

CERTIFICATE OF APPROPRIATENESS

Applicant: Donald Nguyen, owner; Thomas Nguyen, agent

Property: 8515 dover, It 8 blk 36
Glenbrook valley sec 7

Significance: Contributing Mid-Century House in the Glenbrook Valley Historic District

Proposal: Alteration New Carport, new windows in front elevation, gable fenestration removed

Work started without COA or building permit

See attachments – Drawing Set

****Draft Report Subject to Change Prior to Meeting**

DRAFT

Public Comment: None

Civic Association: None

Recommendation: Denial - does not satisfy criteria

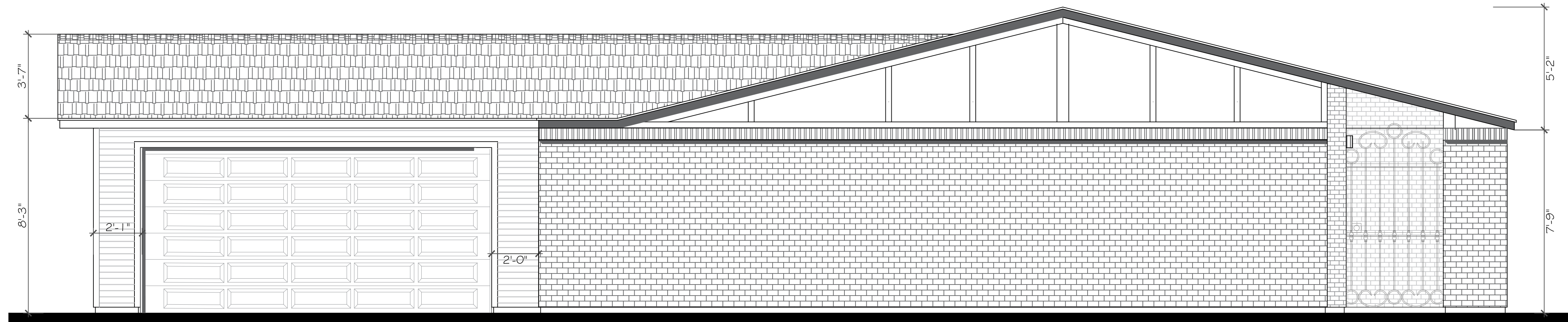
HAHC Action: -



EXISTING
CONCRETE
DRIVEWAY
AREA= 610.00 S.F.



PLAN NAME: **FLOOR PLAN** ACTUAL CONDITION SHEET NO. **A1**
 PROJECT: **RESIDENTIAL HOME REPAIR & ADDITION**
 OWNER: ROMERO GERARDO
 ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061
 DATE: 10/10/2022
 DRAWN BY: ARCHIE
 SCALE: 1/8" = 1'
 PROJECT: 00000000



FRONT ELEVATION

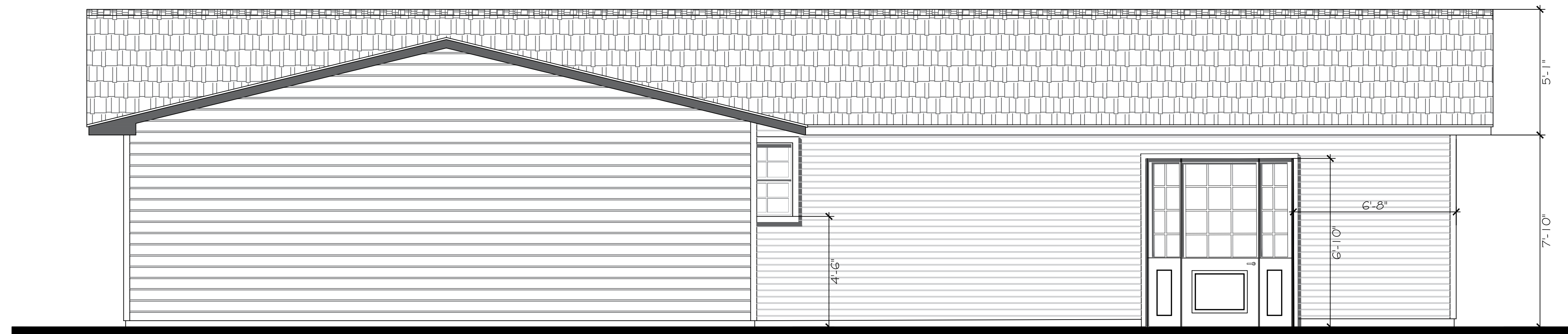


REAR ELEVATION

| | | |
|---|---|---|
| | PLAN NAME: ELEVATION PLAN ACTUAL CONDITION | SHEET NO.: A2 |
| | OWNER: ROMERO GERARDO | PROJECT: RESIDENTIAL HOME REPAIR & ADDITION |
| ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061 | SCALE: 1/8" = 1' | PROJECT: 00000000 |

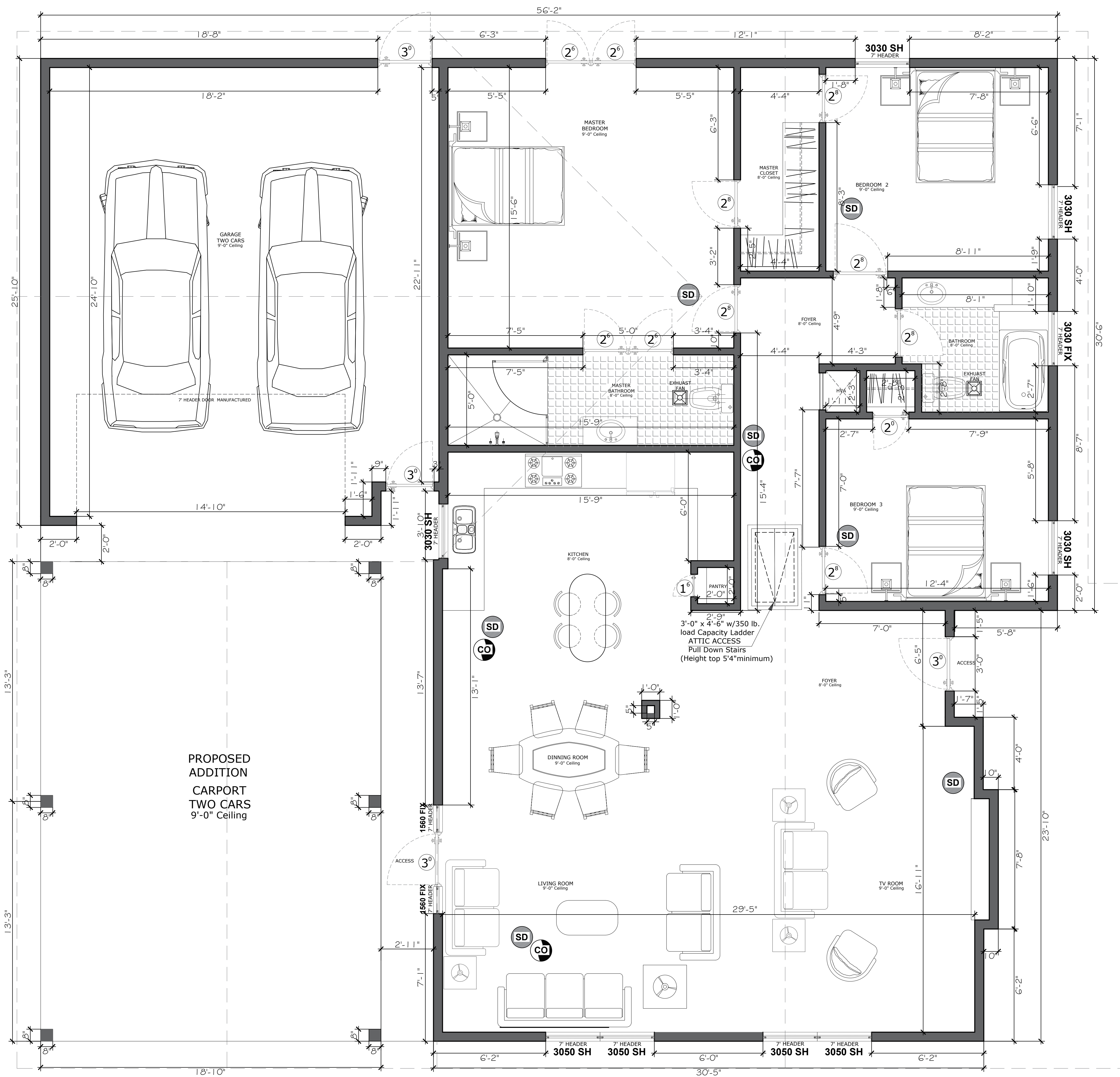


LEFT ELEVATION



RIGHT ELEVATION

| | | |
|----------------------------|---|---|
| | PLAN NAME: ELEVATION PLAN ACTUAL CONDITION | SHEET NO.: A3 |
| | PROJECT: RESIDENTIAL HOME REPAIR & ADDITION | OWNER: ROMERO GERARDO |
| DATE: 12/10/2022 | SCALE: 1/8" = 1' | PROJECT: 8322 GLENLOCH DR HOUSTON TX. 77061 |



PROPOSED
ADDITION
CARPORT
TWO CARS
9'-0" Ceiling

3'-0" x 4'-6" w/350 lb.
load Capacity Ladder
ATTIC ACCESS
Pull Down Stairs
(Height top 5'-4" minimum)

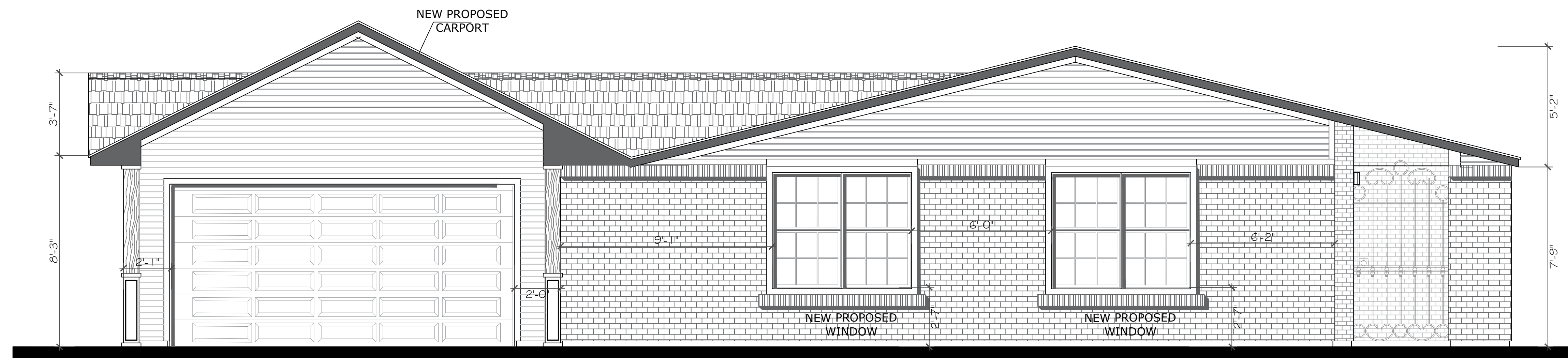


| | | | |
|---------------------------------|---|---------------------|-------------------------|
| OWNER: PLANOS America | PROJECT: RESIDENTIAL HOME REPAIR & ADDITION | DATE: 12/10/2022 | SHEET NO.: A4 |
| PROJECT: ROMERO GERARDO | ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061 | SCALE: 1/8" = 1' | |

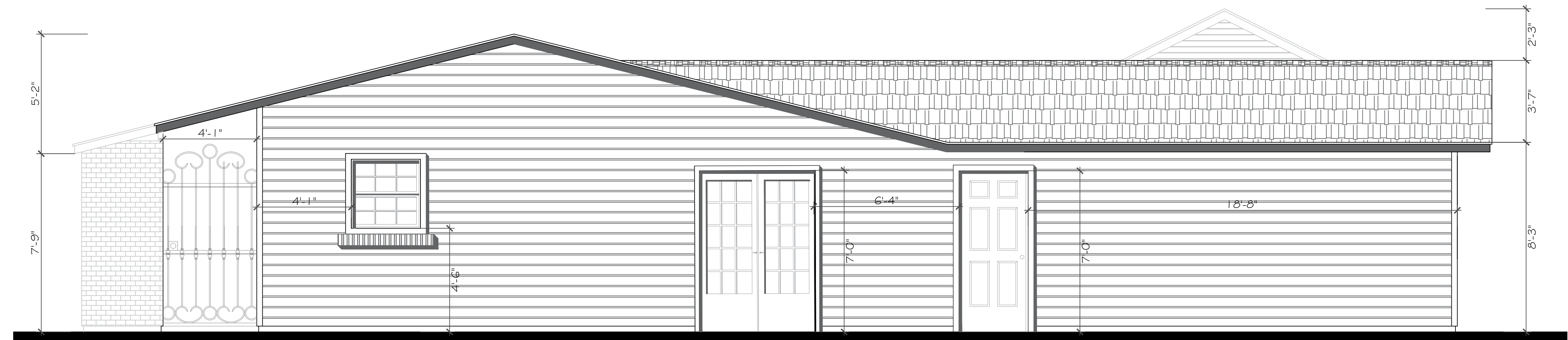
TEL: (770) 750 1442
5600 NW CENTRAL DR SUITE 272
HOUSTON TX 77092

(832) 774 5596
HOUSTON TX 77092

DATE:
12/10/2022
DRAWN BY:
ACHIEVE
PROJECT:
00000000



FRONT ELEVATION



REAR ELEVATION

| | | |
|---|--|---------------------------------|
| | PLAN NAME: ELEVATION PLAN w/ PROPOSED CARPORT ADDITION | SHEET NO.: A5 |
| | PROJECT: RESIDENTIAL HOME REPAIR & ADDITION | OWNER: ROMERO GERARDO |
| ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061 | SCALE: 1/8" = 1' | PROJECT: 00000000 |

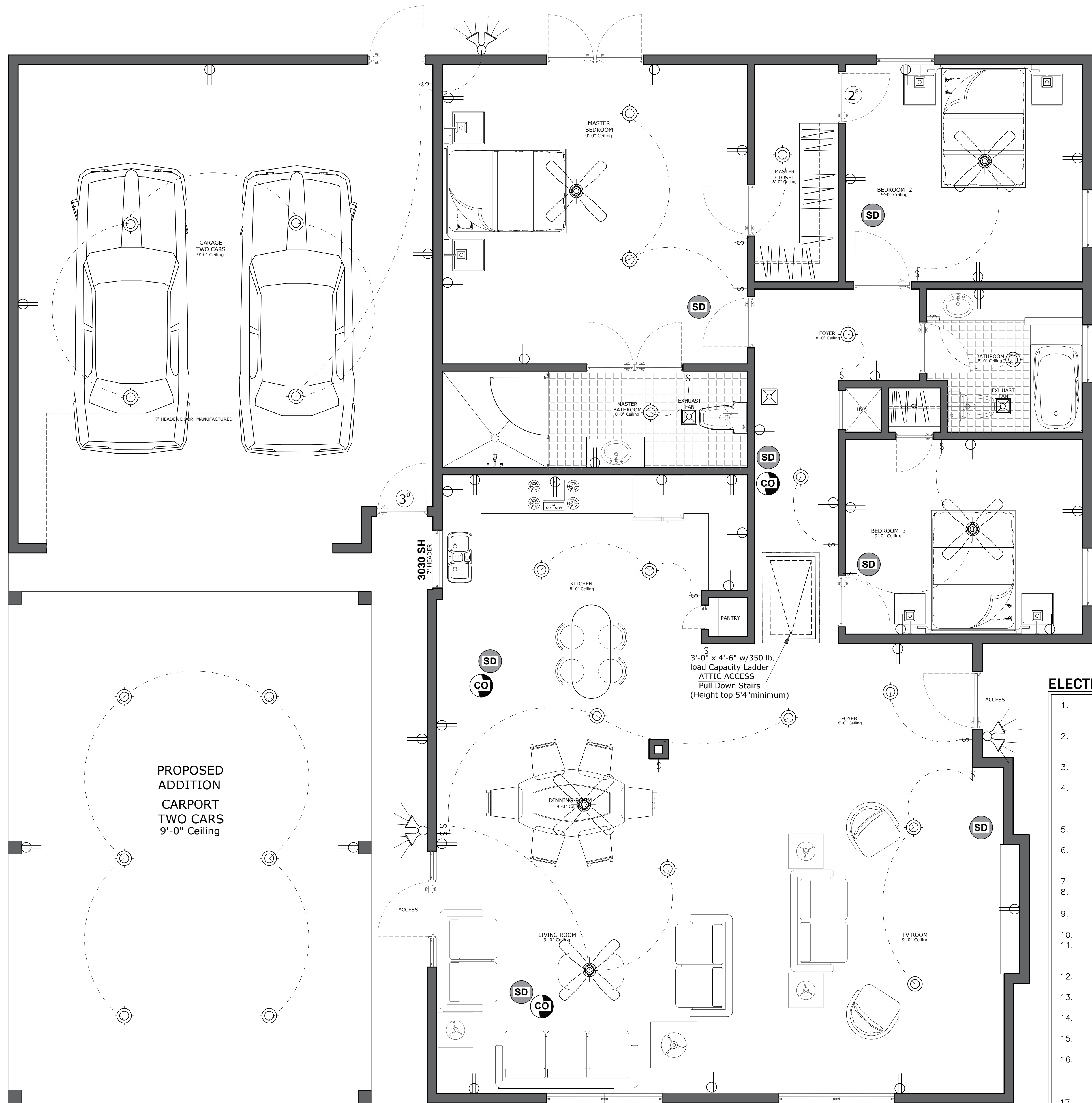


LEFT ELEVATION



RIGHT ELEVATION

| | | | |
|---|---|----------------------------|--------------------------------|
|  | PLAN NAME: ELEVATION PLAN W/ PROPOSED CARPORT ADDITION | | SHEET NO.: A6 |
| | PROJECT: RESIDENTIAL HOME REPAIR & ADDITION | | DATE: 10/10/2022 |
| OWNER: ROMERO GERARDO | DATE: 10/10/2022 | BY: ARCH | SCALE: 1/8" = 1' |
| ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061 | PROJECT: 00000000 | SCALE: 1/8" = 1' | |



| GRAFIC SYMBOLS | |
|---|--------------------------------|
| 110 VOLT RECEPTACLE | TELEVISION ANTENNA |
| WATERPROOF RECEPTACLE | GAS OUTLET |
| CLG. 110 VOLT IN CLG. | HOSE BIB |
| GFI 110 VOLT W GROUND FAULT INTERRUPTOR | EXHAUST VENT |
| FLR. 110 VOLT IN FLOOR | TELEPHONE OUTLET |
| 220 VOLT RECEPTACLE | SINGLE POLE SWITCH |
| | THREE WAY SWITCH |
| | FOUR WAY SWITCH |
| | DIM DIMMER SWITCH |
| | PUSH BUTTON |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE ALARM |
| | THERMOSTAT |
| | CHIMES |
| | CEILING MOUNTED LIGHT FIXTURE |
| | HANGING LIGHT |
| | RECESSED CAN LIGHT |
| | WATERPROOF RECESSED CAN LIGHT |
| | RECESSED EYEBALL SPOT LIGHT |
| | WALL MOUNTED LIGHT FIXTURE |
| | PORCELAIN FIXTURE W/ PULL CORD |
| | FLOOD LIGHTS |
| | EXHAUST FAN |
| | EXHAUST FAN W/ LIGHT |
| | EXHAUST FAN W/ HEAT LAMP |
| | EXHAUST FAN W/ HEAT LAMP & LT. |
| | CEILING FAN |
| | CEILING FAN W/ LIGHT |
| | CEILING LIGHT W/ FUTURE FAN |
| | 2X4' FLUORESCENT LIGHT |

SD CO

For construction, an ap carbon monoxide alarm installed outside of each separa in the immediate vicini- bedrooms in dwelling u fuel-fired appliances a and in dwelling units the attached garages.

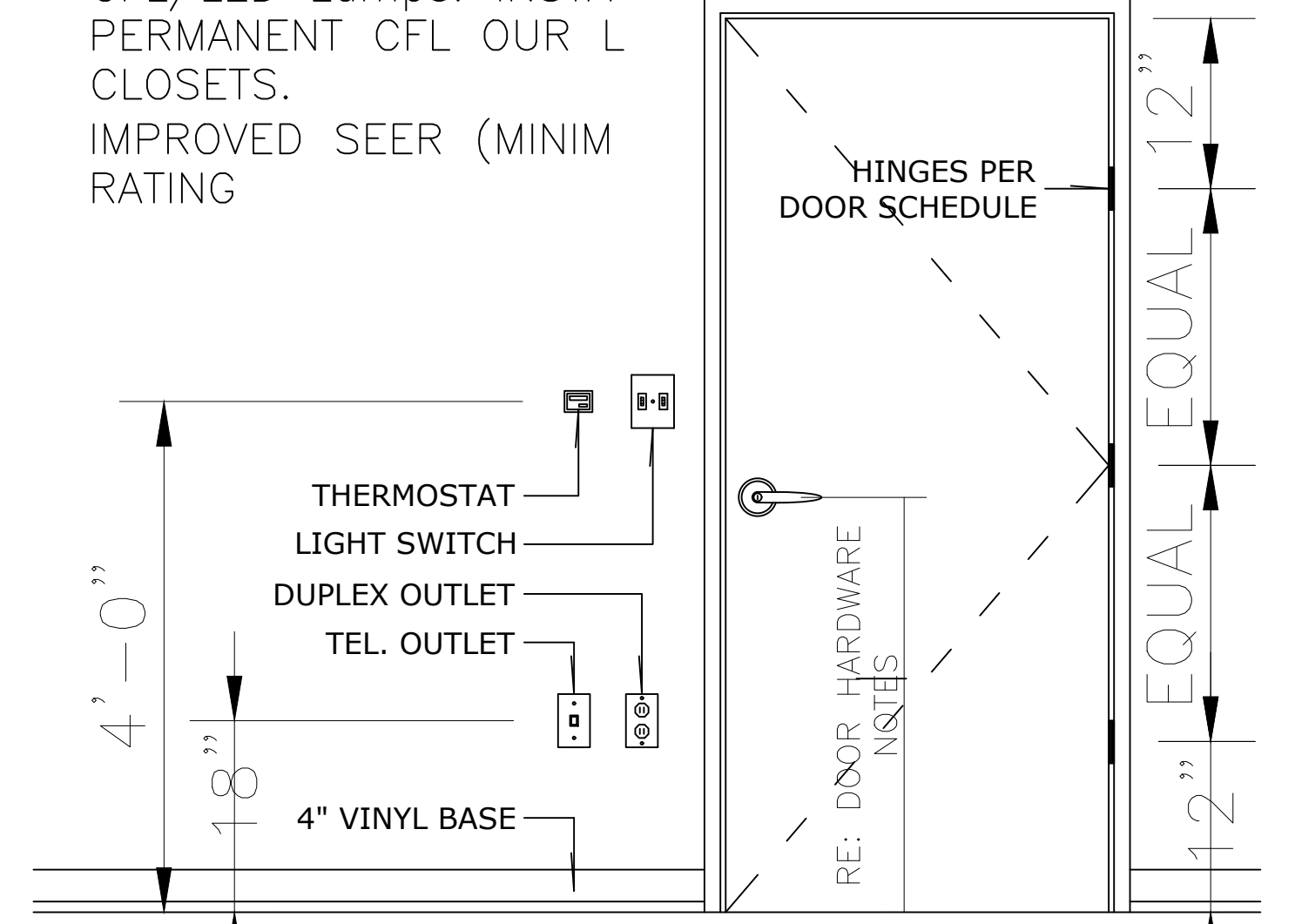
NOTE:
ALL SMOKE DETECTORS WILL BE HARDWIRED, INTERCONNECTED AND BATTERY BACK UP

NOTE 1
THE SMOCK DETECTOR INTERCONNECTED, AND IRC R317.1.OF IRC 2015

CFL/LED Lamps: INSTA PERMANENT CFL OUR L CLOSETS.
IMPROVED SEER (MINIM RATING

ELECTRICAL NOTES

- ALL INSTALLATIONS TO BE IN ACCORDANCE WITH LOCAL CODES AND THE NATIONAL ELECTRICAL CODE NEC-2020
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED ELECTRICAL PERMITS AND INSPECTIONS.
- CONVENIENCE OUTLETS TO BE MOUNTED @ 12" A.F.F. UNLESS NOTED OTHERWISE.
- OUTLETS MOUNTED ABOVE CABINETS OT BE 8" ABOVE THE NOMINAL WORKING SURFACE, SPECIALTY OUTLETS AS NOTED OR ACCORDING TO STANDARD PRACTICE.
- REFRIGERATOR AND APPLIANCES OUTLETS TO BE @ 44" A.F.F.
- BATHROOM OUTLETS SHALL BE GFI AND MOUNTED @ 44" A.F.F. OR 8" ABOVE COUNTER (IF HIGHER THAN STD. 2'-8").
- ALL OUTLETS WITHIN 6' OF WET AREA TO BE GFI.
- MICROWAVE OUTLETS SHALL BE 20 AMP. SEPARATE RECEPTACLE @ 78" A.F.F.
- SWITCH BOXES TO BE MOUNTED @ 54" A.F.F. TO CENTER LINE OF BOX OR CLUSTER OF BOXES.
- ATTIC LIGHT SWITCH BOX MOUNTED @ 84" A.F.F.
- ATTIC LIGHT TO BE KEYLESS FIXTURE WITH INTEGRATED CONVENIENCE OUTLET LOCATED CONVENIENT TO ACCESS.
- WASHER TO HAVE SEPARATE 20 AMP. DUPLEX OUTLET @ 44" A.F.F.
- DRYER TO HAVE SEPARATE 220V 30 AMP. SINGLE OUTLET @ 44" A.F.F.
- OUTLETS IN GARAGE TO BE GFI UNLESS NOTED FOR APPLIANCE.
- ALL EXTERIOR OUTLETS TO BE GFI AND WEATHER PROTECTED.
- TELEPHONE OUTLETS: PROVIDE BOX (MOUNT TYP. @ 12" A.F.F. OR 8" ABOVE COUNTER UNLESS NOTED OTHERWISE), COVER PLATE, 6/C WIRE, TERMINATE NEAR PANEL.
- CABLE OUTLETS: PROVIDE BOX (MOUNT TYP. @ 12" A.F.F. OR 8" ABOVE COUNTER UNLESS NOTED OTHERWISE), COVER PLATE, RGV6 WIRE, TERMINATE NEAR PANEL.



1 DOOR SCHEDULE

not/scale

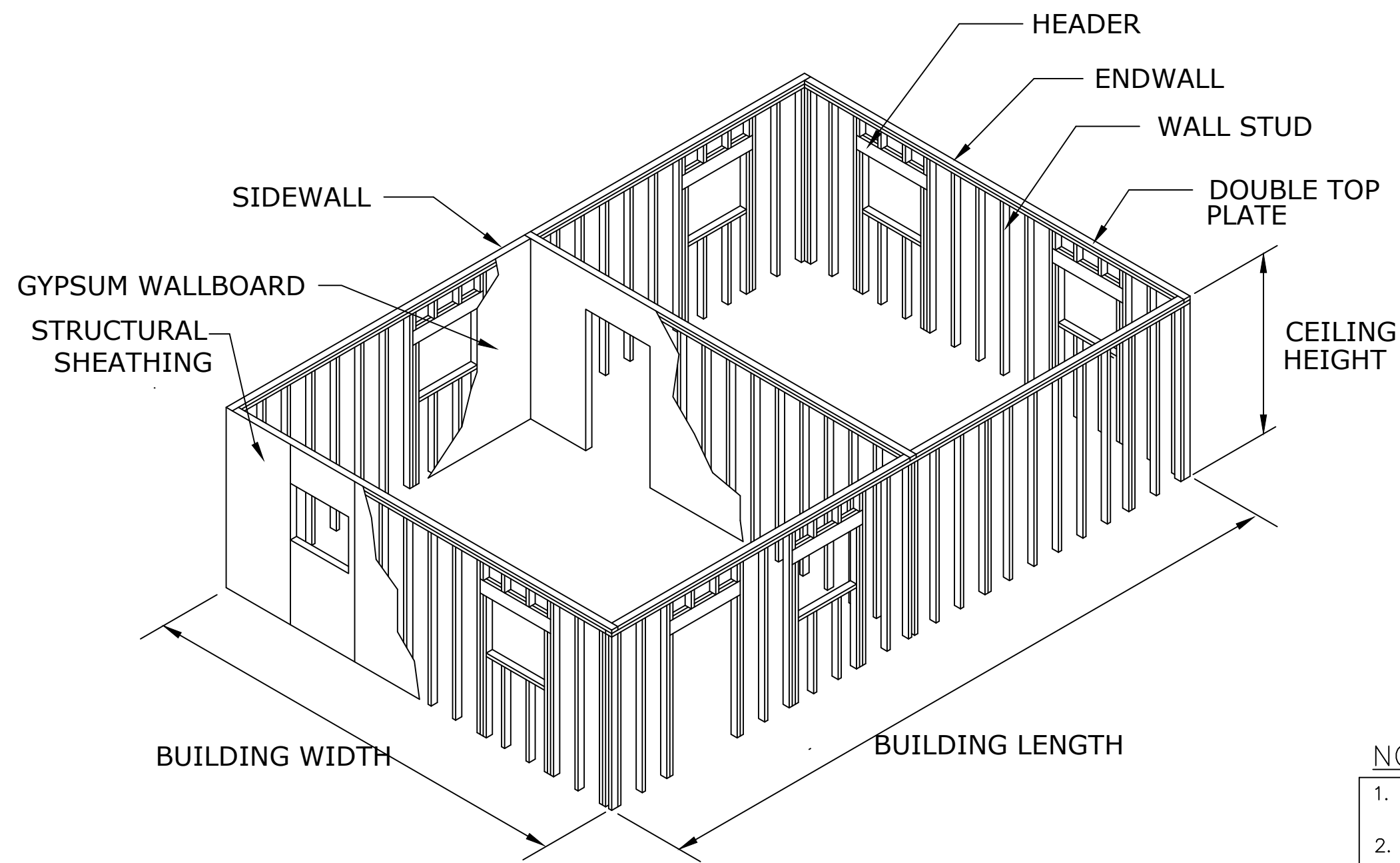
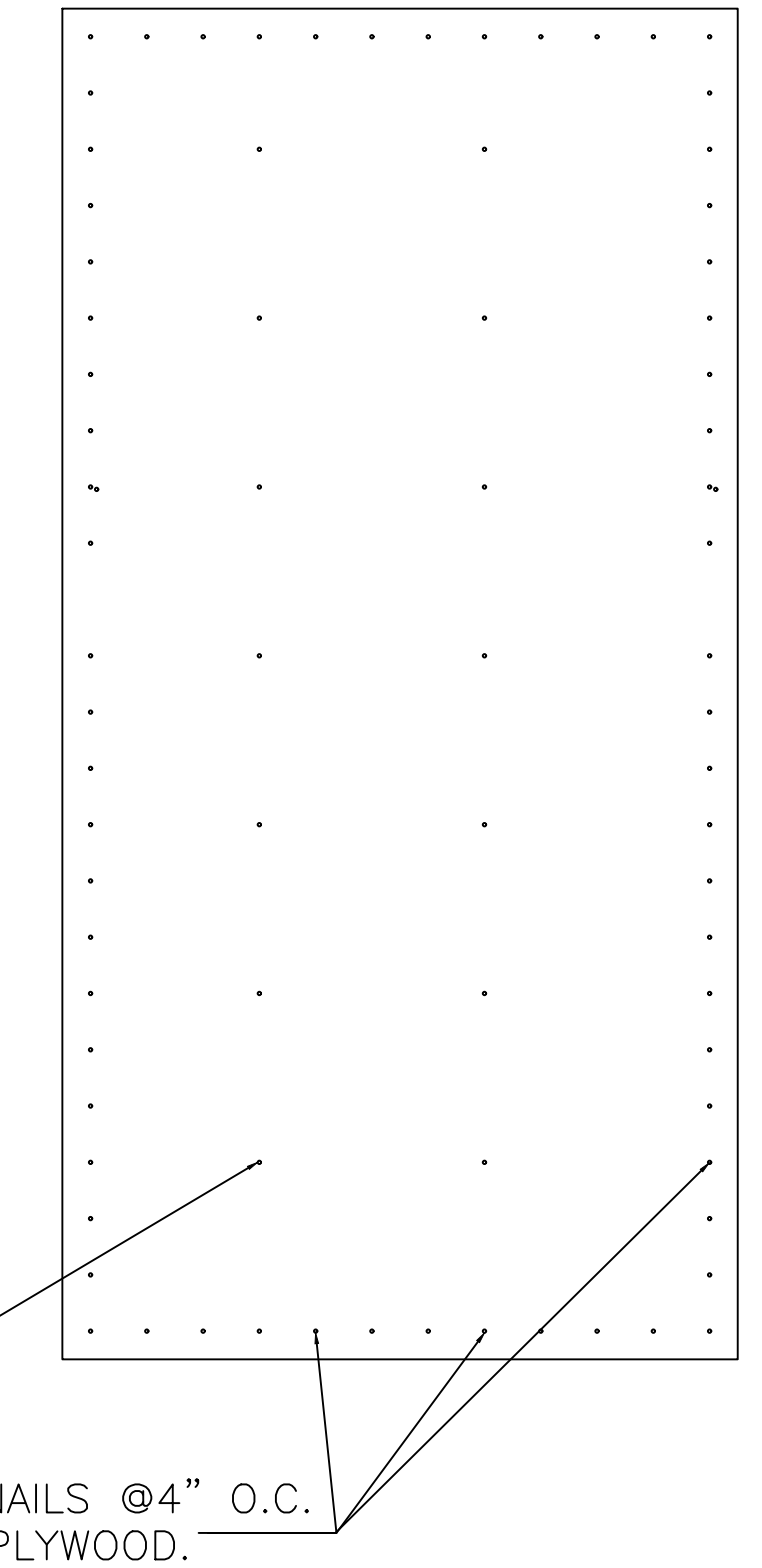
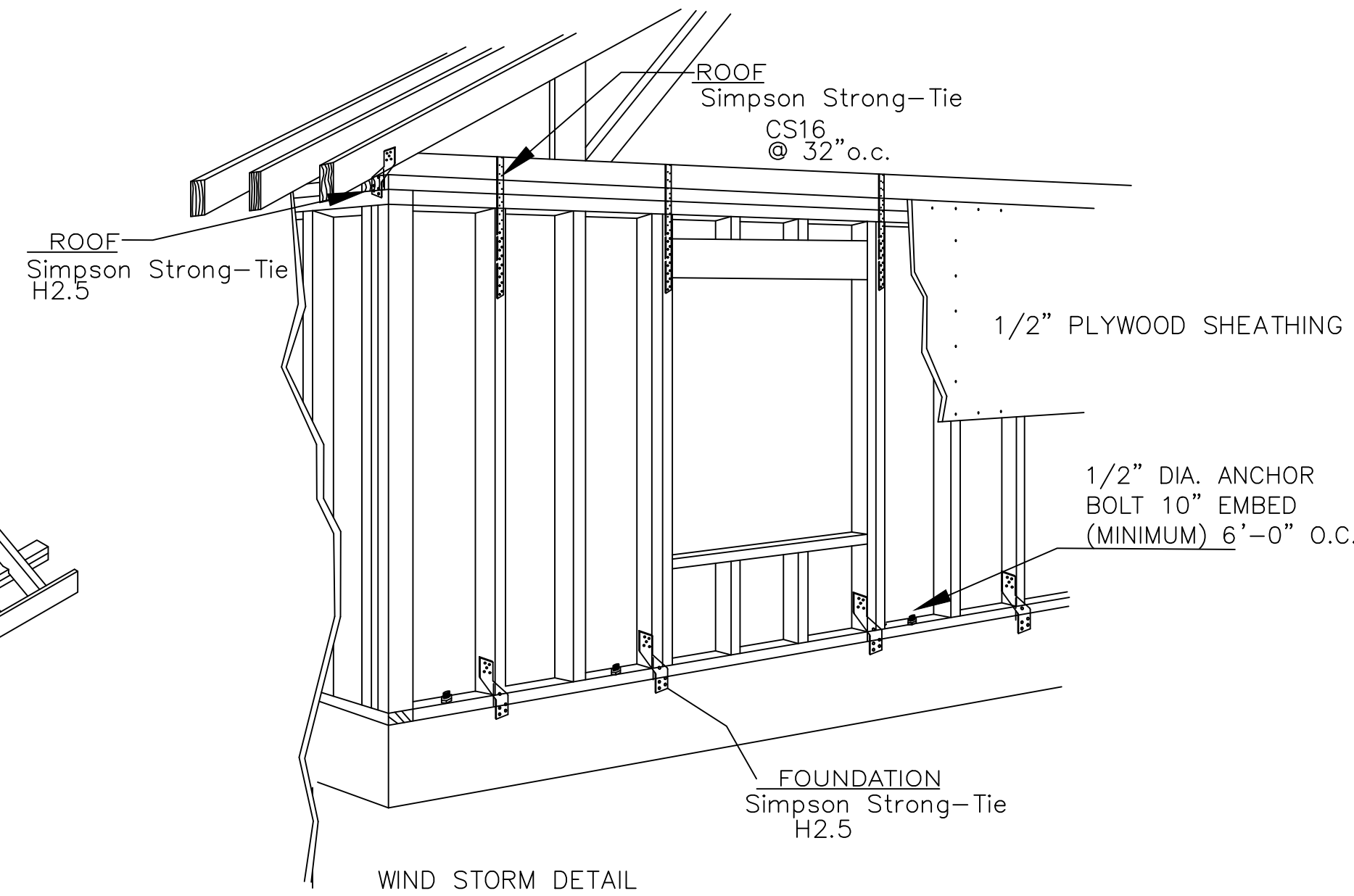
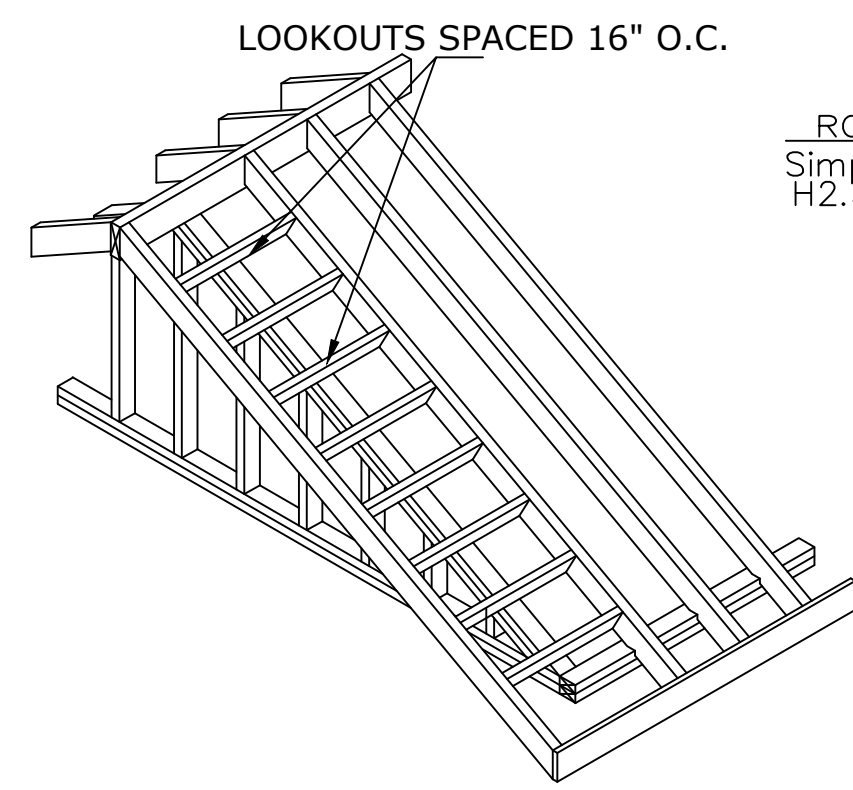
| | | | | |
|---|------------------------------------|--|---------------------------------------|---------------------|
| | OWNER: | PROJECT: | DATE: | SHEET NO. E1 |
| | ROMERO GERARDO | RESIDENTIAL HOME REPAIR & ADDITION | 10/10/2022 | |
| TEL: (770) 750 1442 5600 NW CENTRAL DR SUITE 272 HOUSTON TX 77092 | (832) 774 5596 HOUSTON TX 77092 | ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061 | PROJECT: 00000000 SCALE: 1/8" = 1' | |

General Notes:

1. All work to be done as per the applicable Building Codes 2015 IRC, 2015 IFC, 2015 IECC and 2020 NEC.
2. Water resist gyp. board (full hgt.), @ shower, tub, and walls subject to water splash.
3. Tub and shower, if not fiber glass, shall be tiled to 70" above drain inlet.
4. Glazing in shower, tub enclosure, & door, shall be impact resistant (tempered).
5. Provide access panels @ plumbing walls, especially tub walls.
6. For installation of AHU see contractor.
7. All exhaust fans must be vented to the outside.
8. Provide G.F.I. where shown as per National Electrical Code.

9. Gas installations and appliances are to be consistent with applicable codes and manufacturer's specifications.
10. Hot water heater to be installed in mechanical room upstairs, and is to include metal pan with drain to the outside.
11. Fire box is to be installed as per 2015 I.F.C. Standard, and manufacturer's specifications are to be posted @ job site.
12. All exterior finishes shall be water resistant.
13. All french doors shall have safety (tempered).
14. At all guardrails and balustrade, can not have glass.

15. Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent Standard, and manufacturer's specifications are to surface. Such wall surfaces shall extend to a height of not less than 6 feet [1829mm] above the floor.
16. Attic access appliances (catwalk) M1305.1.3 2012 IRC Amendments provide an unobstructed passageway not more than 20 feet in length when measured along the centerline of the passageway from the opening to the appliance with the minimum headroom height of 30 inches and a minimum width of 30 inches. Attic access appliance (clearance) M1305.1.3 2015 Amendments a level surface space at least 30 inches deep and 30 inches wide shall be present along all any passage at any point for a 4" sphere or larger.



USE LIVE LOAD

| | |
|---------------------------------|------|
| ATTICS W/ LIMITED STORAGE | 20 |
| ATTIC W/O STORAGE | 10 |
| DECKS | 40 |
| EXTERIOR BALCONIES | 60 |
| FIRE ESCAPES | 40 |
| GUARDRAILS AND HANDRAILS | 200i |
| GUARDRAILS IN-FILL COMPONENTS | 50i |
| PASSENGER VEHICLE GARAGES | 50a |
| ROOMS OTHER THAN SLEEPING ROOMS | 40 |
| SLEEPING ROOMS | 30 |
| STAIRS | 40c |

- SITE OBSERVATIONS ARE REQUIRED FOR ALL PEIR WORK, FOUNDATION MAKE-UP AND COMPLETED FRAMING. THE USE OF THESE DRAWINGS SIGNIFIES THE OWNER/CONTRACTOR'S SHALL NOT BE LIABLE FOR ANY CONSTRUCTION THAT HAS NOT BEEN OBSERVED AND APPROVED IN WRITTING BY CONSULTING ENGINEERS, INC. IN ABSCENCE OF SUCH SITE OBSERVATION AND APPROVAL, CONSULTING ENGINEERS MAKES NO PRESENTATIONS OF SUITABILITY, EXPRESS OR IMPLIED, WITH REFERENCE TO THESE DRAWINGS.
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NOTES:

1. ALL EXTERIOR CORNER WALLS SHALL HAVE A MINIMUM OF ONE LAYER OF 1/2" PLYWOOD SHEATHING (STRUCTURAL GRADE) WITH 8d NAILS @ 4" o.c.
2. SEE DETAIL No. 2/S-2 FOR SHEAR WALLS. PROVIDE THE SHEATHING/NAILING PATTERN AS INDICATED ON THESE DRAWINGS.
3. 1/2" DRYWALL WITH 5d COOLER NAILS @ 7" o.c. AT EDGES PROVIDE THIS AS STANDARD CONSTRUCTION FOR BOTH SIDES OF ALL INTERIOR STUD WALLS.
4. PROVIDE BLOCKING AT ALL SHEATHING EDGES. PROVIDE DOUBLE STUDS W/ SIMPSON HD5A, HTT22 (OR EQUAL) AT EACH END OF THE SHEAR WALL.
5. PROVIDE 1/2" ANCHOR BOLTS @ 4'-0" MAX. OR AT LEAST 2 BOLTS IN THE MIDDLE OF EACH SHEAR WALL.
6. PROVIDE CONTINUOUS HURRICANE CLIPS FROM ROOF TO FOUNDATION AS REQUIRED BY LOCAL BUILDING CODE, AND AS SHOWN IN DETAIL #5/S-5.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

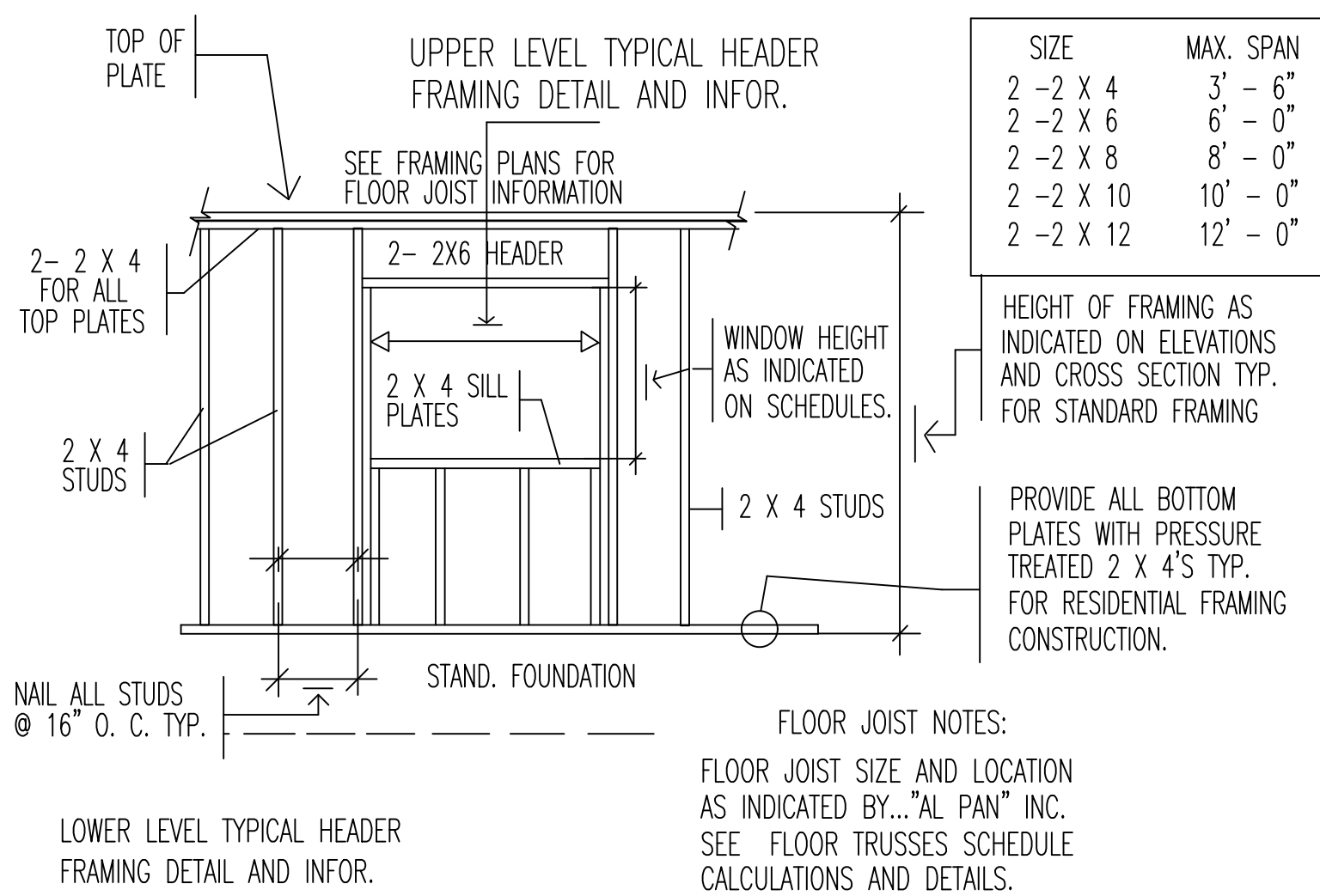
| CLIMATE ZONE | FENESTRATION U-FACTOR | SKYLIGHT U-FACTOR | GLAZED FENESTRATION SHGC | CEILING R-VALUE | WOOD FRAME WALL R-VALUE | MASS WALL R-VALUE | FLOOR R-VALUE | BASEMENT WALL R-VALUE | SLAB R-VALUE & SEPTIC | CRAWL SPACE WALL R-VALUE |
|--------------|-----------------------|-------------------|--------------------------|-----------------|-------------------------|-------------------|---------------|-----------------------|-----------------------|--------------------------|
| 2 | 0.40 | 0 | 0.25 | 38 | 13 | 3/4 | 13 | 0 | 0 | 0 |

INSULATION & FENESTRATION REQUIREMENTS

| CLIMA ZONE | FENESTRATION U-FACTOR | FENESTRATION SHGC | CEILING R-VALUE | WOOD FRAME WALL R-VALUE |
|------------|-----------------------|-------------------|-----------------|-------------------------|
| 2 | 0.40 (MAX) | 0.25 (MAX) | 38 (MIN) | 13 (MIN) |

NOTES AND DETAILS

SCALE: 1/2" = 1'-0"



WIND STORM NOTES:

1. RAFTER HURRICANE TIES- CONNECT ALTERNATE RAFTERS TO SUPPORTS WITH SIMPSON H2.5 HURRICANE TIE
2. ALIGN OPPOSING RAFTERS @ RIDGE AND CONNECT WITH SIMPSON LSTA STRAPS TIE WITH 10-10d NAILS (5 EA. SIDE)
3. ROOF BRACING- 2 X 6 PURLIN WITH 2 X 4 BRACE @ 48" O.C. TO BEAM OR WALL BELOW
4. CEILING JOIST- SYP. # 2 2 X 8 @ 16" O.C. U.N.O.
5. ALL BEAM CONNECTIONS SIMPSON HGB OR HGLT
6. PROVIDE FULL BEARING UNDER BEAMS CONTINUOUSLY TO FOUNDATION
7. DL- 5 PSF LL 10 PSF UNIFORM DIST. LOAD FROM WALL ABOVE #/LF POINT LOAD FROM WALL OR COLUMN ABOVE # ALL NON LOAD BEARING TRUSSES @ 120 #/LF MIN. PLUS LOAD FROM WALL ABOVE ALL FLUSH BEAM CONNECTIONS SIMPSON HGB OR HGLT ALL FLUSH STEEL TO STEEL BEAMS CONNECTIONS 2- L 4" X 4" X 1/4" X 9" WITH 6- 3/4" @ A307 BOLTS

ROOF AND FLOOR ANCHORAGE AT EXTERIOR WALLS

| BASIC WIND SPEED (MPH) | LOCATION | NUMBER OF NAILS | | |
|------------------------|---|--------------------------|---------------------------|---------------------------|
| | | B | C | D |
| x 1.61 FOR KPH | | | | |
| 137 | ROOF TO WALL FLOOR TO FLOOR FLOOR TO FOUNDATION | 10-10d 8-10d 6-10d | 12-10d 10-10d 8-10d | 12-10d 10-10d 8-10d |

RIDGE TIE-STRAP NAILING

| BASIC WIND SPEED (MPH) | NUMBER OF NAILS | | |
|------------------------|-----------------|--------|--------|
| | B | C | D |
| x 1.61 FOR KPH | | | |
| 137 | 12-10d | 14-10d | 16-10d |

NOTE:

- COORDINATE THIS DRAWING WITH ARCHITECTURAL PLANS AND REPORT ANY DISCREPANCY TO ARCHITECT/ENGINEER.
 - VERIFY ALL RECESS WITH ARCH. DRAWINGS.
 - ALL PIPES PENETRATING GRADE BEAM MUST BE SLEEVED.
 - REFER ARCH. PLANS FOR DROP LOCATION AND DEPTH.
- SIMPSON HOLDOWN HDU8.



PLAN NAME: **GENERAL NOTES PLAN** SHEET NO. **G1**

PROJECT: **RESIDENTIAL HOME REPAIR & ADDITION**

OWNER: ROMERO GERARDO

DATE: 10/10/2022

ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061

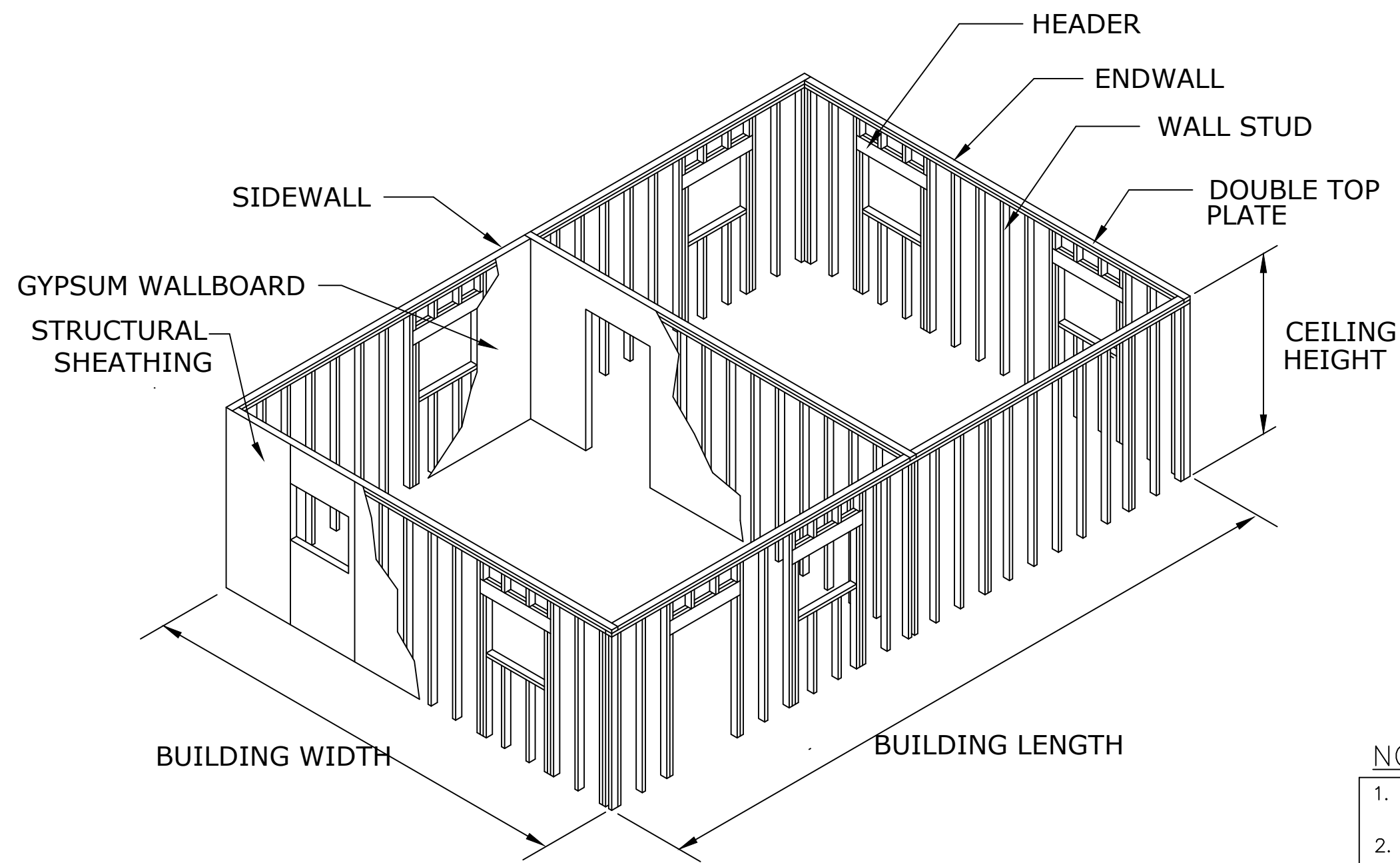
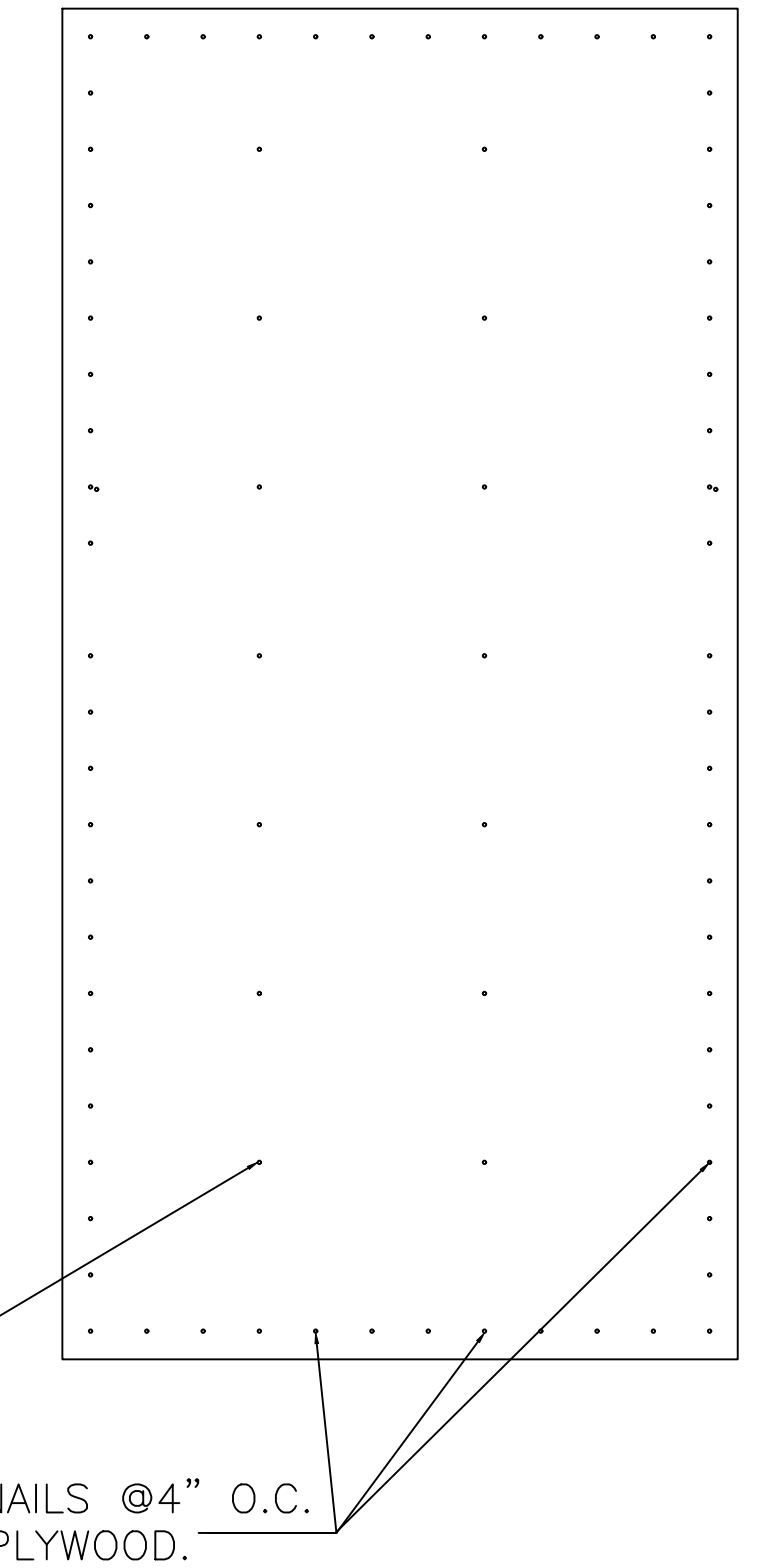
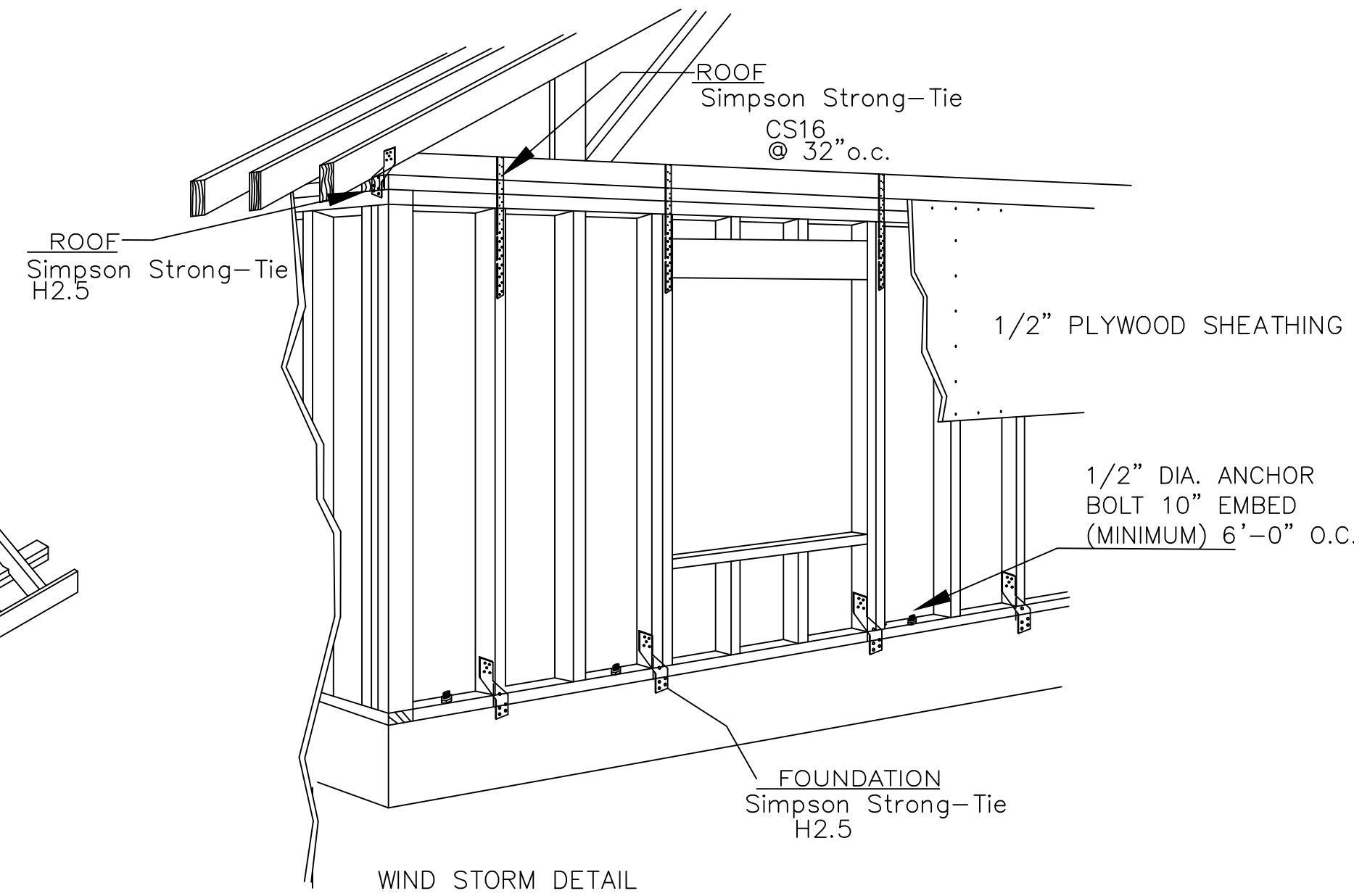
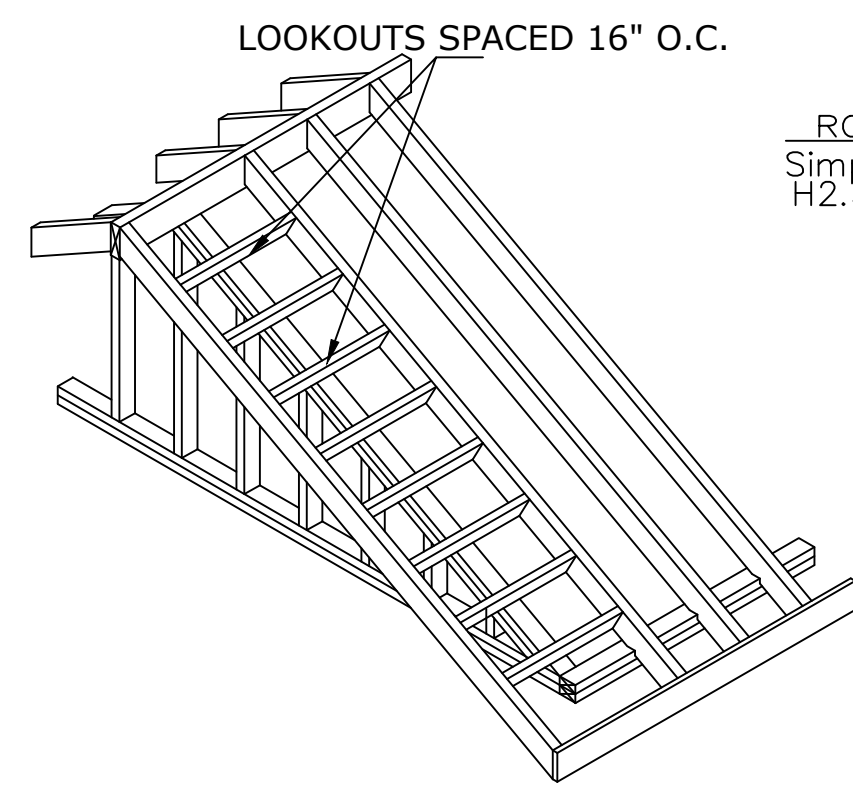
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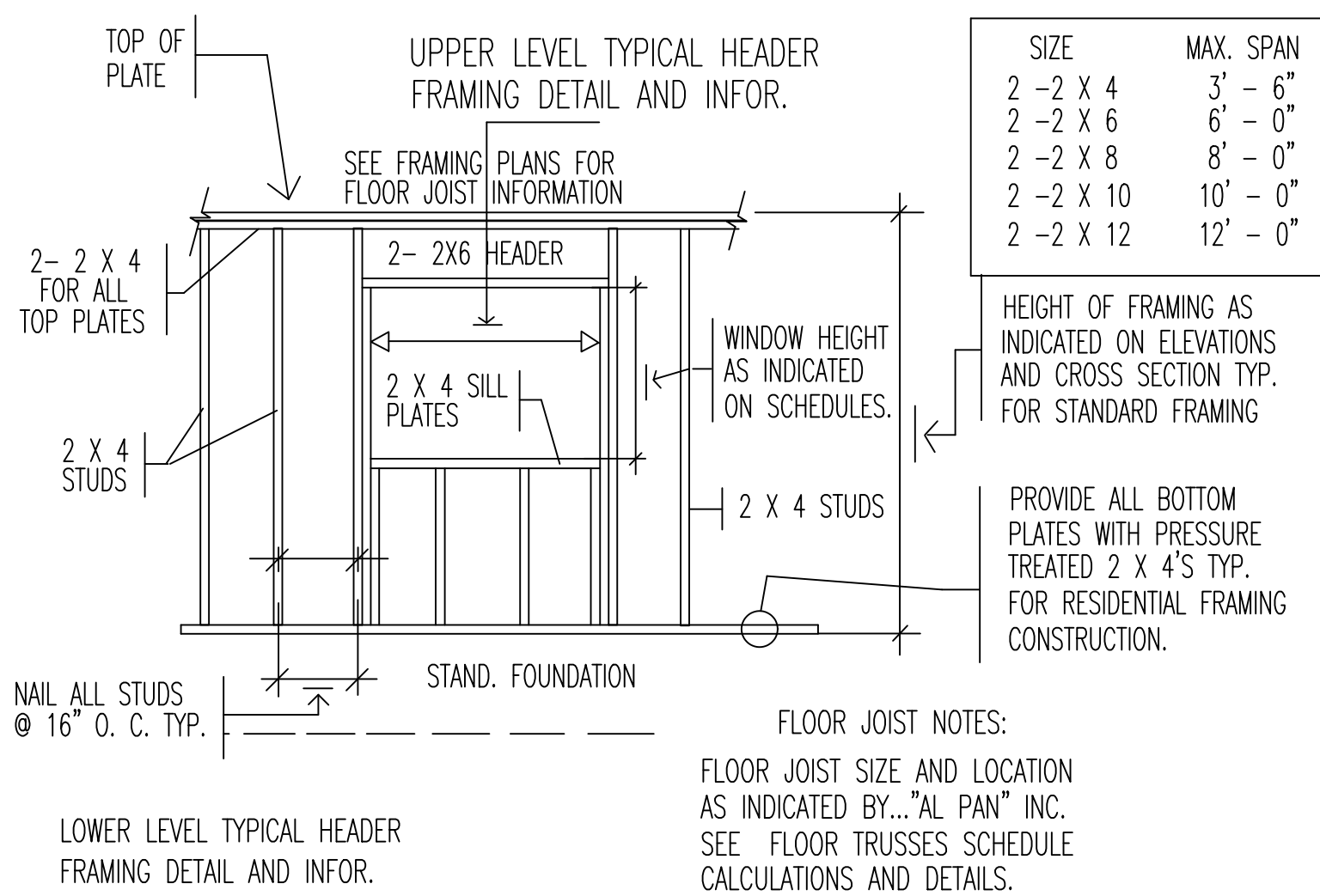
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INSULATION & FENESTRATION REQUIREMENTS

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7. DL- 5 PSF LL 10 PSF UNIFORM DIST. LOAD FROM WALL ABOVE #/LF POINT LOAD FROM WALL OR COLUMN ABOVE # ALL NON LOAD BEARING TRUSSES @ 120 #/LF MIN. PLUS LOAD FROM WALL ABOVE ALL FLUSH BEAM CONNECTIONS SIMPSON HGB OR HGLT ALL FLUSH STEEL TO STEEL BEAMS CONNECTIONS 2- L 4" X 4" X 1/4" X 9" WITH 6- 3/4" @ A307 BOLTS

ROOF AND FLOOR ANCHORAGE AT EXTERIOR WALLS

| BASIC WIND SPEED (MPH) x 1.61 FOR KPH | LOCATION | NUMBER OF NAILS | | |
|--|---------------------|-----------------|--------|--------|
| | | B | C | D |
| 137 | ROOF TO WALL | 10-10d | 12-10d | 12-10d |
| | FLOOR TO FLOOR | 8-10d | 10-10d | 10-10d |
| | FLOOR TO FOUNDATION | 6-10d | 8-10d | 8-10d |

RIDGE TIE-STRAP NAILING

| BASIC WIND SPEED (MPH) x 1.61 FOR KPH | NUMBER OF NAILS | | |
|--|-----------------|--------|--------|
| | B | C | D |
| 137 | 12-10d | 14-10d | 16-10d |

NOTE:

- COORDINATE THIS DRAWING WITH ARCHITECTURAL PLANS AND REPORT ANY DISCREPANCY TO ARCHITECT/ENGINEER.
 - VERIFY ALL RECESS WITH ARCH. DRAWINGS.
 - ALL PIPES PENETRATING GRADE BEAM MUST BE SLEEVED.
 - REFER ARCH. PLANS FOR DROP LOCATION AND DEPTH.
- SIMPSON HOLDOWN HDU8.



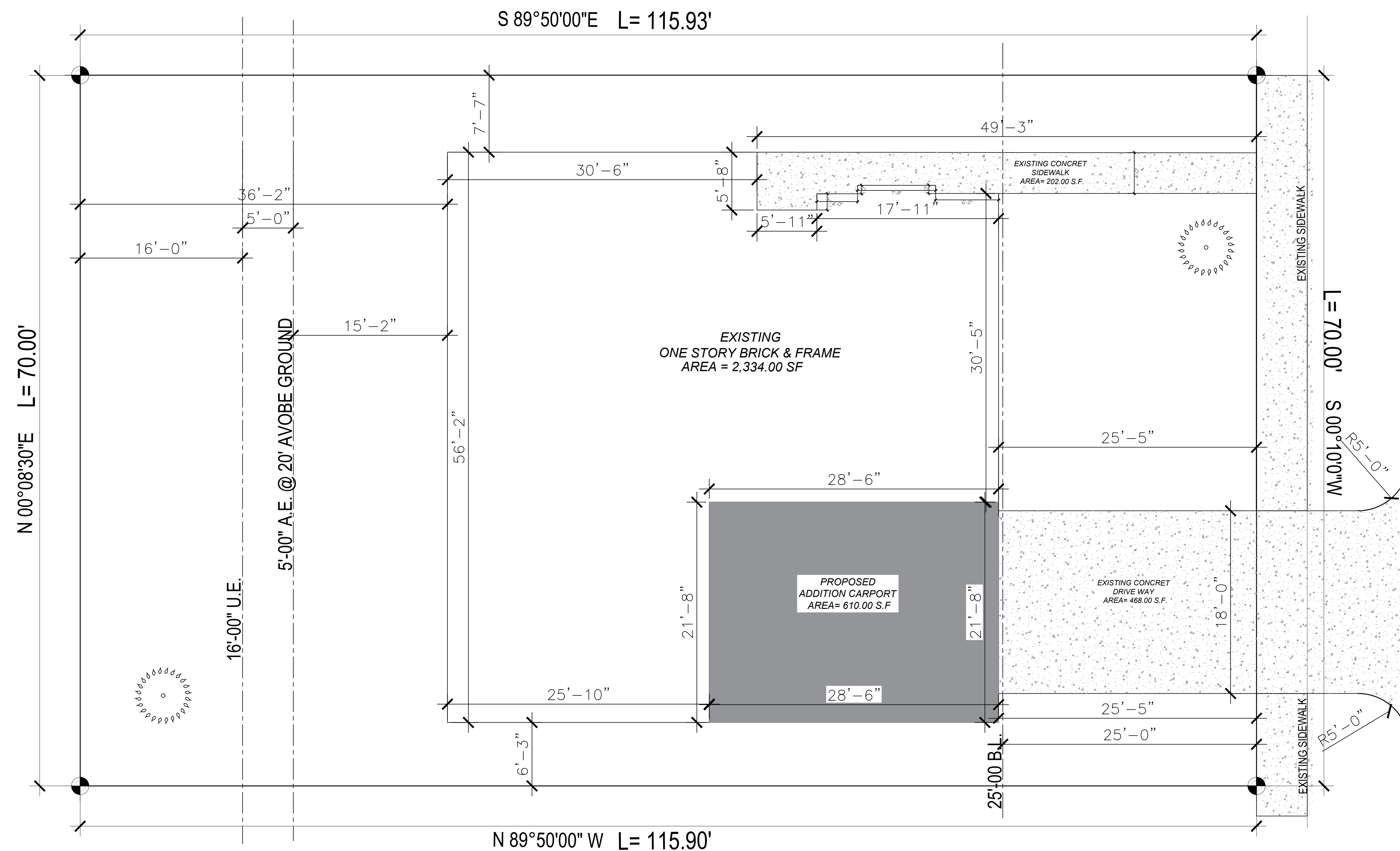
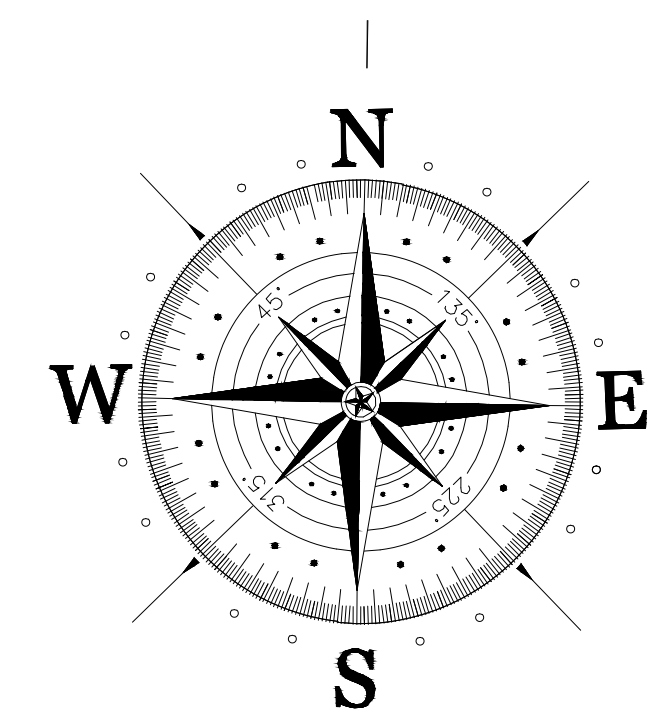
PLAN NAME: **GENERAL NOTES PLAN** SHEET NO. **G1**

PROJECT: **RESIDENTIAL HOME REPAIR & ADDITION**

OWNER: ROMERO GERARDO
DATE: 10/10/2022
DRAWN BY: JACQUE
CHECKED BY: JACQUE

ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061

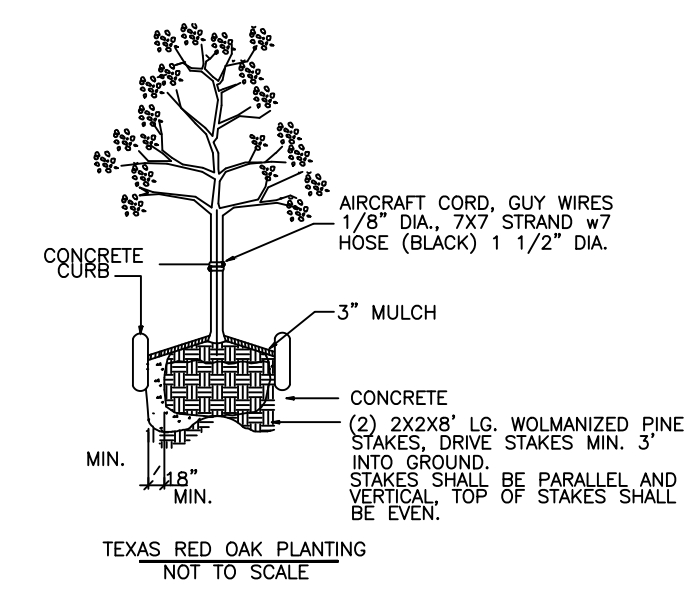
SCALE: **1/8" = 1'**



Legal Description

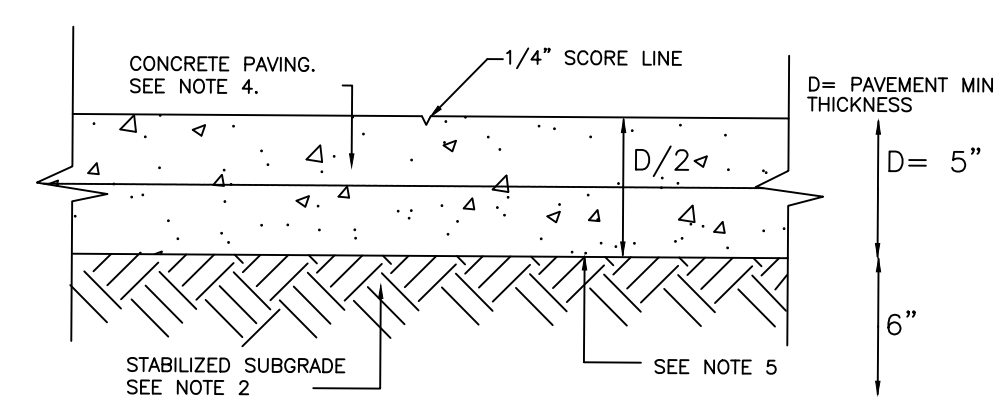
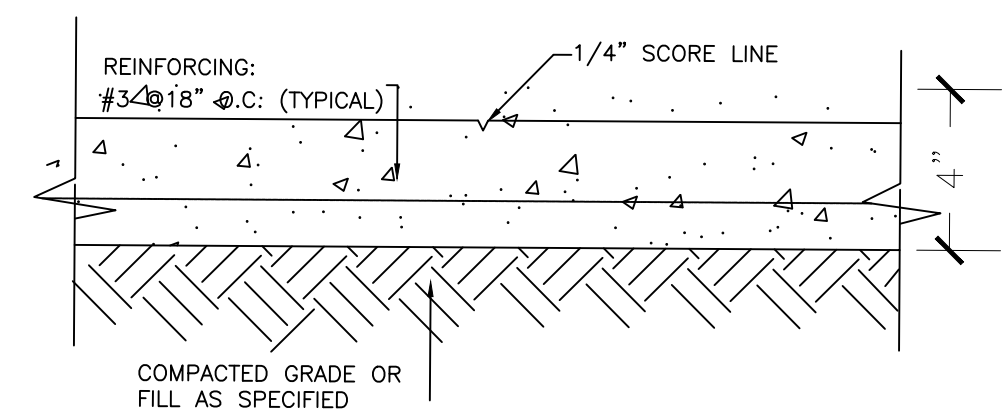
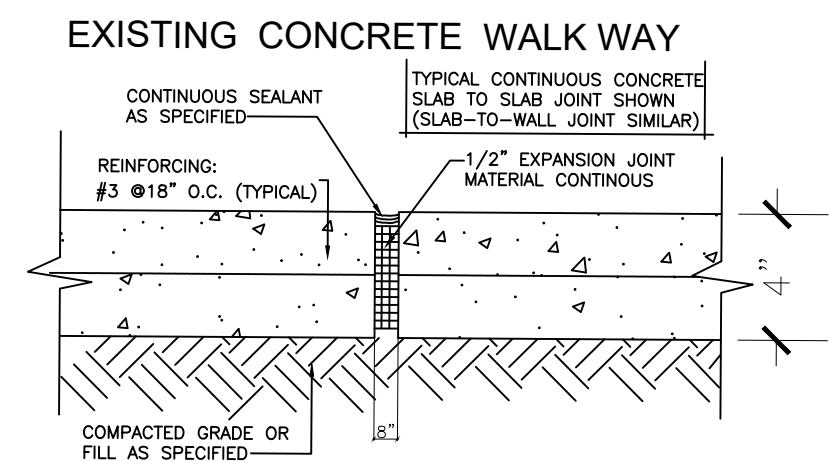
LOT 2 & 2 BLK 31
 OF GLENBROOK VALLEY SEC 7
 8322 GLENLOCH DR
 HOUSTON, TX 77061

| AREAS | |
|--------------------------------|---------------|
| EXISTING LIVING AREA | 1,482.00 SQFT |
| EXISTING SIDEWALK AREA | 202.00 SQFT |
| EXISTING DRIVEWAY AREA | 468.00 SQFT |
| EXISTING GARAGE AREA | 560.00 SQFT |
| PROPOSED ADDITION CARPORT AREA | 610.00 SQFT |
| LAND AREA | 8,120.00 SQFT |



2 - 1.5" TEXAS RED OAK
 (QUERCUS TEXANA)

HEIGHT: LARGE
 SPREAD: 25
 GROWTH RATE: SLOW
 DECIDUOUS, FALL COLOR



EXISTING CONCRETE DRIVE WAY

- D= 5, 6, OR 7 INCHES MINIMUM IN AREAS DESIGNATED SITE PAVING PLAN.
- SUBGRADE TO BE PREPARED, STABILIZED & COMPACTED.
- ASTM A615, GRADE 60 DEFORMED BARS - BAR SIZE AND SPACING MINIMUM LAY 30 INCHES.
- PORTLAND CEMENT CONCRETE, 5 SACK, 4-INCH SLUMP, 3000 PSI, COMPRESSIVE STRENGTH AT 28 DAYS, 500 PSI FLEXURAL STRENGTH AT 7 DAYS.
- SHAPE SUBGRADE SURFACE TO FINAL GRADE. DO NOT INSTALL SAND CUSHION. DO NOT INSTALL SAND LEVELING COURSE.
- JOINT MATERIAL, IS TO BE 1x5 REDWOOD.
- DOWELS ARE TO BE SMOOTH #4 BARS 18" LONG. GREASE ONE END OF DOWEL. PROVIDE DOWELS 24" O.C. EXCEPT WHEN WALKS ARE 6" WIDE OR LESS THEN SPACING SHALL BE 16" O.C.
- FINISH ON PAVEMENT IS TO BE A HEAVY BROOM FINISH.
- EXP. JTS. TO BE 30" O.C. UNLESS NOTED OTHERWISE ON THE PLANS.
- CONCRETE PAVEMENT REINFORCEMENT #3 BARS @ 16" O.C. BOTH WAYS.
- SIDEWALK REINFORCEMENT #3 @ 18" O.C. (TYPICAL).

CONCRETE IS 3000 LBS. IN 28 DAYS JOINT MATERIAL IS TO BE 1x4 REDWOOD DOWELS ARE TO BE SMOOTH #4 BARS 18" LONG. GREASE ONE END OF DOWEL. PROVIDE DOWELS 24" O.C. EXCEPT WHEN WALKS ARE 6" WIDE OR LESS THEN SPACING SHALL BE 16" O.C. REINFORCING #3 @ 18" O.C. (TYPICAL) FINISH ON SIDEWALK IS TO BE A MEDIUM BROOM FINISH. PROVIDE SCORED CONTROL JOINT BETWEEN EXP. JTS. SPACING IS TO BE EQUAL TO THE WIDTH OF THE WALK UNLESS SHOWN OTHERWISE.

- PROVIDE 1/2" - INCH CLASS "A" REDWOOD BOARD EXPANSION JOINT IN CURB 207"-0" O.C. ALIGN CURB JOINT WITH PAVING JOINT. SEAL CURB JOINT.
- WHERE SHOWN ON PLAN TO BEGIN OR END CONCRETE CURB, BEGINNING OR ENDING POINT SHALL BE 2-INCHES HIGH CURB WITH A UNIFORM TRANSITION TO 6-INCHES HIGH CURB IN 10- FEET. BEGIN REINFORCING IN CURB WHEN CURB HEIGHT REACHES 6-INCHES.

| | | |
|--|--|--|
| <p>OWNER: ROMERO GERARDO 832.394.0201</p> | <p>PROJECT: RESIDENTIAL HOME REPAIR & ADDITION</p> | <p>SHEET NO. SP1</p> |
| | <p>DATE: 10/10/2023</p> | |
| <p>TELS: (979) 750 1443 5600 NW CENTRAL DR SUITE 272 HOUSTON TX 77092</p> | <p>(832) 774 5596 HOUSTON TX 77092</p> | <p>ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061</p> |