x60'  
**LOT SIZE:** 6,000 sf.-10,000 sf.  
**LOT COVERAGE:** 30%-50%  
**BLOCK END CAP:** 78%  
**SETBACKS:** 10 ft.-15 ft.  
**PARKING:** Side Drive Leading to Rear Garage

### BUILDING CHARACTERISTICS:



In general, homes in this character area have consistent setbacks and streets include narrow tree lawns, detached sidewalks and curb and gutter at the street edge.



Home size and style varies throughout this character area. One and two-story homes with varied massing, materiality, floor-area-ratio, and parking in the rear are present. Lot sizes are considerably larger than those in Character Area 2A.



Block end-caps are present on approximately half of the side streets.

Well-maintained historic homes are present throughout this character area area.

#### KEY:

- Building/Garage
- Driveway Access
- Building Setback
- - - Property Lines

**BUILDING HEIGHT:** 1 & 2-Stories  
**BUILDING SIZE:** 2,000 sf.-3,500 sf.  
**FLOOR AREA RATIO:** Majority 0.20-0.39 (with some higher)  
**BUILDING AGE:** 1920-1940  
**ROOF FORM:** Primarily Gable and Hip  
**PORCH / ENTRY:** 1-Story Porch Connecting to Sidewalk





# CHARACTER AREAS

## MODERATE VARIATION

ONE & TWO-STORY MASSING  
MIX OF PARKING LOCATIONS  
LARGE AGE DIFFERENCE

## GROUP 2 2.C

### DESCRIPTION:

Character Area 2C has a significant range of variation, in terms of building age and traditional development patterns. It retains a moderate percentage of buildings that “contribute” to a historic district (fewer than in Character Areas 2A and 2B). The lots are predominantly oriented to the North/South, similar to 2A (whereas the lots in 2B are oriented to the East/West). Its streets have a mix of those with curb & gutter and those without. This results in different parking patterns and garage locations.

### Distinguishing Neighborhood Features:

- Rectilinear street grid
- Moderate street widths
- Narrow, rectangular-shaped lots
- No alleys

### Distinguishing Site Features:

- Uniform front yard setbacks
- Front yards are open and inviting.
- Parking varies greatly. As a result, more parked cars can be noticed in front and side yards.
- Driveways are not always present. This results in less space between buildings.

### Distinguishing Building Features:

- Both 1 & 2-Story houses are common.
- Most buildings date from the period of historic significance, typically from the 1880s and into the 1920s.
- Homes are modest in scale. Most range from 1,000 sf to 1,500 sf.
- A moderate percentage of new buildings and additions appear to be out of scale with historic buildings.
- One and two-story porches are present and orient to the street.
- Primary entrances face the street.

### NEIGHBORHOOD CHARACTERISTICS:



**STREET PATTERN:** Grid Pattern

**STREET WIDTH:** 20 ft. (some 30 ft.)

**PUBLIC REALM:** • Mix of Curb and Gutter and No Curb and Gutter  
• Tree lawn between Street and Sidewalk

**LANDSCAPING:** Medium

**CONSISTENCY:** Significant Variation

**ALLEYWAY:** No

### SITE CHARACTERISTICS:



**LOT ORIENTATION:** North & South

**LOT DEPTH & WIDTH:** 100'x50'

**LOT SIZE:** 5,000 sf.-6,000 sf.

**LOT COVERAGE:** 30%-50%

**BLOCK END CAP:** 32.5%

**SETBACKS:** 10 ft.-15 ft.

**PARKING:** Mix of Parking. Side Drive Leading to Rear; Front Garage; On-Street; etc...

### BUILDING CHARACTERISTICS:



In general, homes in this character area have consistent setbacks and streets include wide tree lawns, detached sidewalks and a mix of curb and gutter, and no curb and gutter at the street edge.



Home sizes and styles vary throughout this character area. One and two-story homes with varied massing, materiality, lot size, floor-area-ratio, and parking in the front and rear are present. Landscape vegetation is less dense than previous typologies.



Second story porches are consistent throughout this character area. Some porches connect directly to the sidewalk.

#### KEY:

- Building/Garage
- Driveway Access
- Building Setback
- - - Property Lines

**BUILDING HEIGHT:** 1 & 2-Stories

**BUILDING SIZE:** 1,000 sf.-1,500 sf.

**FLOOR AREA RATIO:** Majority 0.20-0.34 (with some higher)

**BUILDING AGE:** 1880s-1920

**ROOF FORM:** Primarily Gable and Hip

**PORCH / ENTRY:** 1 & 2-Story Porches Connecting to Sidewalk





# CHARACTER AREAS

## TRADITIONALLY CONSISTENT SINGLE STORY MASSING TRADITIONAL PARKING LOCATION TRADITIONAL LOT SIZE

### GROUP 3 3.A

#### DESCRIPTION:

Character Area 3A has a high degree of consistency, in terms of building age and traditional development patterns. It retains a high percentage of buildings that “contribute” to a historic district. The lots are predominantly oriented to the East/West. Streets have no curb & gutter. Lots are relatively large, with modest 1-story homes. This results in a lower FAR throughout this character area.

#### Distinguishing Neighborhood Features:

- Rectilinear street grid
- A mix of moderate and narrow street widths
- Large & deep, rectangular-shaped lots
- Alleys are present throughout

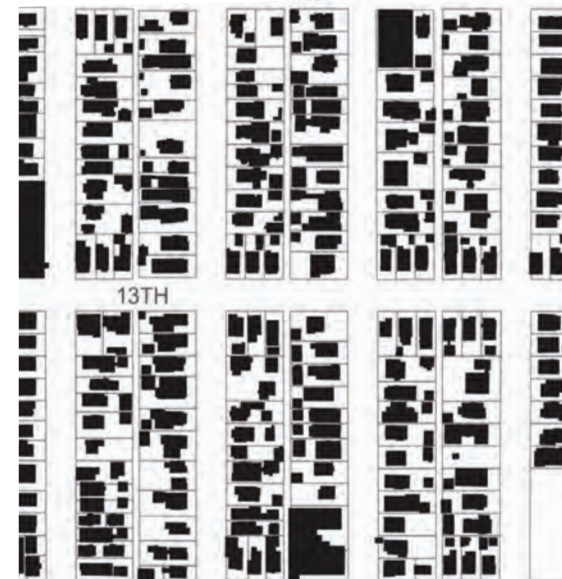
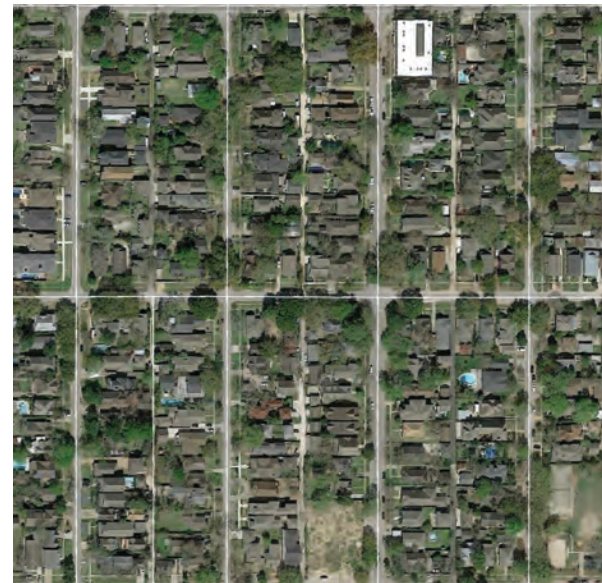
#### Distinguishing Site Features:

- Uniform, deep front yard setbacks
- Front yards are occasionally fenced.
- Parking is typically in a detached garage, located in the rear of the lot. As a result, garages are visually subordinate to the street (a few, more recent houses have front-facing garages).
- Driveways create wider side yard setbacks on one side of each parcel. This results in a sense of a greater separation between buildings.
- Moderate amount of Block End Cap conditions.

#### Distinguishing Building Features:

- The majority of houses are one story in height.
- Most buildings date from the period of historic significance, typically from the 1920s and into the 1940s.
- Homes are modest in scale. Most range from 1,000 sf to 2,000 sf.
- A low percentage of new buildings and additions appear to be out of scale with historic buildings.
- One-story porches are typical and orient to the street.
- Primary entrances face the street.

#### NEIGHBORHOOD CHARACTERISTICS:



**STREET PATTERN:** Grid Pattern  
**STREET WIDTH:** 20 ft. (E/W) & 35 ft. (N/S)  
**PUBLIC REALM:** • No Curb and Gutter  
 • Tree lawn between Street and Sidewalk  
**LANDSCAPING:** Medium  
**CONSISTENCY:** Significant Variation  
**ALLEYWAY:** Yes

#### SITE CHARACTERISTICS:



**LOT ORIENTATION:** East & West (Few N/S)  
**LOT DEPTH & WIDTH:** 135'x50'  
**LOT SIZE:** 5,000 sf.-8,000 sf.  
**LOT COVERAGE:** 30%-50%  
**BLOCK END CAP:** 50%  
**SETBACKS:** 20 sf.-25 ft.  
**PARKING:** Side Drive Leading to Rear Garage

#### BUILDING CHARACTERISTICS:



In general, homes in this character area have consistent setbacks and streets include tree lawns and detached sidewalks with pathways leading to a front door.



Home size is consistent and throughout this character area. One-story homes with a large lot size, floor-area-ratio, and side access to parking in the rear are common.



Lot variation is much greater than with previous character area areas.

Narrow streets with wide tree lawns and no curb and gutter give front yards a larger appearance.

#### KEY:

- Building/Garage
- Driveway Access
- Building Setback
- - - Property Lines

**BUILDING HEIGHT:** 1 Story  
**BUILDING SIZE:** 1,000 sf.-2,000 sf.  
**FLOOR AREA RATIO:** Majority 0.15-0.29  
**BUILDING AGE:** 1920-1940  
**ROOF FORM:** Primarily Gable and Hip  
**PORCH / ENTRY:** 1-Story Porch Connecting to Sidewalk





# CHARACTER AREAS

## TRADITIONALLY CONSISTENT ONE & TWO-STORY MASSING TRADITIONAL PARKING LOCATION TRADITIONAL LOT SIZE

### GROUP 3 3.B

#### DESCRIPTION:

Character Area 3B has a moderate degree of consistency, in terms of building age and traditional development patterns. It retains a high percentage of buildings that “contribute” to a historic district (but somewhat less than Character Area 3A). The lots are predominantly oriented to the East/West. Streets have no curb & gutter, creating the appearance of larger lawns. In some areas, however, this area is used for parking.

#### Distinguishing Neighborhood Features:

- Rectilinear street grid
- Narrow street widths
- Large & deep, rectangular-shaped lots
- Alleys are present throughout

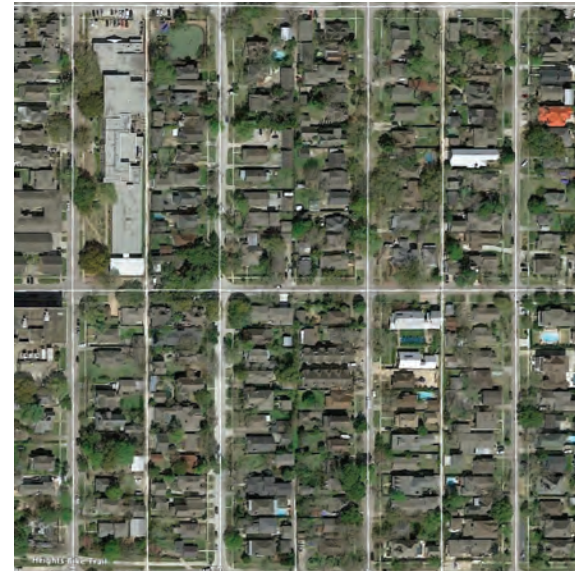
#### Distinguishing Site Features:

- Slightly varied, deep front yard setbacks
- Front yards are occasionally fenced.
- Parking is typically in a detached garage, located in the rear of the lot. As a result, garages are visually subordinate to the street (a few, more recent houses have front-facing garages).
- Driveways create wider side yard setbacks on one side of each parcel. This results in a sense of a greater separation between buildings.
- Moderate amount of Block End Cap conditions.

#### Distinguishing Building Features:

- Both 1 & 2-Story houses are common.
- Most buildings date from the period of historic significance, typically from the 1920s and into the 1940s.
- Homes are modest in scale. Most range from 1,000 sf to 2,000 sf.
- A low percentage of new buildings and additions appear to be out of scale with historic buildings.
- One-story porches are typical and orient to the street.
- Primary entrances face the street.

#### NEIGHBORHOOD CHARACTERISTICS:



**STREET PATTERN:** Grid Pattern

**STREET WIDTH:** 20 ft.

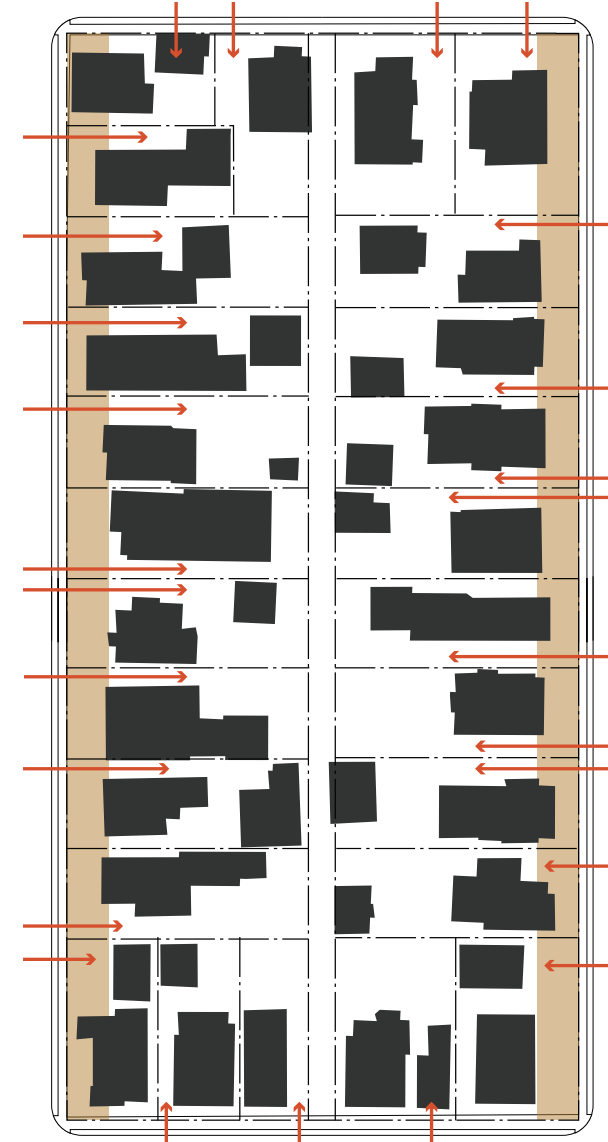
**PUBLIC REALM:** • NO Curb and Gutter  
• Tree lawn between Street and Sidewalk

**LANDSCAPING:** Medium

**CONSISTENCY:** Significant Variation

**ALLEYWAY:** Yes

#### SITE CHARACTERISTICS:



**LOT ORIENTATION:** East & West

**LOT DEPTH & WIDTH:** 135' (140')x50'

**LOT SIZE:** 5,000 sf.-8,000 sf.

**LOT COVERAGE:** 30%-50%

**BLOCK END CAP:** 50%

**SETBACKS:** 20 ft.-25 ft.

**PARKING:** Side Drive Leading to Rear Garage

#### BUILDING CHARACTERISTICS:



Homes in this character area have a slightly varied setback and streets include tree lawns and detached sidewalks. Curb and gutter are not present at the street edge throughout this area.



Home size varies throughout this character area. One and two-story homes with a large lot size, varied floor-area-ratio, and parking in the rear are common. Materiality and architecture style of the buildings also varies.



Landscape vegetation is less abundant than other typologies. Some areas lack sidewalks

Block end-caps are present on the majority of the side streets in this character area.

#### KEY:

- Building/Garage
- Driveway Access
- Building Setback
- - - Property Lines

**BUILDING HEIGHT:** 1 & 2-Stories

**BUILDING SIZE:** 1,000 sf.-2,000 sf.

**FLOOR AREA RATIO:** Majority 0.15-0.24 (with few higher)

**BUILDING AGE:** 1920-1940

**ROOF FORM:** Primarily Gable and Hip

**PORCH / ENTRY:** 1-Story Porch Connecting to Sidewalk





# CHARACTER AREAS

**SUBSTANTIAL VARIATION**  
 ONE & TWO-STORY MASSING  
 MIX OF PARKING LOCATIONS  
 HIGH MIX OF LOT SIZES

**GROUP 3**  
**3.D**

**DESCRIPTION:**

Character Area 3D has a significant range of variation, in terms of building age and traditional development patterns. It has a low percentage of buildings that “contribute” to a historic district. The lots are predominantly oriented to the East/West. Streets have curb & gutter throughout (unlike other Group 3 Character Areas). Building setbacks have a moderate degree of variance due to a shallower pattern from new development.

**Distinguishing Neighborhood Features:**

- Rectilinear street grid
- Narrow street widths
- Formal on-street parking
- Large & deep, rectangular-shaped lots
- Alleys are present throughout

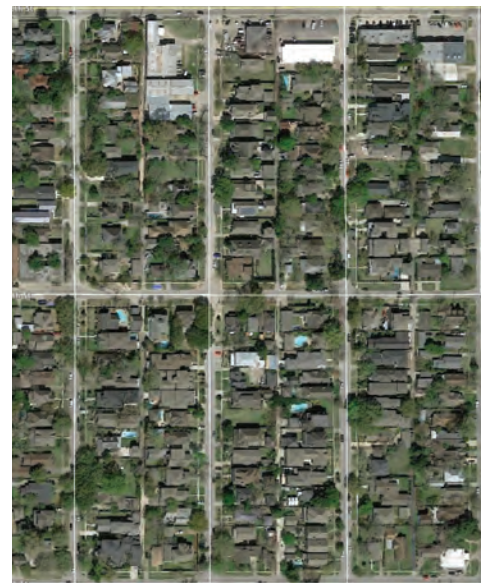
**Distinguishing Site Features:**

- Front yards are occasionally fenced.
- Parking varies greatly. Garages are accessed from both front yards and alleys.
- Driveways are not always present. This results in less space between buildings.
- Moderate amount of Block End Cap scenarios.

**Distinguishing Building Features:**

- Both 1 & 2-Story houses are common.
- A low amount of buildings date from the period of historic significance, typically from the 1920s and into the 1940s. A significant amount of new buildings have been constructed since the 1980s.
- Homes size varies significantly. Most range from 1,000 sf to 3,500 sf.
- A significant percentage of new buildings and additions appear to be out of scale with historic buildings.
- One-story porches are typical and orient to the street.
- Primary entrances face the street.

**NEIGHBORHOOD CHARACTERISTICS:**



**STREET PATTERN:** Grid Pattern  
**STREET WIDTH:** 20 ft. (E/W) & 35 ft. (N/S)  
**PUBLIC REALM:** • Curb and Gutter  
 • Tree lawn between Street and Sidewalk  
**LANDSCAPING:** Medium  
**CONSISTENCY:** Significant Variation  
**ALLEYWAY:** Yes

**SITE CHARACTERISTICS:**



**LOT ORIENTATION:** East & West (Few N/S)  
**LOT DEPTH & WIDTH:** 135'x50'  
**LOT SIZE:** 5,000 sf.-10,000 sf.  
**LOT COVERAGE:** 30%-60%  
**BLOCK END CAP:** 50%  
**SETBACKS:** 15 ft.-20 ft.  
**PARKING:** Mix of Parking. Side Drive Leading to Rear; Front Garage; On-Street; etc...

**BUILDING CHARACTERISTICS:**



Homes in this character area have shallow setbacks with greater variation than other areas. Streets include tree lawns and detached sidewalks. Curb & gutter is consistent at the street edge.



Home and lot sizes vary throughout this character area. Parking and access varies greatly based on new developments. Architectural styles of the buildings also varies due to the mix of new homes and modified lots.



New townhome developments provide rear garage access from the alleys

Subdivided lots have been redeveloped with a large mix of architectural styles in some areas.

**KEY:**

- Building/Garage
- Driveway Access
- Building Setback
- - - Property Lines

**BUILDING HEIGHT:** 1 & 2-Stories  
**BUILDING SIZE:** 1,000 sf.-3,500 sf.  
**FLOOR AREA RATIO:** Majority 0.45-0.59 (with some lower)  
**BUILDING AGE:** 1920-1940 (and 1980+)  
**ROOF FORM:** Primarily Gable and Hip  
**PORCH / ENTRY:** 1-Story Porch Connecting to Sidewalk