1303 Cortlandt St. Houston Heights East

CERTIFICATE OF APPROPRIATENESS

Applicant: Ashish Mahendru, owner

Property: Lots 10, 11, and 12 Block 169, Houston Heights Subdivision, City of Houston, Harris

County, Texas. The site includes a historic two-story residence

Significance: 1915- 2 - Story Craftsman

Proposal: Auxiliary Building- Back building, large lot. See drawings for details.

Public No comment received.

Comment:

Civic No comment received.

Association:

Recommendation: Approval

HAHC Action: -

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: Effective:



COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

ITEM C.5

May 19, 2022 HPO File No. HP2021_0080 1303 Cortlandt St. Houston Heights East

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies D - does not satisfy NA - not applicable
\boxtimes			(1)	The proposed activity must retain and preserve the historical character of the property.
\boxtimes			(2)	The proposed activity must contribute to the continued availability of the property for a contemporary use;
			(3)	The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
			(4)	The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
			(5)	The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
			(6)	New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
			(7)	The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
		\boxtimes	(8)	Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
			(9)	The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological, or cultural material, including but not limited to siding, windows, doors and porch elements;
			(10)	The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
			(11)	The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

Meets the Heights Design Guidelines

PROPERTY LOCATION





Figure 1 - Heights East Map Partial

1303 Cortlandt St. Houston Heights East

INVENTORY PHOTO



SITE PLAN

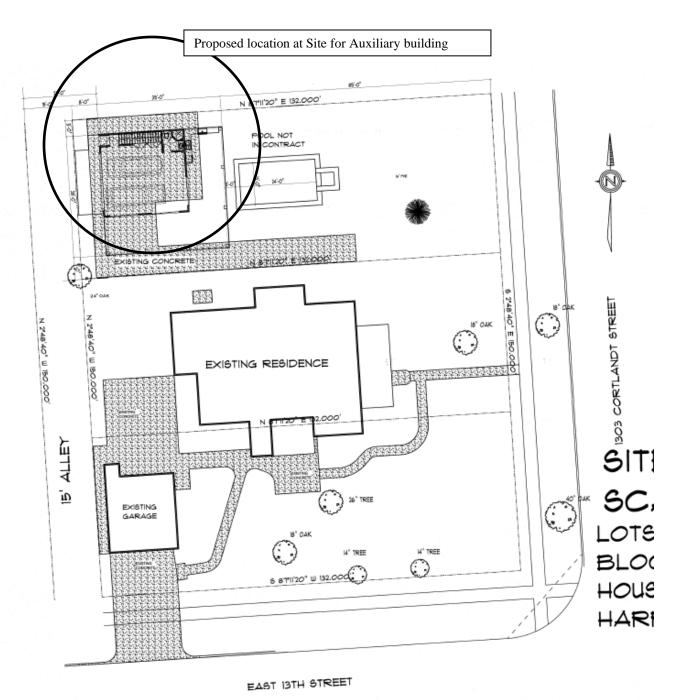
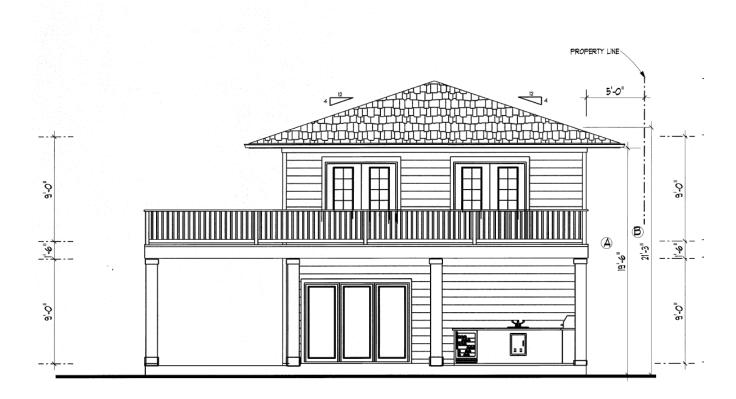


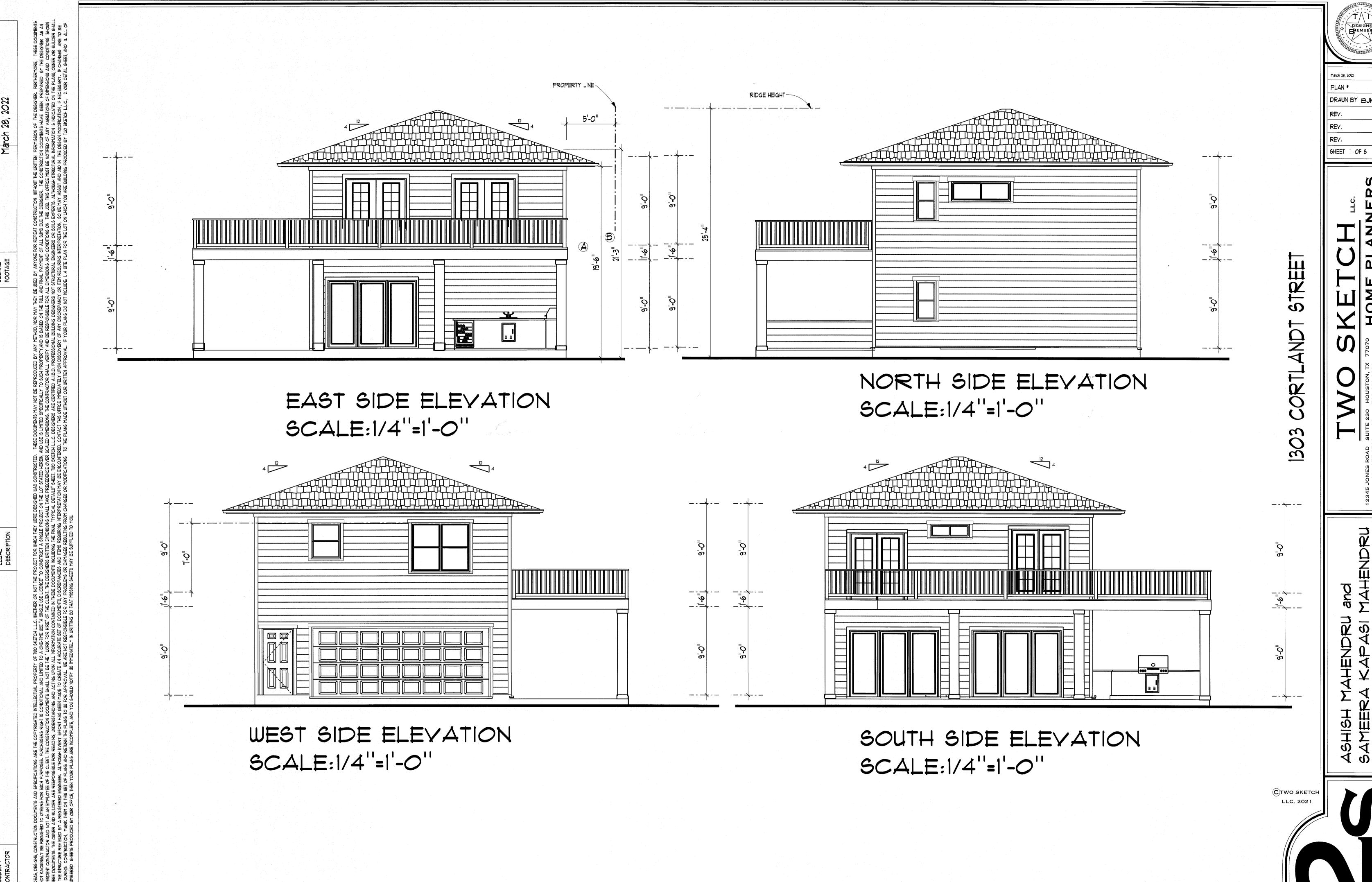
Figure 2 - Proposed Site Plan



EAST SIDE ELEVATION

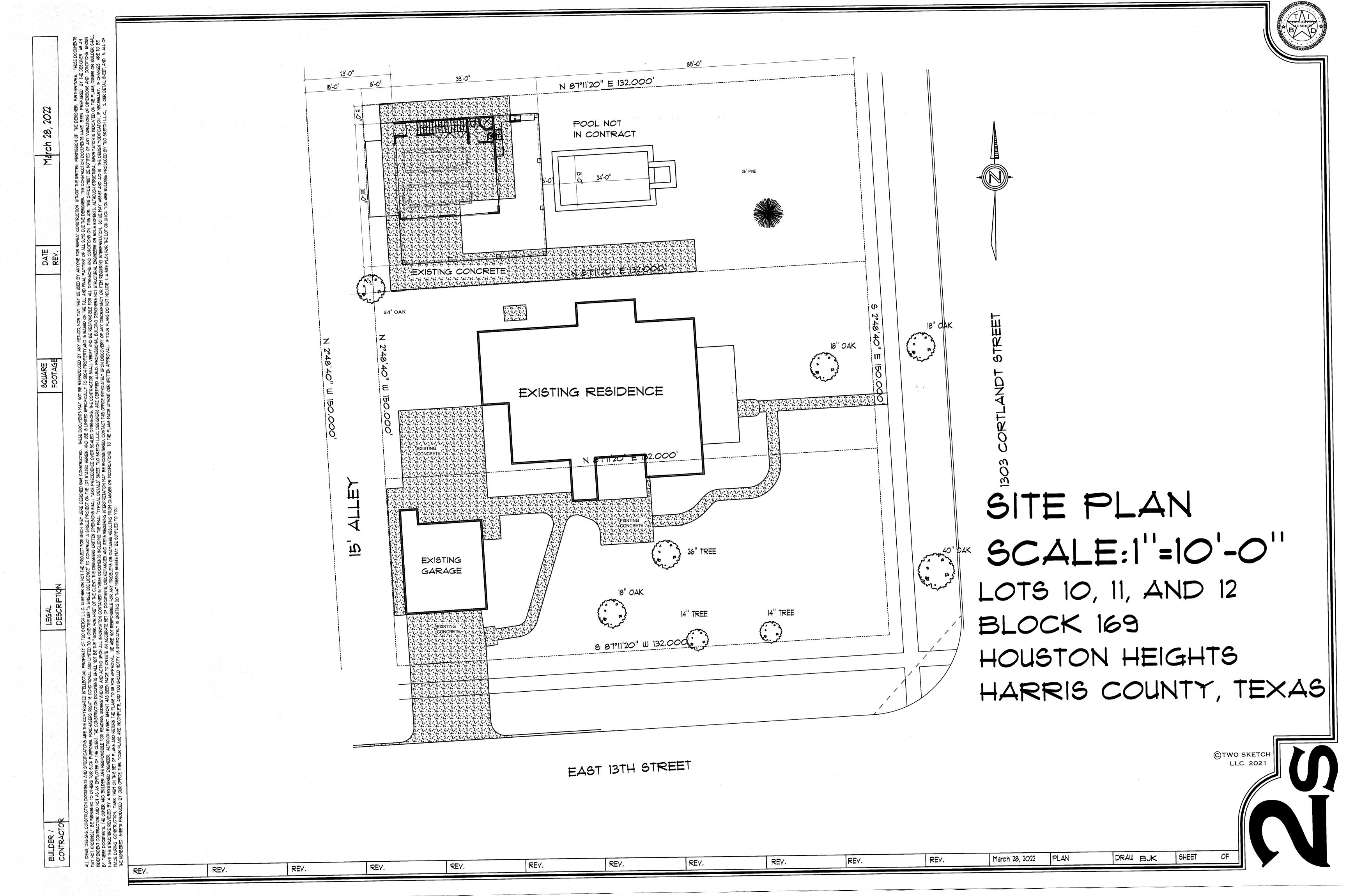
Figure 3 - Proposed Elevation

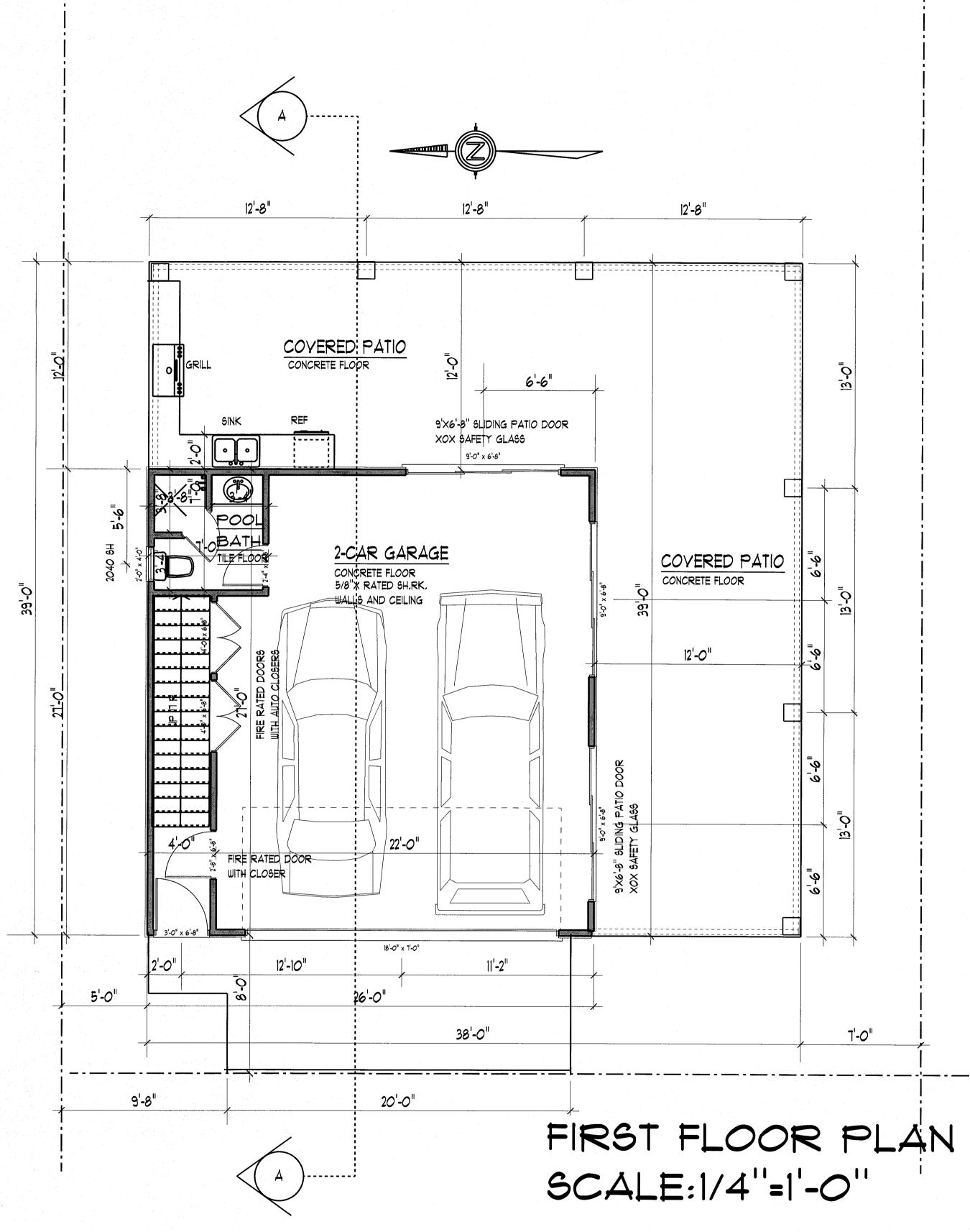
See drawings – attached for details.



SHEET | OF 8

MAHENDRU RA KAPASI 1





15 WIDE FOOT ALLEY

AREAS

FIRST FLOOR GARAGE 702 SQ,FT. SECOND FLOOR UNFINISHED 702 TOTAL GARAGE 1404

FIRST FLOOR COYERED PORCH SECOND FLOOR OPEN BALCONY 120 TOTAL DECK AND BALCONY 1440 SQ.FT. TOTAL STRUCTURE 2844 SQ.FT.

2012 IRC UNLESS OTHERWISE NOTED

1. 9' CEILINGS DOWN: 9' CEILINGS UP.

2. 6'-8" DOORS DOWN: 6'-8" DOORS UP.

3. 6'-8" HEADER HEIGHTS DOWN; 6'-8" HEADER HEIGHTS UP. 4. ALL OUTDOOR HOSE BIBBS MUST HAVE VACUUM BREAKERS,

5. IF AN A/C IS USED DRAIN MUST GO TO A WORKING TRAP.

6. MUST PROVIDE DRAINAGE OF YOUR PROPERTY TO STREET.

1, UNFINISHED PLYWOOD FLOORS EXCEPT AS NOTED.

8. 1/2" SHEETROCK WALLS & CEILINGS.

9. GRANITE DRAIN AND SPLASH IN OUTDOOR KITCHEN GRANITE IN POOL BATH.

10. YINYL FRAME DOUBLE PAYNED LOW-E DIVIDED LIGHT WINDOWS AT FRONT ELEVATION. 11. YINYL FRAME DOUBLE PAYNED LOW-E ONE LIGHT WINDOWS ON SIDES & REAR ELEVATION. 12. VERIFY ALL SIZES AND MULL CONFIGURATIONS FOR WINDOWS WITH OWNER, CARPENTER:

PRIOR TO SALESMAN PLACING ORDER. 13. RECESS LIGHTS TO BE TIGHT INSULATION - RATED CEILING LIGHTS IRC R1102.4.4. 14. GFI 110 VOLT OUTLETS NEAR SINKS, IN GARAGE, AND ALL OUTSIDE WATER PROOF

OUTLETS.

15. SMOKE DETECTORS HARD WIRED TO 110 YOLT AND LOCATED AS PER IRC 314 ONE

DETECTOR REQUIRED TOP AND BOTTOM OF EACH STAIRWELL: ONE DETECTOR REQUIRED IN EACH SLEEPING AREA; ONE DETECTOR REQUIRED IN HALL ADJOINING STORAGE AREAS.

ALL MUST BE INTERCONNECTED AND AUDIBLE FROM BOTH FLOORS.

16. ALL GLAZING IN HAZARDOUS AREAS TO CONFIRM TO IRC 308. EXPOSED AREA OF

PANE GREATER THAN 9 SQ. FT. BOTTOM 18" ABOVE FLOOR, 17. ALL INSULATION TO BE NOT MORE THAN 25 FLAME SPREAD AND A SMOKE DEVELOPMENT

RATING OF NOT MORE THAN 450. UL STANDARD CLASS 1. R302.10.1

18. ALL EXHAUST FANS TO VENT OUTSIDE.

19. ALL PLUMBING VENTS TO VENT TO OUTSIDE, OR HAVE AN ADMITTANCE VALVE IRC 3114.4. 20. ALL FUTURE SLEEPING AREA WINDOWS TO HAVE A CLEAR OPENING OF 5.7 SQ. FT. MINIMUM,

20" WIDE AND 24" HIGH MINIMUM AND A SILL 44" MAXIMUM HEIGHT ABOYE FLOOR, IRC 310 AND 311 21. TANKLESS WATER HEATER IN ATTIC IN METAL PAN WITH RELIEF DRAIN TO OUTSIDE, PROVIDE ELECTRICITY

OR GAS. 22. FURNACE IN ATTIC, PROVIDE REQUIRED ELECTRICITY AND GAS FOR FUTURE USE.

23. IF GARAGE DOOR OPENERS ARE USED, PROVIDE LOW YOLTAGE FOR SHUT OFF AND

REVERSE SENSORS AT EITHER SIDE OF DOOR.

24. FIRESTOPS:

A. MATERIAL SPEC. AS R302.11 B. AT FURRED AREAS AND 10' INTERVALS ALONG WALLS AS PROVIDED IN IRC R302

C. AT VERTICAL AND HORIZONTAL INTERCONNECTING CONCEALED SPACE AS PROVIDED

IN IRC R302.12

D. CONCEALED SPACE UNDER STAIRS AT TOP AND BOTTOM OF STRINGERS.

E. GAPS AROUND DUCTS AND PIPES MUST BE SEALED WITH APPROVED MATERIAL AT FLOOR

AND CEILING LEVEL PENETRATIONS.

F. MATERIALS MAY BE 2X LUMBER, 1/2" GYP BOARD OR COMPRESSED GLASS FIBER, IRC R302.12.1 25. ALL GLASS LESS THAN 18" ABOVE THE FINISHED FLOOR AND WITHIN 24" OF A DOOR SWING OR

WITHIN 60" OF FLOOR MUST BE TEMPERED, IRC R308. 26. IN ACCORDANCE TO ELECTRICAL SERVICE STANDARDS... ALL ACCESS TO ELECTRICAL METERS

27. FLASHING AND COUNTER FLASHING AT ALL EXTERIOR OPENINGS WHEN METAL IS USED SHALL BE

26 GAUGE GALYANIZED.

28. ONE REQUIRED EXIT DOOR TO EXTERIOR 3' HINGED DOOR MINIMUM. ALL EXIT DOORS REQUIRE KEYLESS OPERATION FROM THE INTERIOR.

29. STREET ADDRESS NUMBERS MUST BE LEGIBLE FROM STREET AND WITHIN 12' OF THE FRONT DOOR.

30. SOLID 1 3/8" DOOR, 20 MINUTE FIRE RATED DOOR WITH AUTOMATIC CLOSER LOCATED IN GARAGE

TO DWELLING WALLS, IRC R302

31. GARAGE WALLS AND CEILING COMMON TO HOUSE TO BE COVERED WITH 1/2" GYP., MINIMUM, IRC R302 32. HANDRAIL GRASPABLE RAIL REQUIRED IF 2 OR MORE RISERS RAILING HEIGHT MINIMUM 34" OR 38" MAXIMUM ABOVE NOSE OF STEPS. GRIPS MUST BE 1 1/4" - 2 5/8" CIRCULAR CROSS SECTION, MAXIMUM ABOYE PROJECTION INTO STAIRWAY 4 1/2", ALL ENDS SHALL RETURN TO WALL OR NEWELL POST, IRC 315.1

BATH NOTES:

1. GRANITE DRAIN, SPLASH AND LAYATORY.

2. TILE FULL IN SHOWER EXCEPT WHERE SAFETY GLASS IS SHOWN. TILE

TO T' ABOYE TUBS.

3, HARDIE BACKER BOARD BEHIND TILE.

AT ALL TUBS AND SHOWERS.

4. GLAZING IN SHOWER AND BATH TUB DOORS AND ENCLOSURES SHALL BE IMPACT RESISTANT AND PASS TEST REQUIREMENTS OF PART 1 OF IRC R308.4.5

STANDARD CPSC 16 CFR, PART 1201. HINGED SHOWER DOORS SHALL SWING OUTWARD R2708.1 IRC

5. GFI 110 YOLT OUTLETS @ YANITIES.

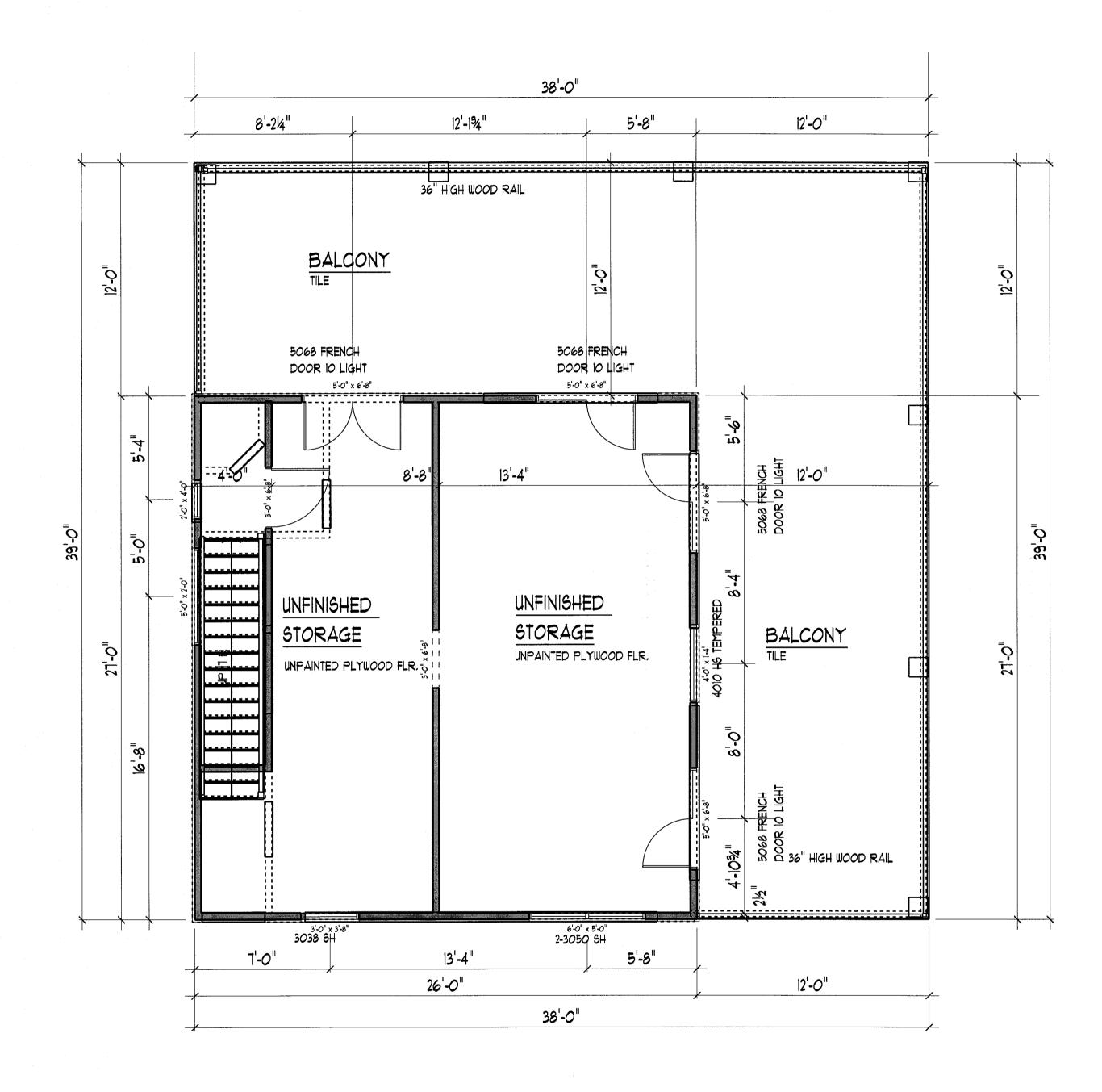
6. ALL BATHROOM FANS SHALL HAVE A MINIMUM VENTILATION OF

50CFM CONTINUOUS WITH EXHAUST DIRECTLY TO OUTSIDE. 7. PROVIDE I TOILET PAPER HOLDER, I MEDICINE CABINET AND A MINIMUM OF

I TOWEL BAR PER BATHROOM.

LLC. 2021

REY. REY. REY. REY. REY. REV. REY. REY. REY. DRAW BJK March 28, 2022



SECOND FLOOR PLAN SCALE:1/4"=1'-0"

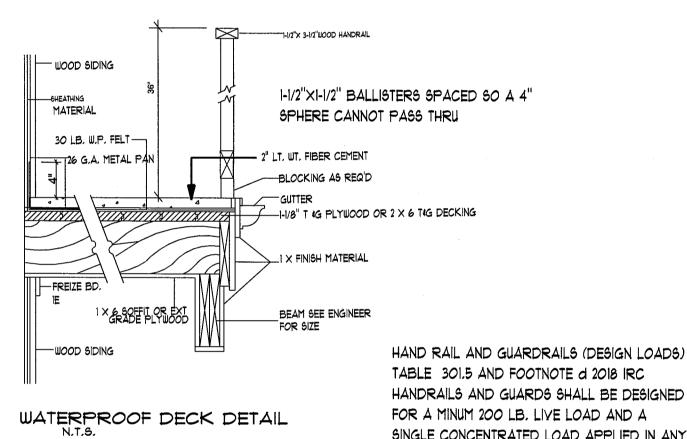
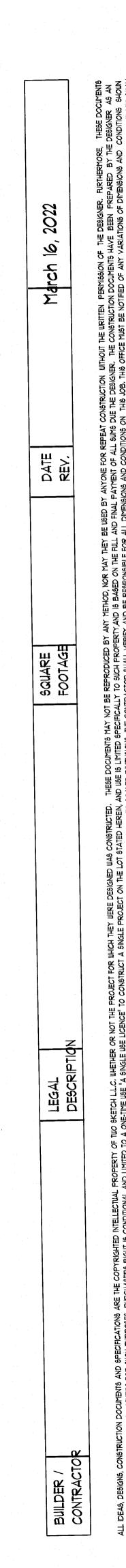


TABLE 301.5 AND FOOTNOTE d 2018 IRC HANDRAILS AND GUARDS SHALL BE DESIGNED FOR A MINUM 200 LB. LIVE LOAD AND A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. NOTE: ENGINEER NEEDS TO INDICATE THE LOAD REQUIERMENT FOR HAND AND GUARD RAILS.

REY. REY. REY. REY. REY. March 16, 2022 REY, REY. REY.



MATCH EXISTING SOFFIT THAT IS ON RESIDENCE

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REY.

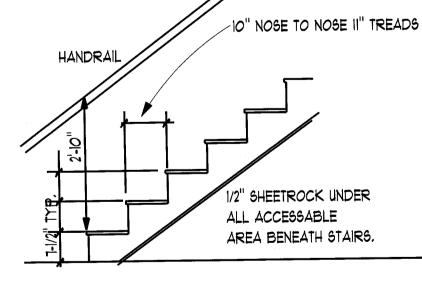
3'-0"

HARDIE HORIZ. SIDING

1. COMPOSITION SHINGLES 2, 15 LB, ROOFING FELT TAR IMPREGNATED 3. 1/2" PLYWOOD DECKING (5/8" IF USING 20" OR 24" O.C. FRAMING) W/RADIANT BARRIER 4. 1"x3" GALY. IRON DRIP EDGE 5. 1"x2" HARDIE TRIM FACIA 6. 1"x6" HARDIE TRIM FACIA 7. SOFFIT 8. SCREENED LOUYER OR CONTINUOUS SCREEN OR PERFORATED HARDIE SOFFIT 9. INSULATION BLOWN - R. 30 10. CEILING JOIST 11. 1/2" SH. RK. 12. HARDIE SIDING 13. 1/2" CDX PLYWOOD SHEATHING W/TYVECK HOUSEWRAP 14. 2x4 PLATE 15. 2x12 FIRE STOP 16. DOUBLE 2x4 PLATES 17. FINISHED FLOORING 18. 2x6 T & G DECKING 19, 2x12 FLOOR JOIST OR FLOOR TRUSSES BY ENGINEER 20. 6" BATT INSULATION 21. (2) 2x12 HEADERS : NOTHING SMALLER ON ALL FIRST FLOOR HEADERS WITH FLOOR LOAD 22. 3 1/2"x3 1/2" STEEL LINTLE 23. BLOCKING, CAULKED 24. WINDOW JAMB 25. WINDOW 26. STOOL 27. 2x4 SILL 29. TREATED BASE PLATE WITH BASE PLATE INSULATION 30, CONC, BEAM & SLAB 31. CAULK BASE PLATE

TYPICAL TWO STORY SIDING DETAIL 32. SIDING 33. RAFTER 34. DRIP EDGE

TYPICAL STAIRWAY DETAIL SCALE 1/2"=1'-0"



REY.

REY.

REY.

DRAW BJK SHEET 6 OF 8 March 16, 2022

CROSS SECTION SCALE:1/4"=1'-0"

_2X6 COLLAR AT 48" O.C.

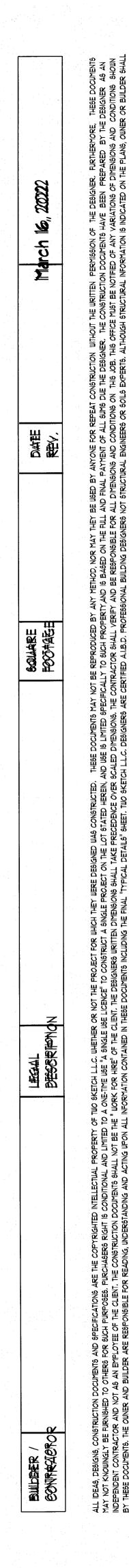
2X6 BRACES AT 48" 0.0

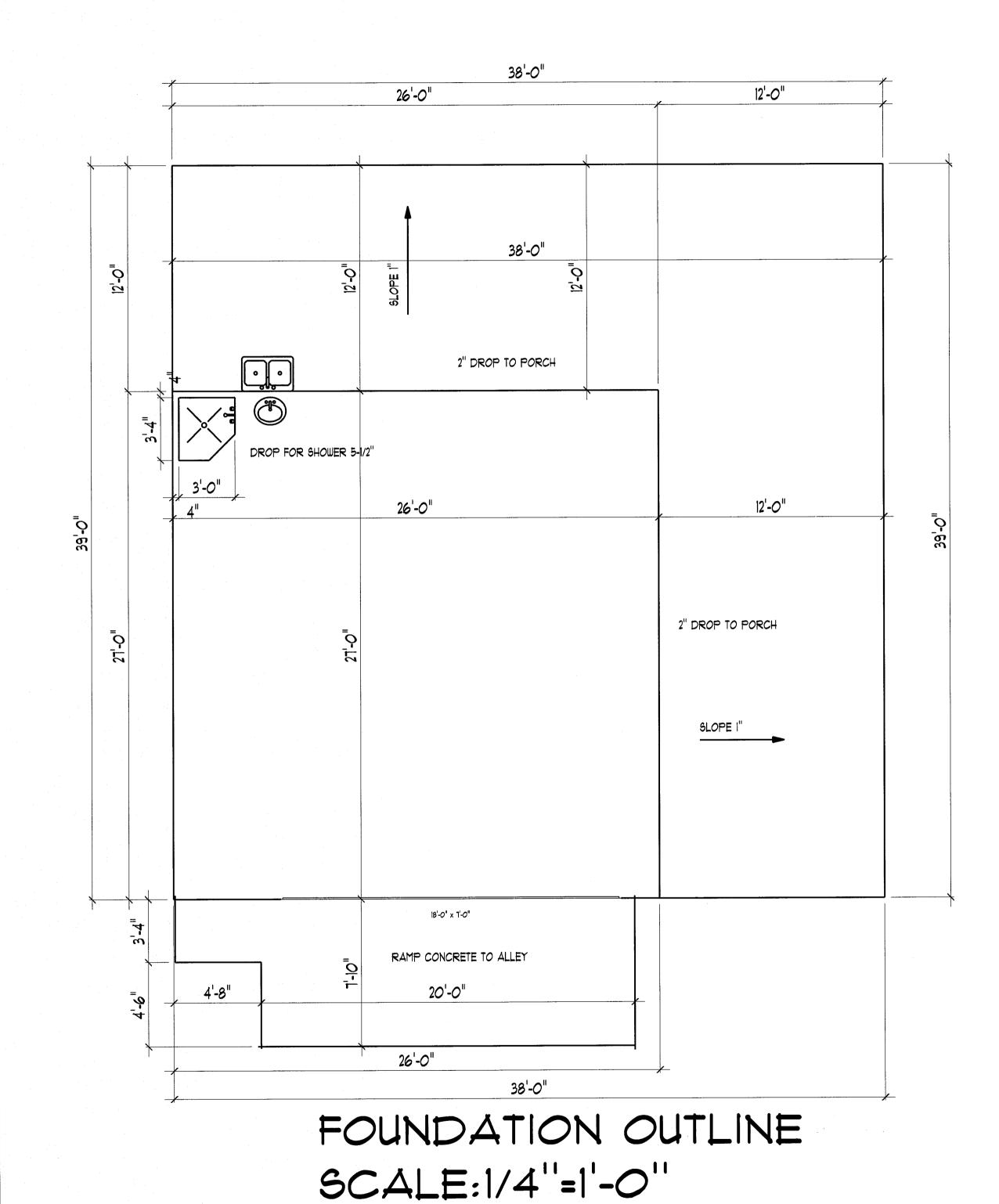
2XIO STRONG BACK CONTINOUS

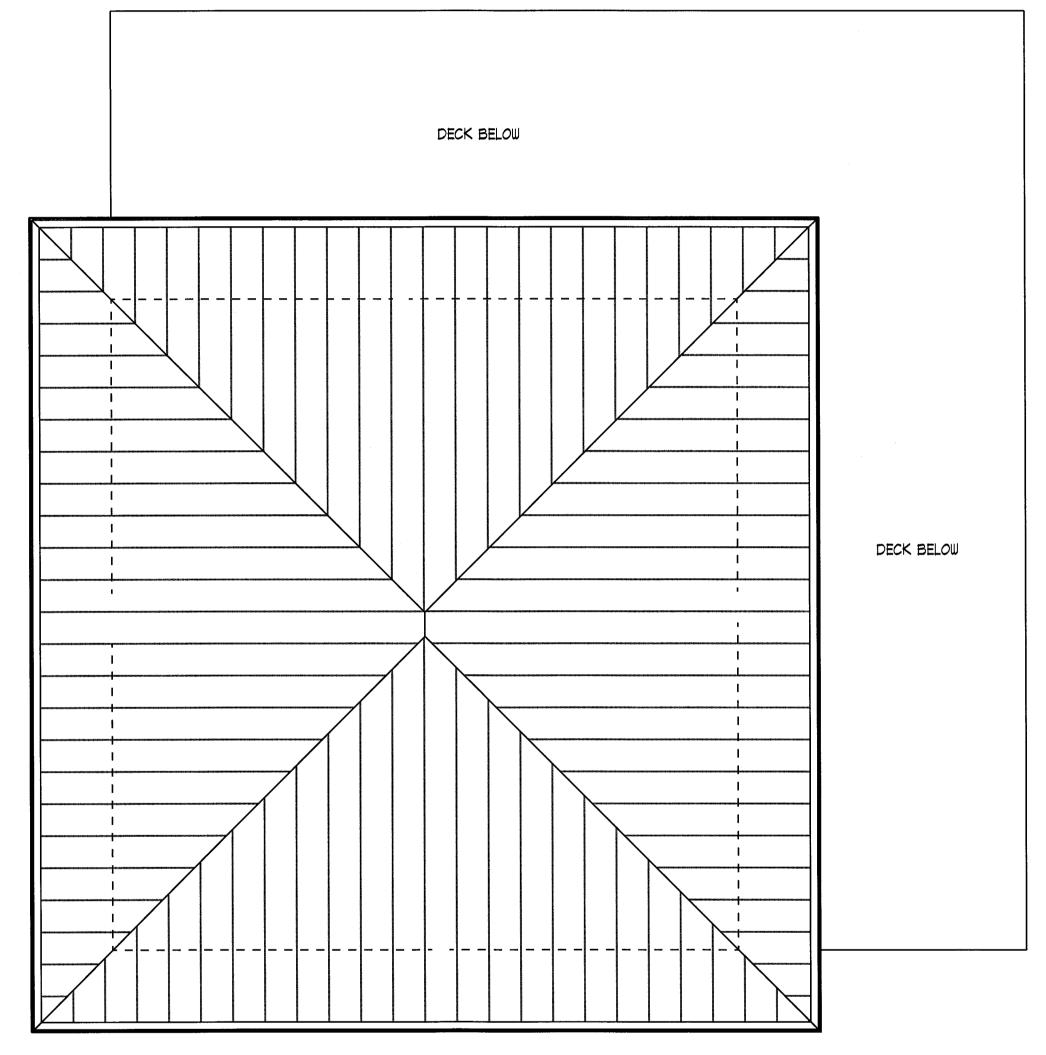
TRUSSES DESIGNED BY ENGINEER 18" HIGH

12 4

STAIRS IT RISERS @ 7.4"
16 TREADS @ 10" NOSE TO NOSE
11" TREADS







ROOF FRAMING NOTES

1. RAFTERS - SYP*2

2. TYP. RAFTER - 2X6 @ 16" O.C. U.N.O.

3. TYP. SHEATHING - 1/2" CDX 32/16 APA RA

W/8D @ 6" EDGES & 12" FIELD

4. ALL HIPS, RIDGES, AND VALLEYS SHALL BE
ONE SIZE LARGER THAN RAFTER SIZE (U.N.O.)

5. DL = 10 PSF LL = 20 PSF

ROOF PLAN SCALE:1/4"=1'-0"

