

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** June 28, 2019

**Applicant:** James Long, owner; Sam Gianukos, agent

**Property:** 617 Silver Street, Lots 7 & 8, Block 429, Baker W R NSBB Subdivision. The property includes a 1,696 SF, 1- story wood frame single-family residence on a 10,000 SF (100' x 100') corner lot.

**Significance:** Contributing Central Hall residence, constructed circa 1878, located in the Old Sixth Ward Historic District.

**Proposal:** Alteration – addition  
Partial (529 SF) 2nd story addition above part of the existing one-story structure

See attached drawings for details

**Public Comment:** No public comment received.

**Civic Association Comment:** None received

**Recommendation:** Approval

**HAHC Action:** -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

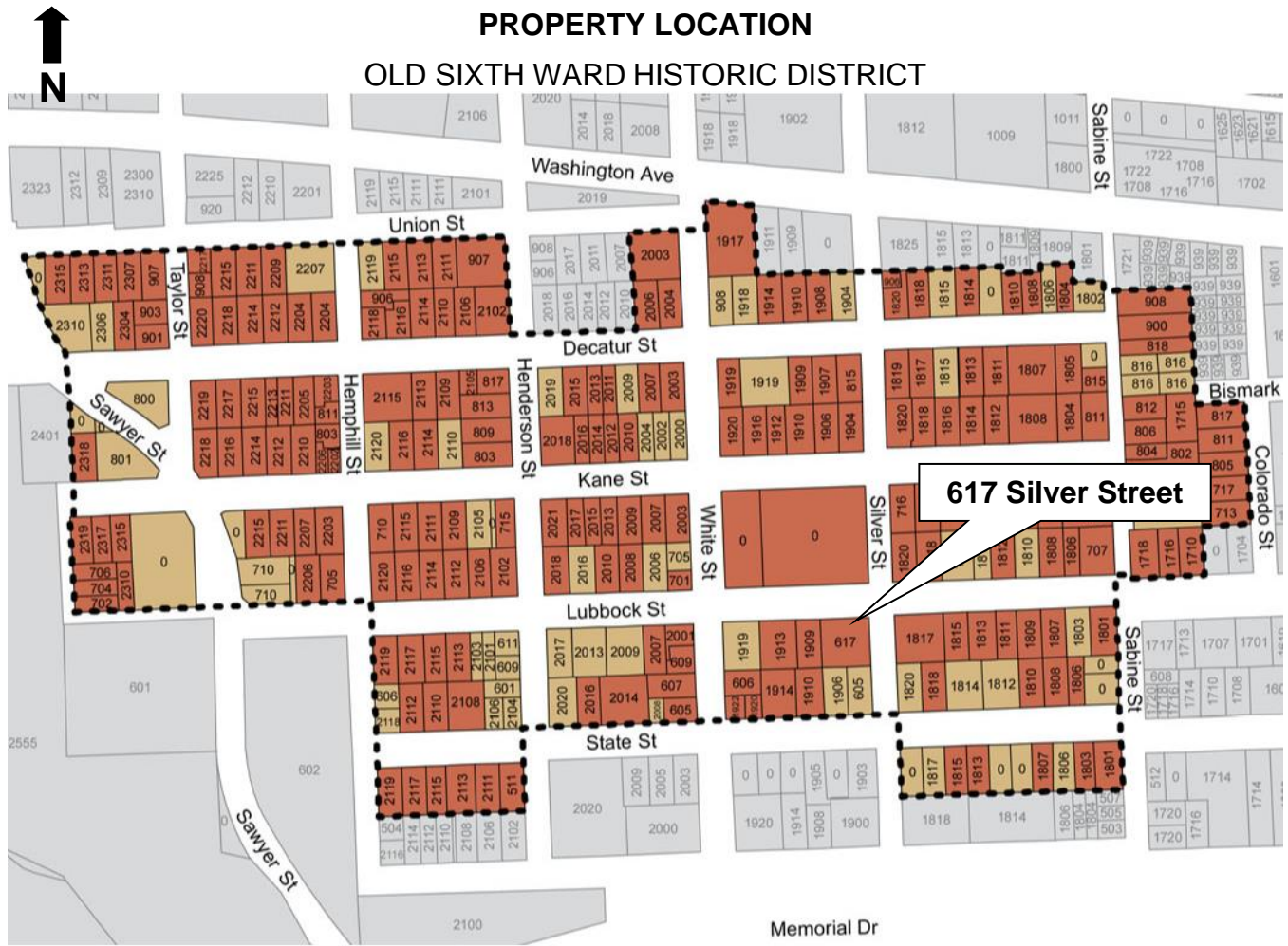
Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

OLD SIXTH WARD DESIGN GUIDELINES

- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



**Building Classification**

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO



EXISTING





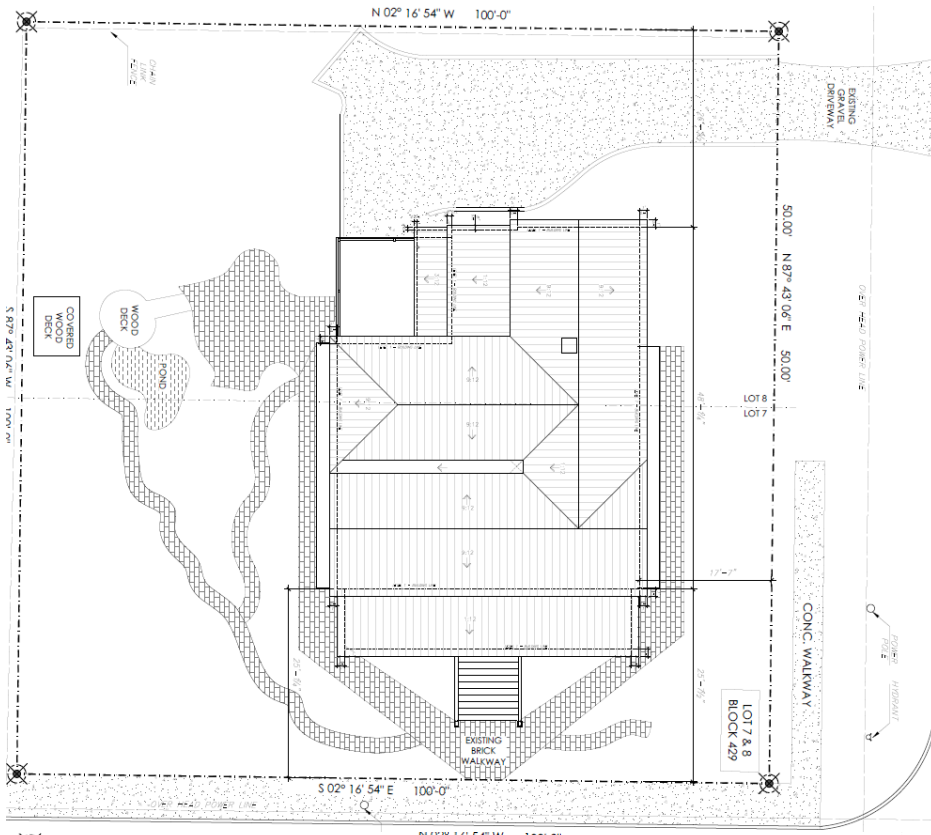
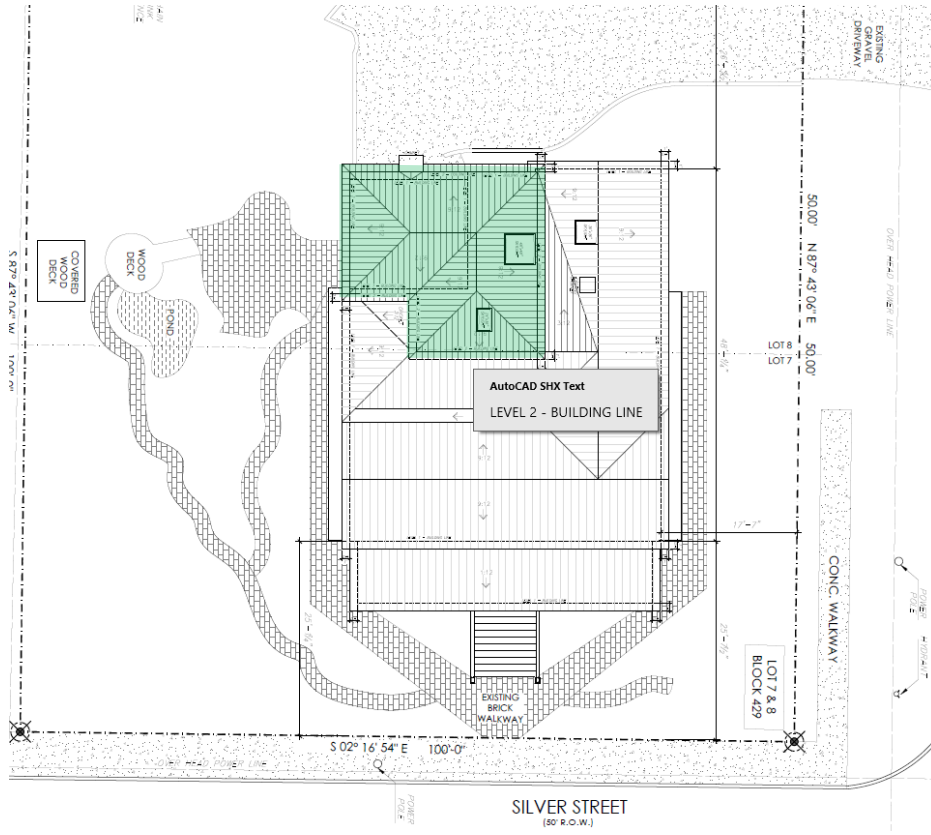


Figure 1 and 2- Existing and Proposed site/roof plan









EXISTING  
RIGHT ELEVATION  
Scale: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



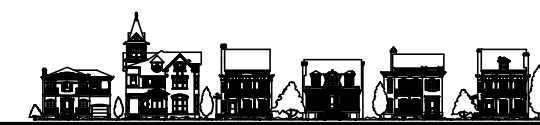


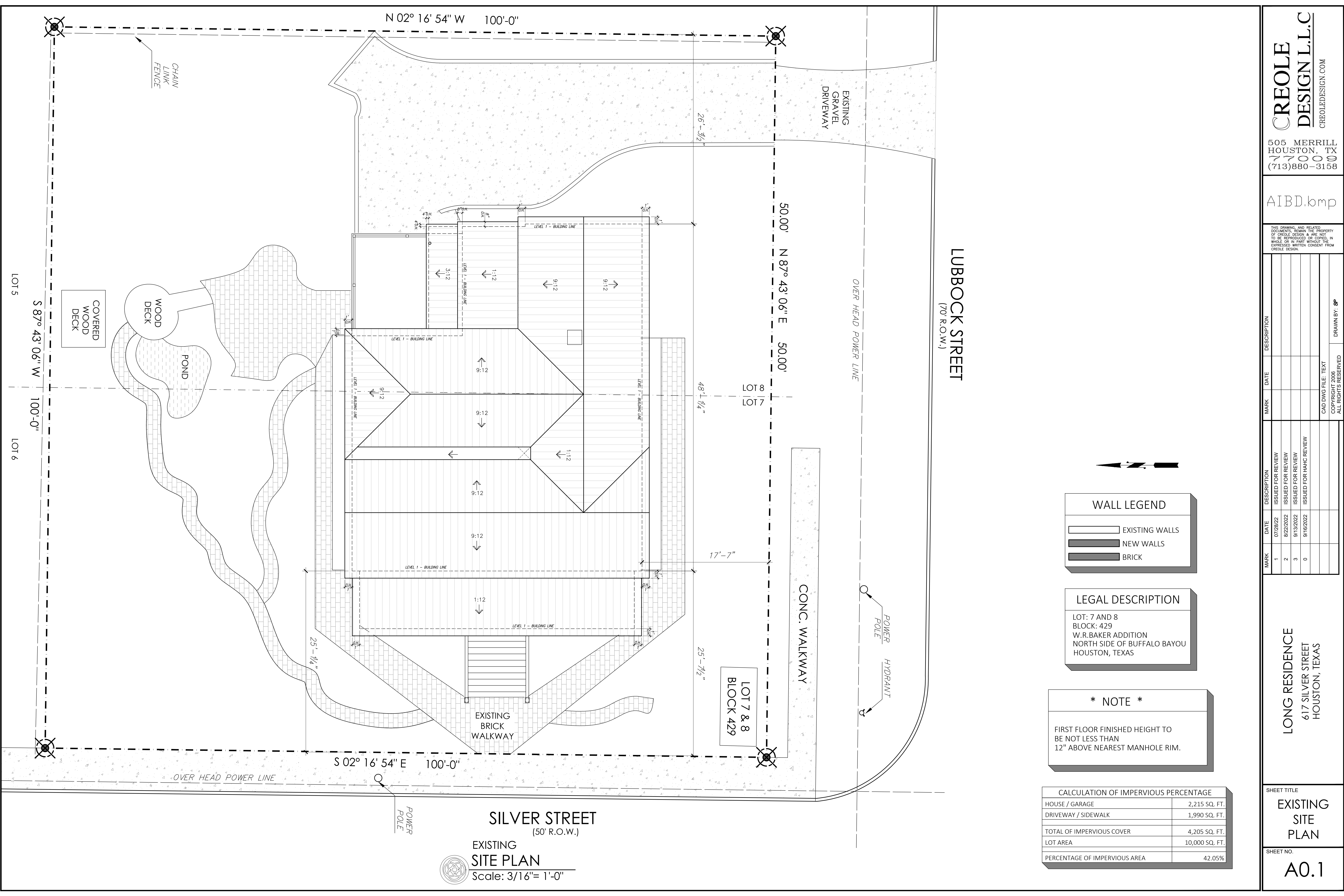
LONG RESIDENCE

617 SILVER STREET  
HOUSTON, TEXAS

**CREOLE DESIGN L.L.C**

505 MERRILL  
HOUSTON, TX 77009  
(713)880-3158





**CREOLE DESIGN L.L.C.**  
 CREOLEDESIGN.COM  
 505 MERRILL HOUSTON, TX 77002  
 (713)880-3158

AIBD.kmp

THIS DRAWING AND RELATED DOCUMENTS REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/22	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR H&M REVIEW

CAD DWG FILE: TEXT  
 COPYRIGHT 2006  
 ALL RIGHTS RESERVED  
 DRAWN BY: SP

**WALL LEGEND**

- EXISTING WALLS
- NEW WALLS
- BRICK

**LEGAL DESCRIPTION**

LOT: 7 AND 8  
 BLOCK: 429  
 W.R.BAKER ADDITION  
 NORTH SIDE OF BUFFALO BAYOU  
 HOUSTON, TEXAS

**\* NOTE \***

FIRST FLOOR FINISHED HEIGHT TO BE NOT LESS THAN 12" ABOVE NEAREST MANHOLE RIM.

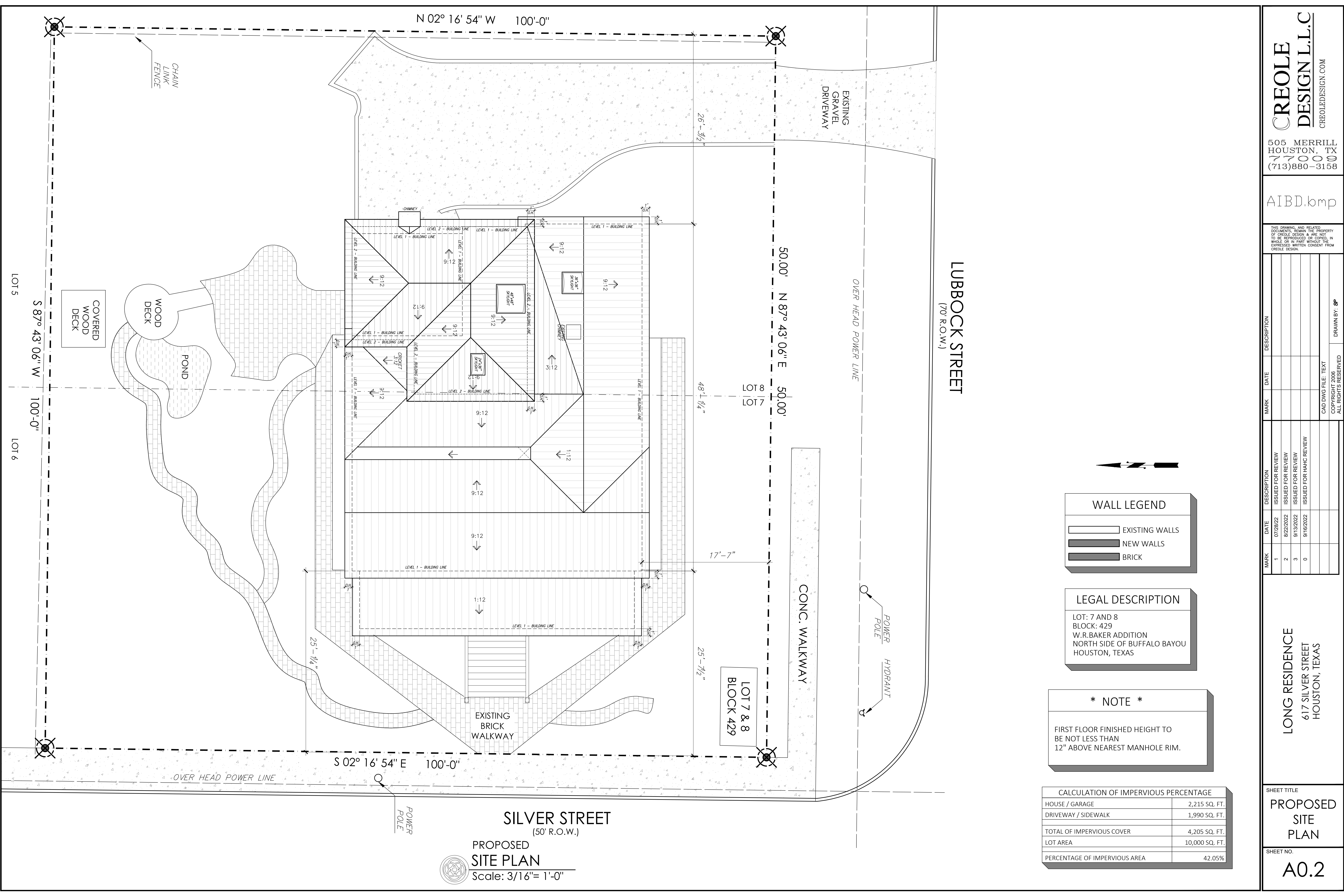
**CALCULATION OF IMPERVIOUS PERCENTAGE**

HOUSE / GARAGE	2,215 SQ. FT.
DRIVEWAY / SIDEWALK	1,990 SQ. FT.
TOTAL OF IMPERVIOUS COVER	4,205 SQ. FT.
LOT AREA	10,000 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	42.05%

**LONG RESIDENCE**  
 617 SILVER STREET  
 HOUSTON, TEXAS

SHEET TITLE  
**EXISTING SITE PLAN**

SHEET NO.  
**A0.1**



**CREOLE DESIGN L.L.C.**  
 CREOLEDESIGN.COM  
 505 MERRILL HOUSTON, TX 77002  
 (713)880-3158

AIBD.kmp

THIS DRAWING, AND RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/2022	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR H&M REVIEW

CAD DWG FILE: TEXT  
 COPYRIGHT 2006  
 ALL RIGHTS RESERVED  
 DRAWN BY: SP

**LONG RESIDENCE**  
 617 SILVER STREET  
 HOUSTON, TEXAS

**PROPOSED SITE PLAN**

SHEET NO.  
**A0.2**

**WALL LEGEND**

	EXISTING WALLS
	NEW WALLS
	BRICK

**LEGAL DESCRIPTION**

LOT: 7 AND 8  
 BLOCK: 429  
 W.R.BAKER ADDITION  
 NORTH SIDE OF BUFFALO BAYOU  
 HOUSTON, TEXAS

**\* NOTE \***

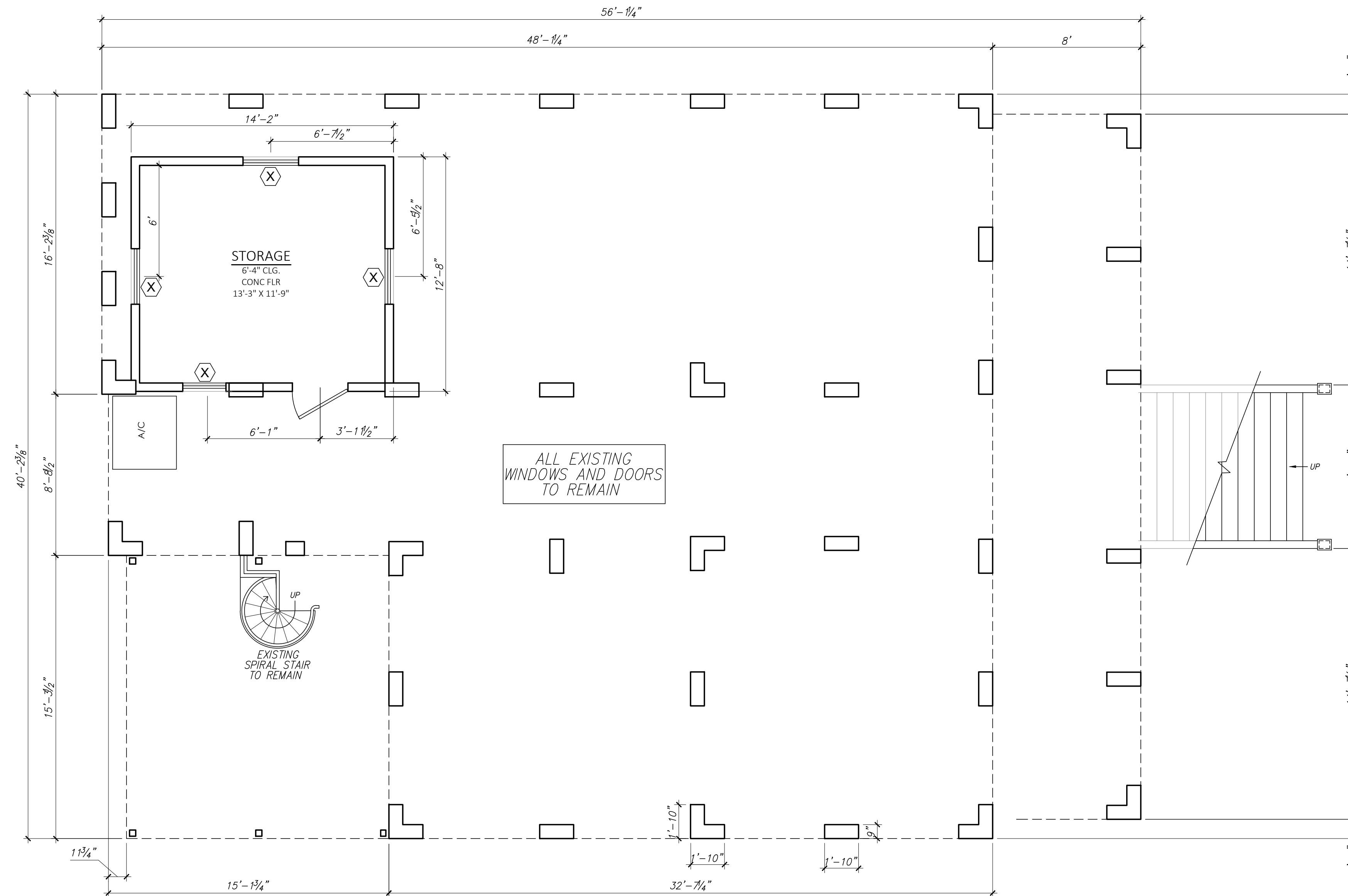
FIRST FLOOR FINISHED HEIGHT TO BE NOT LESS THAN 12" ABOVE NEAREST MANHOLE RIM.

**CALCULATION OF IMPERVIOUS PERCENTAGE**

HOUSE / GARAGE	2,215 SQ. FT.
DRIVEWAY / SIDEWALK	1,990 SQ. FT.
TOTAL OF IMPERVIOUS COVER	4,205 SQ. FT.
LOT AREA	10,000 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	42.05%

**SILVER STREET**  
 (50' R.O.W.)

**PROPOSED SITE PLAN**  
 Scale: 3/16" = 1'-0"



EXISTING  
**LOWER LEVEL FLOOR PLAN**  
Scale: 1/4" = 1'-0"

617 SILVER STREET SQUARE FOOTAGE CHART			
	EXISTING	+/-	PROPOSED
FIRST FLOOR:	1,694 SF	---	1,694 SF
SECOND FLOOR:	---	+529 SF	529 SF
TOTAL HEATED:	1,694 SF	+529 SF	2223 SF
PORCH#1:	305 SF	---	305 SF
STORAGE:	180 SF	---	180 SF
DECK:	217 SF	---	217 SF
TOTAL UNHEATED:	702 SF	---	702 SF
TOTAL COVERED:	2,396 SF	+529 SF	+2925 SF

**WALL LEGEND**

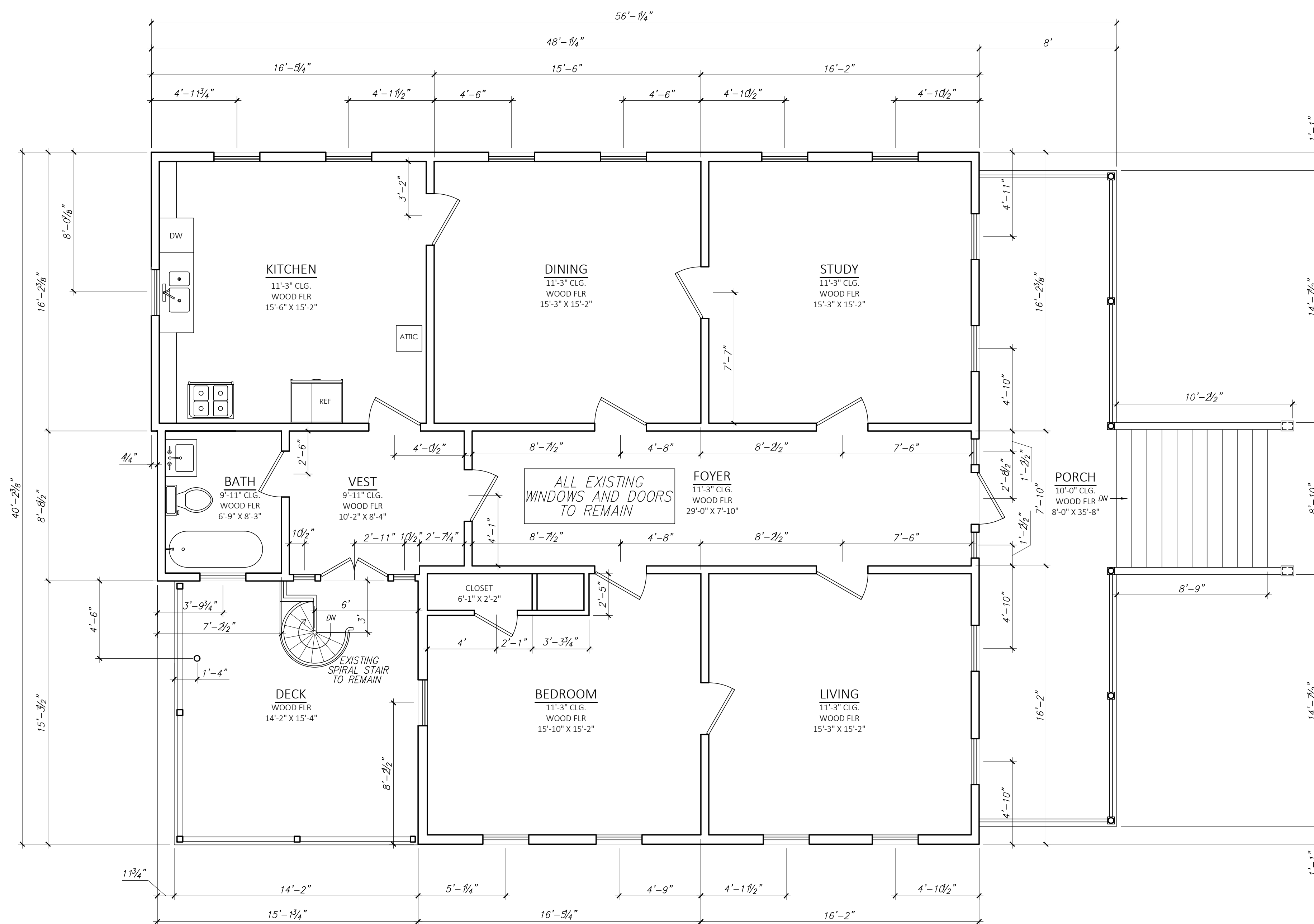
- EXISTING WALLS
- NEW WALLS
- BRICK

WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
A	4	2'-8"	6'-0"	SINGLE HUNG
B	1	1'-6"	3'-6"	SINGLE HUNG
C	1	1'-6"	2'-6"	SINGLE HUNG - TEMPERED
D	1	2'-0"	4'-0"	SINGLE HUNG

DOOR SCHEDULE				
DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
1	1	(2) 1'-6"	6'-8"	INTERIOR DOUBLE DOOR (UNIT)
2	1	3'-8"	6'-8"	INTERIOR DOOR
3	2	2'-8"	6'-8"	INTERIOR POCKET DOOR
4	1	2'-0"		GLASS DOOR AT SHOWER ENCLOSURE

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/22	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR H&M REVIEW

CAD DWG FILE: TEXT  
COPYRIGHT 2008  
ALL RIGHTS RESERVED  
DRAWN BY: SP



EXISTING  
**LEVEL 1 FLOOR PLAN**  
 Scale: 1/4" = 1'-0"

617 SILVER STREET SQUARE FOOTAGE CHART			
	EXISTING	+/-	PROPOSED
FIRST FLOOR:	1,694 SF	---	1,694 SF
SECOND FLOOR:	---	+529 SF	529 SF
TOTAL HEATED:	1,694 SF	+529 SF	2223 SF
PORCH#1:	305 SF	---	305 SF
STORAGE:	180 SF	---	180 SF
DECK:	217 SF	---	217 SF
TOTAL UNHEATED:	702 SF	---	702 SF
TOTAL COVERED:	2,396 SF	+529 SF	+2925 SF

WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	BRICK

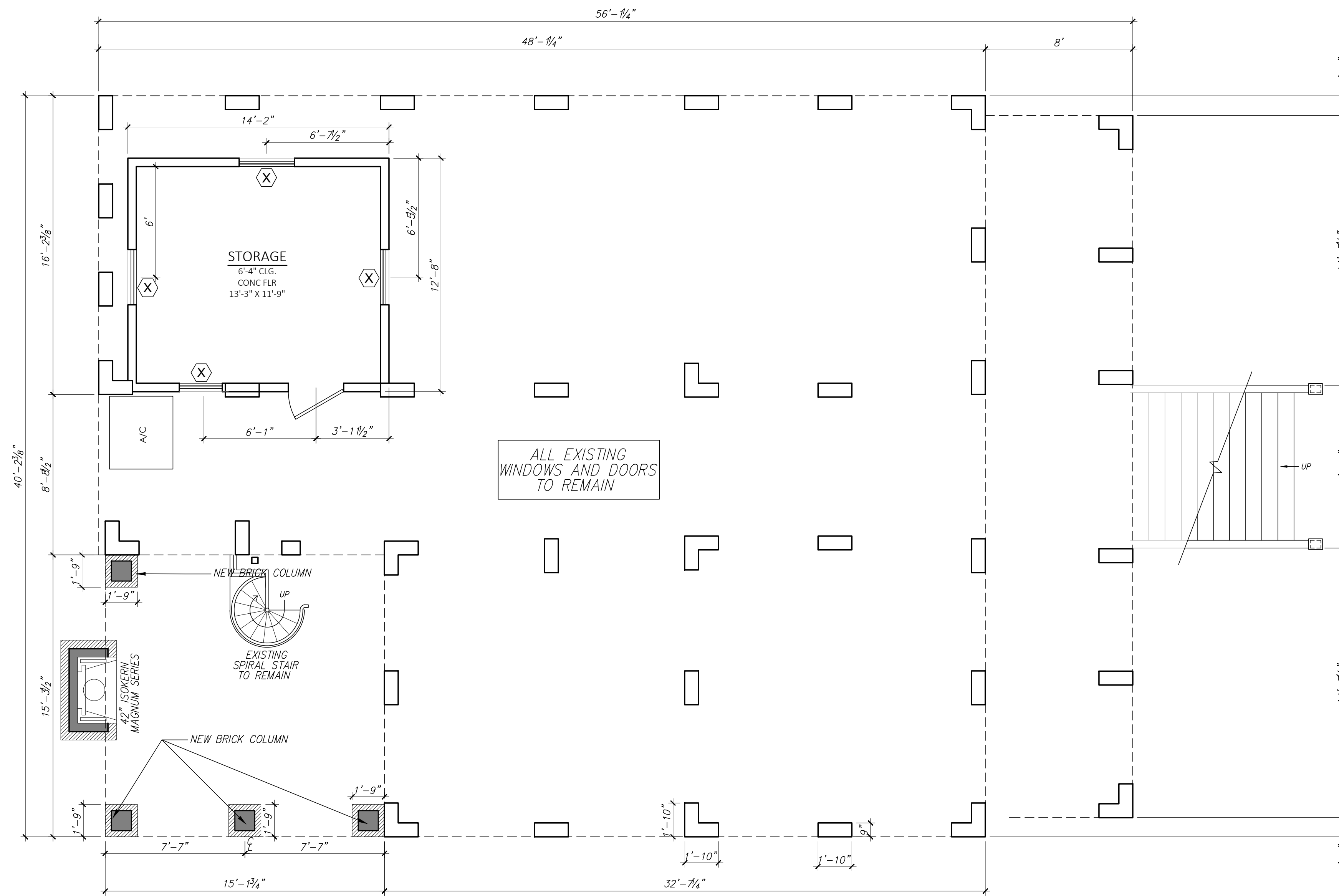
WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
(A)	4	2'-8"	6'-0"	SINGLE HUNG
(B)	1	1'-6"	3'-6"	SINGLE HUNG
(C)	1	1'-6"	2'-6"	SINGLE HUNG - TEMPERED
(D)	1	2'-0"	4'-0"	SINGLE HUNG

DOOR SCHEDULE				
DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
1	1	(2)1'-6"	6'-8"	INTERIOR DOUBLE DOOR (UNIT)
2	1	3'-8"	6'-8"	INTERIOR DOOR
3	2	2'-8"	6'-8"	INTERIOR POCKET DOOR
4	1	2'-0"		GLASS DOOR AT SHOWER ENCLOSURE

THIS DRAWING, AND RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/2022	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR HATCH REVIEW

CAD DWG FILE: TEXT  
 COPYRIGHT 2006  
 ALL RIGHTS RESERVED  
 DRAWN BY: SP



PROPOSED  
**LOWER LEVEL FLOOR PLAN**  
Scale: 1/4" = 1'-0"

617 SILVER STREET SQUARE FOOTAGE CHART			
	EXISTING	+/-	PROPOSED
FIRST FLOOR:	1,694 SF	---	1,694 SF
SECOND FLOOR:	---	+529 SF	529 SF
TOTAL HEATED:	1,694 SF	+529 SF	2223 SF
PORCH#1:	305 SF	---	305 SF
STORAGE:	180 SF	---	180 SF
DECK:	217 SF	---	217 SF
TOTAL UNHEATED:	702 SF	---	702 SF
TOTAL COVERED:	2,396 SF	+529 SF	+2925 SF

**WALL LEGEND**

EXISTING WALLS

NEW WALLS

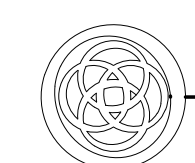
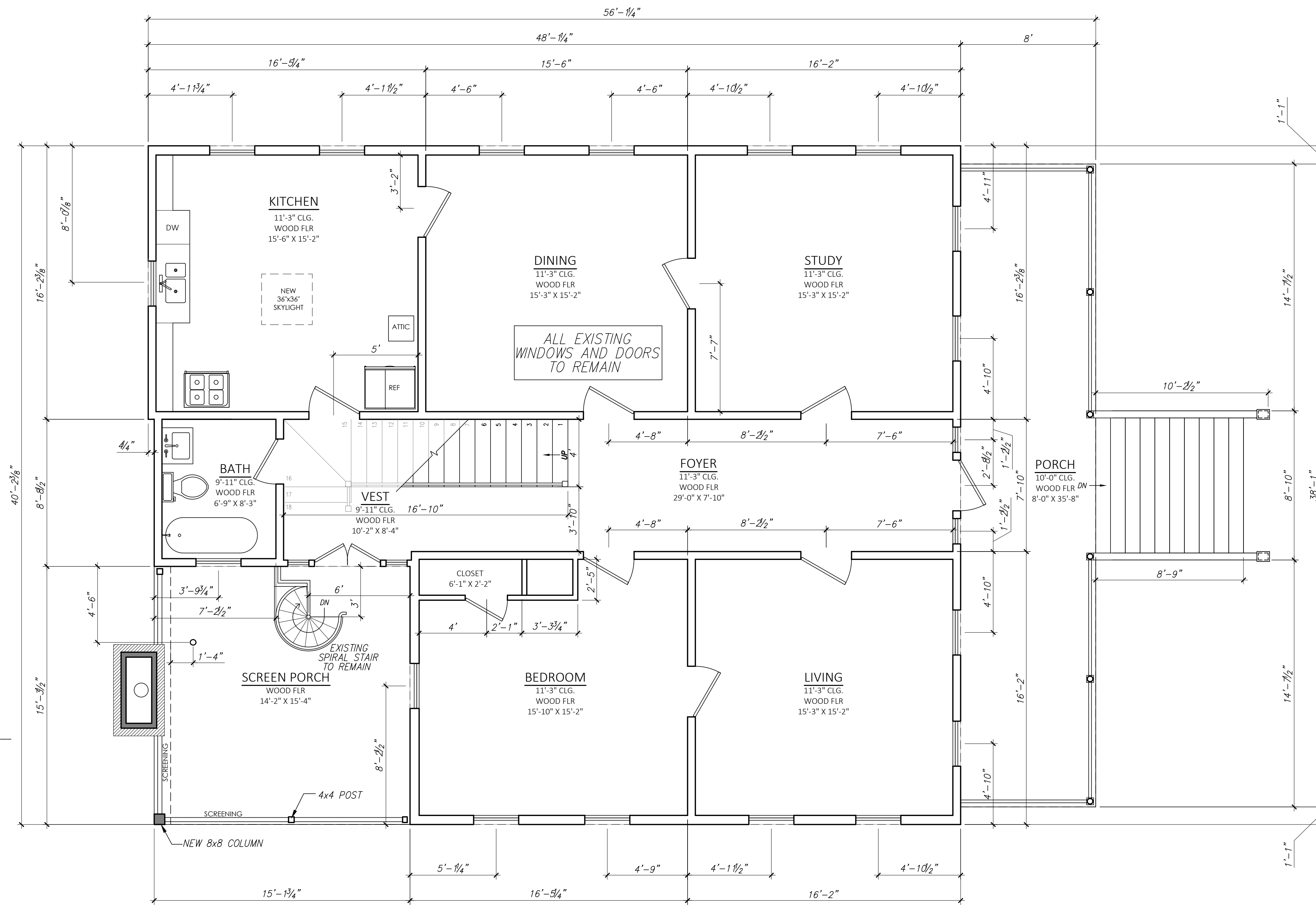
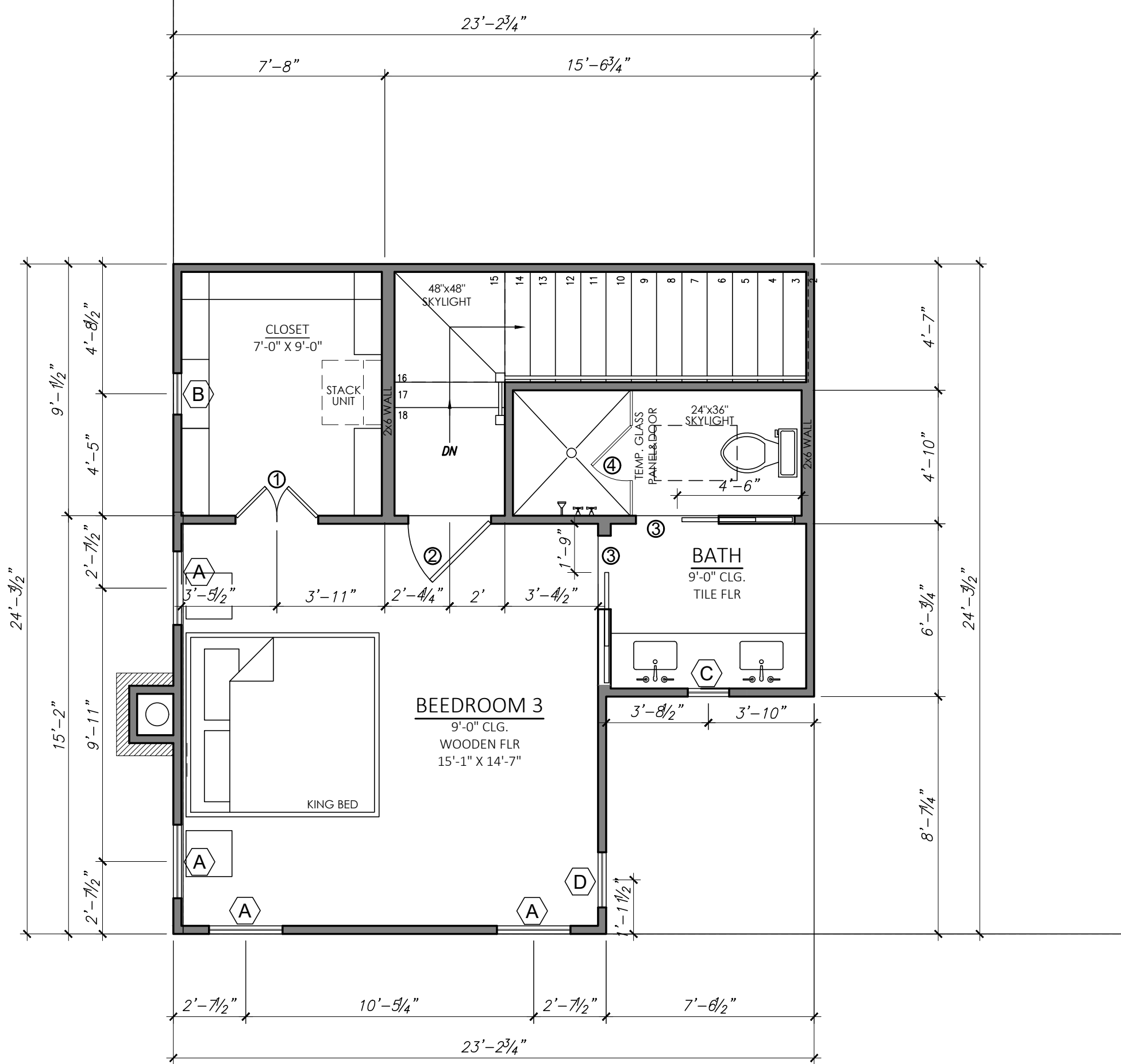
BRICK

WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
A	4	2'-8"	6'-0"	SINGLE HUNG
B	1	1'-6"	3'-6"	SINGLE HUNG
C	1	1'-6"	2'-6"	SINGLE HUNG - TEMPERED
D	1	2'-0"	4'-0"	SINGLE HUNG

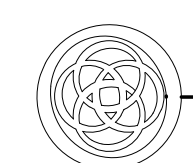
DOOR SCHEDULE				
DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
1	1	(2)1'-6"	6'-8"	INTERIOR DOUBLE DOOR (UNIT)
2	1	3'-8"	6'-8"	INTERIOR DOOR
3	2	2'-8"	6'-8"	INTERIOR POCKET DOOR
4	1	2'-0"		GLASS DOOR AT SHOWER ENCLOSURE

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/2022	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR H&C REVIEW

CAD DWG FILE: TEXT  
DRAWN BY: SP  
COPYRIGHT 2006  
ALL RIGHTS RESERVED



**PROPOSED LEVEL 2 FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**PROPOSED LEVEL 1 FLOOR PLAN**  
Scale: 1/4" = 1'-0"

617 SILVER STREET SQUARE FOOTAGE CHART			
	EXISTING	+/-	PROPOSED
FIRST FLOOR:	1,694 SF	---	1,694 SF
SECOND FLOOR:	---	+529 SF	529 SF
<b>TOTAL HEATED:</b>	<b>1,694 SF</b>	<b>+529 SF</b>	<b>2,223 SF</b>
PORCH#1:	305 SF	---	305 SF
STORAGE:	180 SF	---	180 SF
DECK:	217 SF	---	217 SF
<b>TOTAL UNHEATED:</b>	<b>702 SF</b>	<b>---</b>	<b>702 SF</b>
<b>TOTAL COVERED:</b>	<b>2,396 SF</b>	<b>+529 SF</b>	<b>+2,925 SF</b>

### WALL LEGEND

- EXISTING WALLS
- NEW WALLS
- BRICK

### WINDOW SCHEDULE

MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
A	4	2'-8"	6'-0"	SINGLE HUNG
B	1	1'-6"	3'-6"	SINGLE HUNG
C	1	1'-6"	2'-6"	SINGLE HUNG - TEMPERED
D	1	2'-0"	4'-0"	SINGLE HUNG

### DOOR SCHEDULE

DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
1	1	(2) 1'-6"	6'-8"	INTERIOR DOUBLE DOOR (UNIT)
2	1	3'-8"	6'-8"	INTERIOR DOOR
3	2	2'-8"	6'-8"	INTERIOR POCKET DOOR
4	1	2'-0"		GLASS DOOR AT SHOWER ENCLOSURE

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/2022	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR H&IC REVIEW

CAD DWG FILE: TEXT  
COPYRIGHT 2008  
ALL RIGHTS RESERVED  
DRAWN BY: SP



NOTE:  
 WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR  
 WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR.  
 OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT  
 OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER  
 SPHERE. DEVICES SHALL COMPLY WITH IRC 2012  
 R613.2 AND MEET ASTM F2090-10 STANDARD.

**CREOLE  
 DESIGN L.L.C.**  
 CREOLEDESIGN.COM

505 MERRILL  
 HOUSTON, TX  
 77002  
 (713)880-3158



EXISTING  
**REAR ELEVATION**  
 Scale: 1/4" = 1'-0"



EXISTING  
**LEFT ELEVATION**  
 Scale: 1/4" = 1'-0"



EXISTING  
**RIGHT ELEVATION**  
 Scale: 1/4" = 1'-0"



EXISTING  
**FRONT ELEVATION**  
 Scale: 1/4" = 1'-0"

AIBD.kmp

THIS DRAWING, AND RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/22	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR H&C REVIEW

CAD DWG FILE: TEXT  
 COPYRIGHT 2008  
 ALL RIGHTS RESERVED

DRAWN BY: SP

**LONG RESIDENCE**  
 617 SILVER STREET  
 HOUSTON, TEXAS

SHEET TITLE  
**EXISTING ELEVATIONS**

SHEET NO.  
**A2.1**

MARK	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	07/28/22
2	ISSUED FOR REVIEW	8/22/2022
3	ISSUED FOR REVIEW	9/13/2022
0	ISSUED FOR HARC REVIEW	9/16/2022

CAD DWG FILE: TEXT  
COPYRIGHT 2008 ALL RIGHTS RESERVED  
DRAWN BY: SP

NOTE:  
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER SPHERE. DEVICES SHALL COMPLY WITH IRC 2012 R613.2 AND MEET ASTM F2090-10 STANDARD.



**PROPOSED REAR ELEVATION**  
Scale: 1/4" = 1'-0"



**PROPOSED LEFT ELEVATION**  
Scale: 1/4" = 1'-0"



**PROPOSED RIGHT ELEVATION**  
Scale: 1/4" = 1'-0"

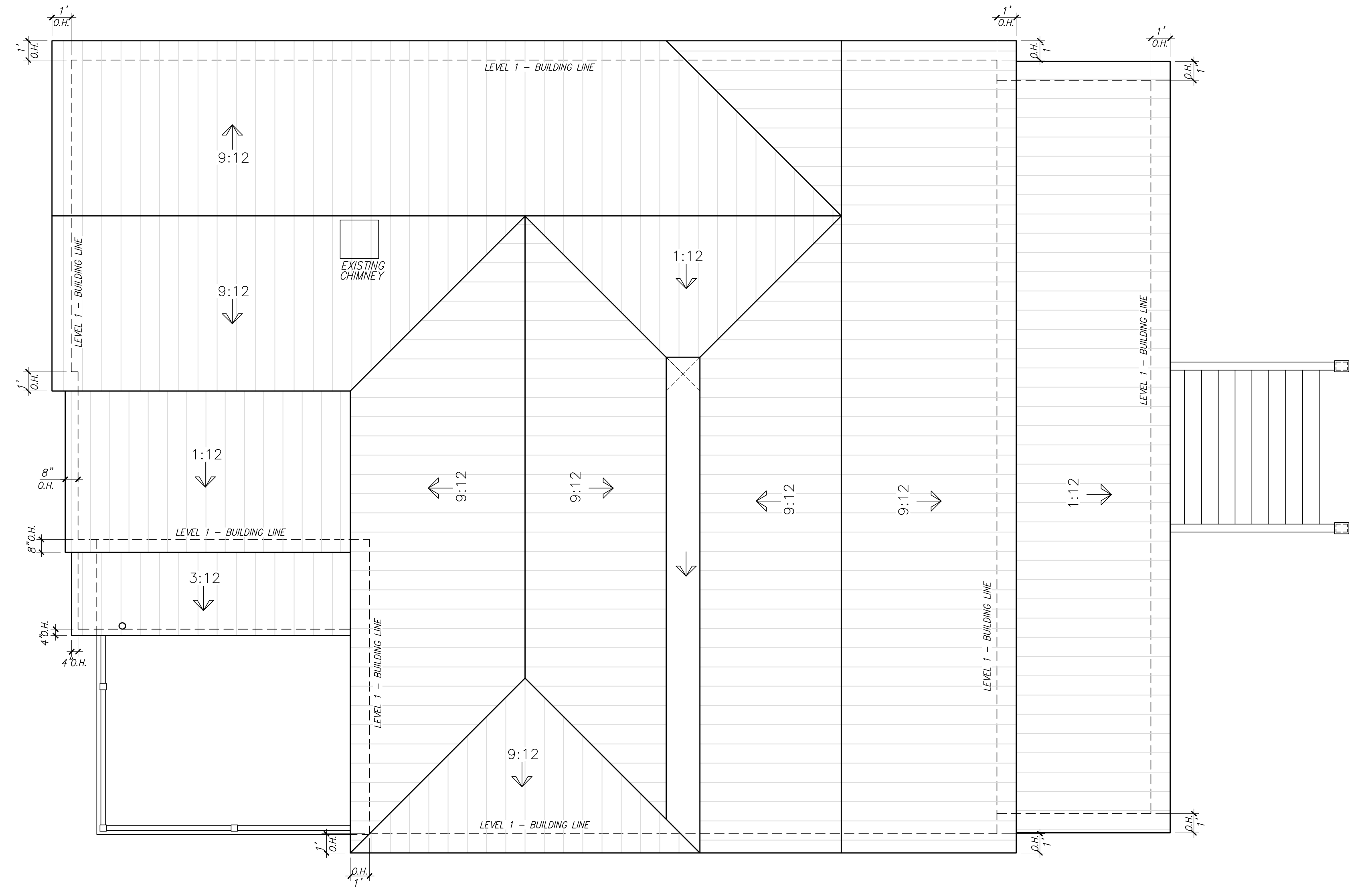


**PROPOSED FRONT ELEVATION**  
Scale: 1/4" = 1'-0"

**LONG RESIDENCE**  
617 SILVER STREET  
HOUSTON, TEXAS

SHEET TITLE  
**PROPOSED ELEVATIONS**

SHEET NO.  
**A2.2**



EXISTING  
**ROOF PLAN**  
 Scale: 1/4" = 1'-0"

THIS DRAWING AND RELATED DOCUMENTS REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION	MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW			
2	8/22/2022	ISSUED FOR REVIEW			
3	9/13/2022	ISSUED FOR REVIEW			
0	9/16/2022	ISSUED FOR H&C REVIEW			

CAD DWG FILE: TEXT  
 COPYRIGHT 2006  
 ALL RIGHTS RESERVED  
 DRAWN BY: **SP**

**LONG RESIDENCE**  
 617 SILVER STREET  
 HOUSTON, TEXAS

SHEET TITLE  
**EXISTING ROOF PLAN**

SHEET NO.  
**A3.1**

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/22	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR HAHIC REVIEW

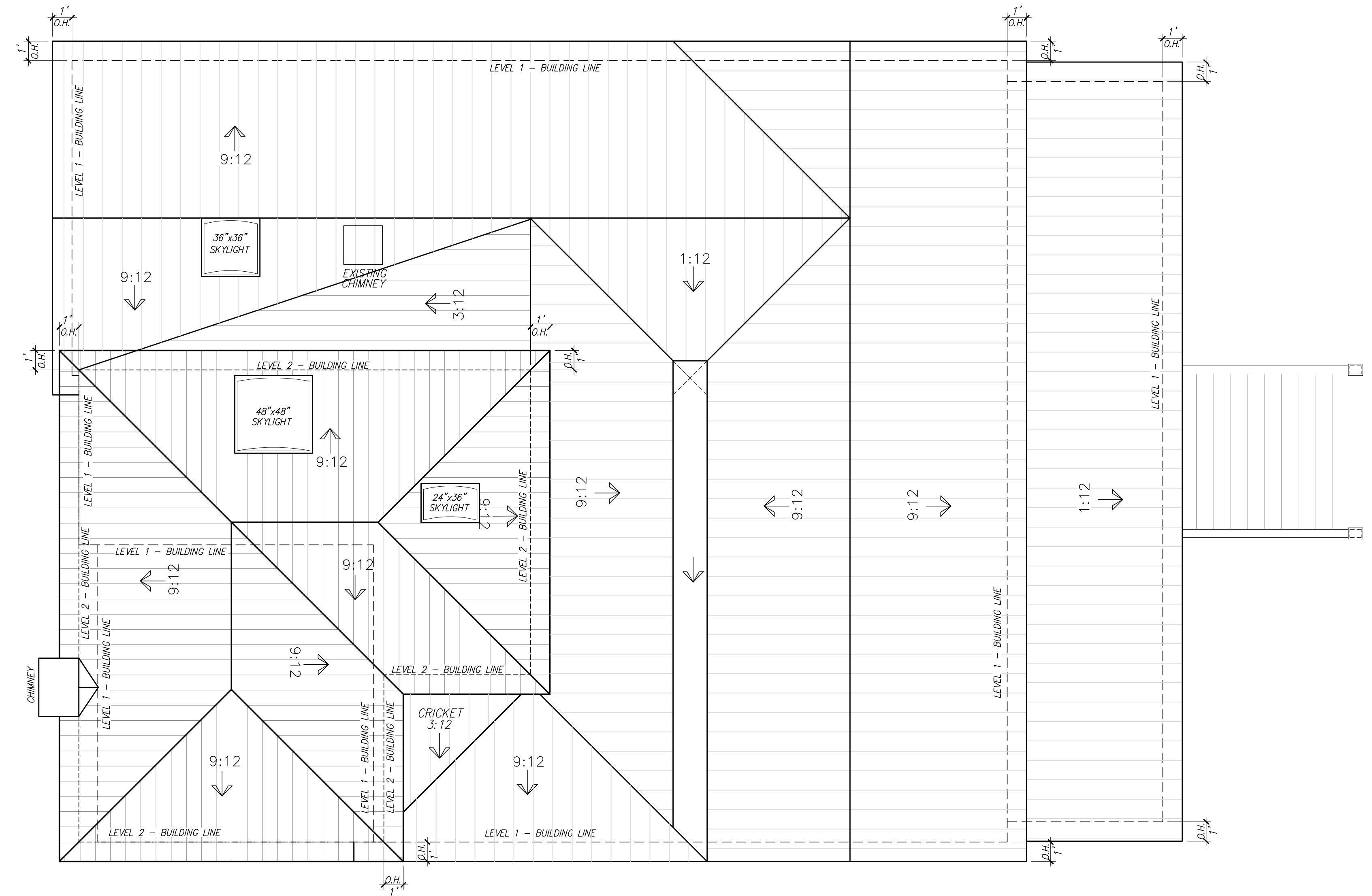
CAD DWG FILE: TEXT  
COPYRIGHT 2006  
ALL RIGHTS RESERVED  
DRAWN BY: SP

MARK	DATE	DESCRIPTION
1	07/28/22	ISSUED FOR REVIEW
2	8/22/22	ISSUED FOR REVIEW
3	9/13/2022	ISSUED FOR REVIEW
0	9/16/2022	ISSUED FOR HAHIC REVIEW

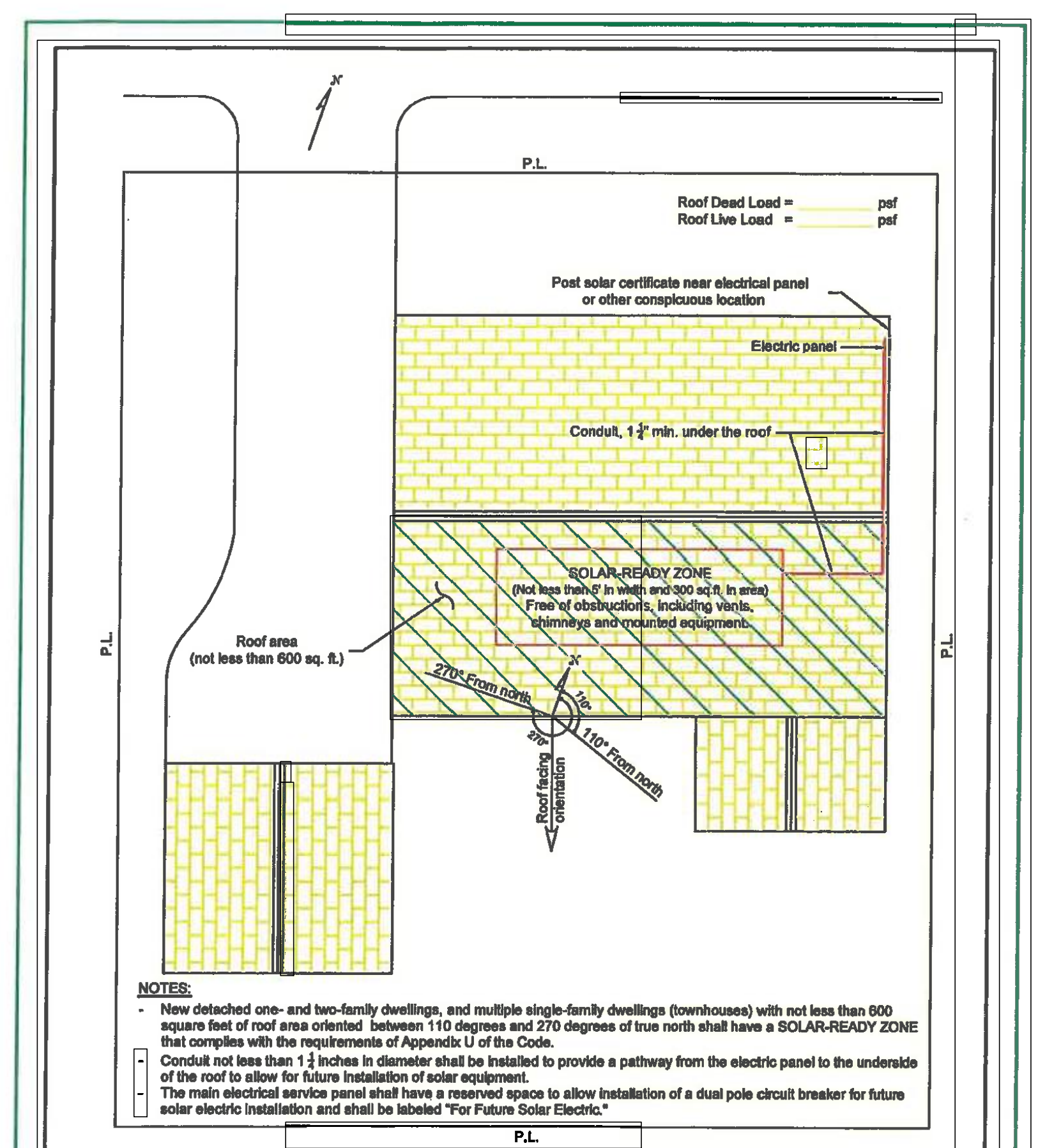
**LONG RESIDENCE**  
617 SILVER STREET  
HOUSTON, TEXAS

SHEET TITLE  
**PROPOSED  
ROOF  
PLAN**

SHEET NO.  
**A3.2**



PROPOSED  
**ROOF PLAN**  
Scale: 1/4" = 1'-0"



**NOTES:**

- New detached one- and two-family dwellings, and multiple single-family dwellings (townhouses) with not less than 600 square feet of roof area oriented between 110 degrees and 270 degrees of true north shall have a SOLAR-READY ZONE that complies with the requirements of Appendix U of the Code.
- Conduit not less than 1 1/2 inches in diameter shall be installed to provide a pathway from the electric panel to the underside of the roof to allow for future installation of solar equipment.
- The main electrical service panel shall have a reserved space to allow installation of a dual pole circuit breaker for future solar electric installation and shall be labeled "For Future Solar Electric."

STANDARD DRAWING  
**CITY OF HOUSTON**  
HOUSTON PUBLIC WORKS

SINGLE FAMILY RESIDENCE  
SOLAR READY EXAMPLE

1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY:  
*Ce. Bar*

DATE: 3/17/2022

1 of 1