

CERTIFICATE OF APPROPRIATENESS

Application Date: December 6, 2022

Applicant: Sumaiya Kassim, owner

Property: 1204 Studewood Street, Lot 18, Block 127, North Norhill Subdivision. The property includes a 1,256 SF one-story wood frame duplex and a detached garage situated on a 5,000 square foot (50' x 100') interior lot.

Significance: Contributing Bungalow duplex, circa 1930, located in the Norhill Historic District.

Proposal: Alteration – 2 story rear addition

- The ceiling plate is proposed to be raised 1' to 9' (work completed without COA)
- New single vehicle detached garage
- Original siding and windows to be retained
- Ridge height of proposed rear addition is 24'6"
- New windows to be inset and recessed
- Siding of addition to be clad in #117 wood matching original
- One original front door opening to be changed to a window

See drawings for details

***Draft Report Details Subject to Change Prior to Meeting**

Public Comment: No public comment received.

Civic Association: Norhill Neighborhood Civic Association supports the project

Recommendation: Denial - does not satisfy criteria and issuance of COR as applied for

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.



PROPERTY LOCATION
NORHILL HISTORIC DISTRICT



Building Classification

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO



Background Information for this site: Please see attached BLA (Building Land Assessment) from Harris County.

BUILDING ASSESSMENT
Houston, Texas

Map No. _____ Permit No. 1416
 Vol. 62 Page 106
 Owner W. McCarty 7-9-, 1930
 No. 1210 Studewood Street or Avenue
 Addition W. Noehill
 Block 127 Lot 18
1-PR Duplex
 Size of Building
28 wide 42 deep _____ stories

Figure 1 - Confirms was a Duplex in July 1930

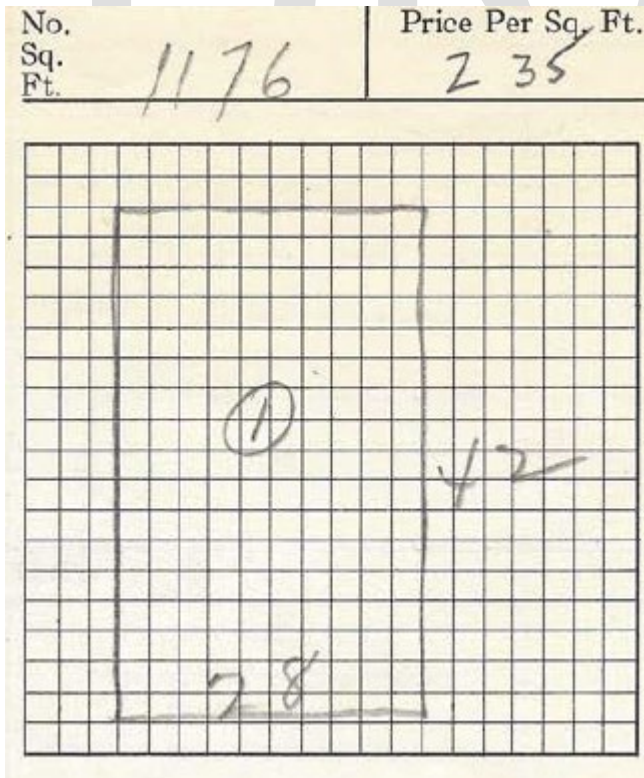


Figure 2 - no indication of individual gables on front elevation nor sides

FORM 590

INVESTIGATE

Map _____

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referred to Board.

Jan 11, 1964

Reason of Reduction Request

House not in livable condition. House been vacant more than six months. House will not be repaired. House to be demolished and given away free.

3-13-1964
DATE

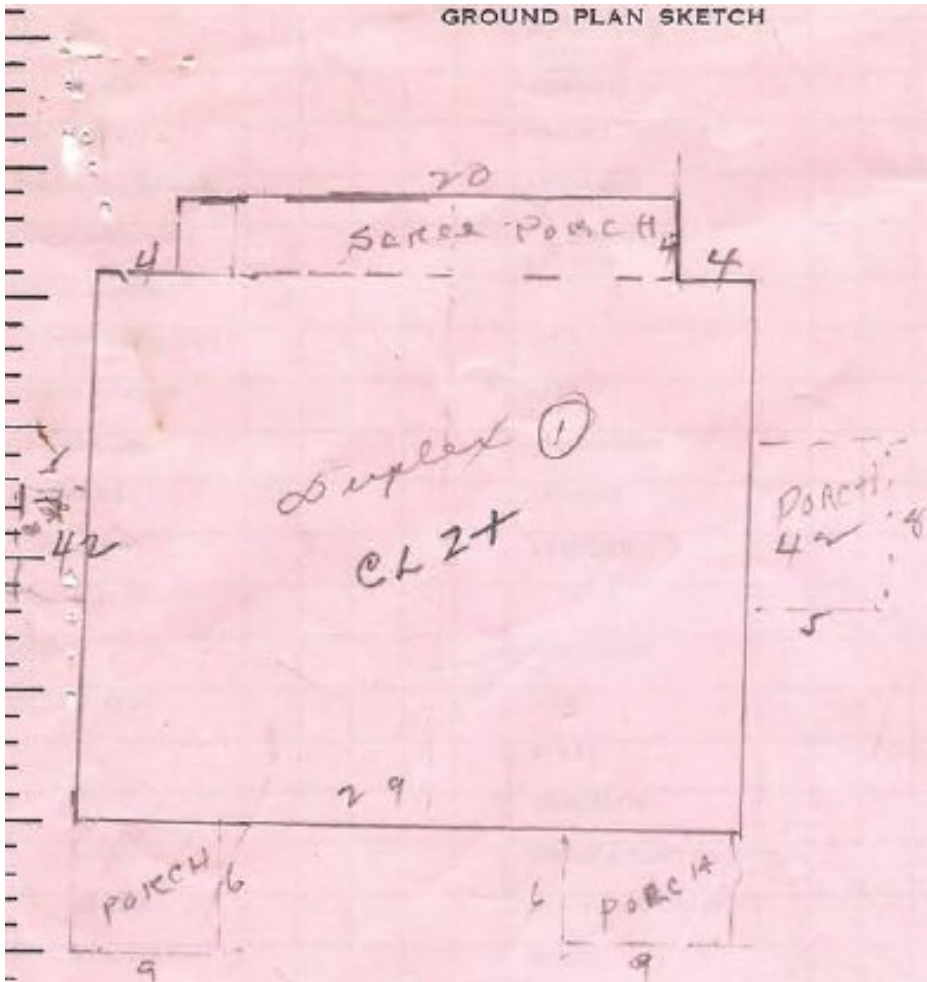
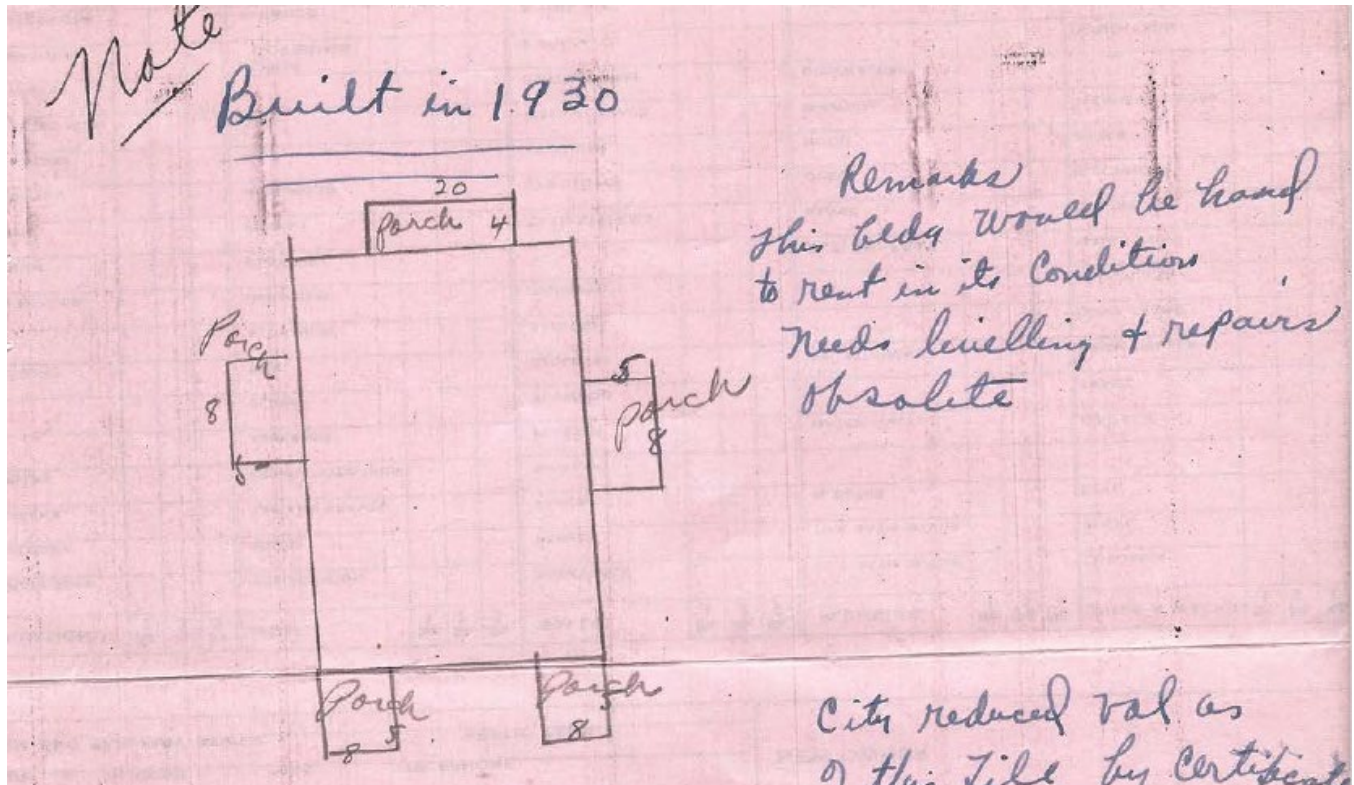


Figure 3 - Appearance of front, rear, and side porches

HARRIS COUNTY BUILDING A
8-9 1965
DATE



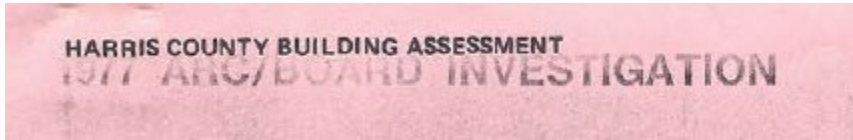


Figure 4 - 1977

1978 1977	ASSESSMENT	VALUE
new value		1980
YEAR	REMARKS - DO NOT KEY	
	BOARD	

Wood Siding
Grip Roof
Dirt floor
In Very Bad
Condition

Figure 5 - 1978

over is yellowing down. 111
Siding is Rotted. Needs Repair
and Painting. Foundation
Blocks are leaning. Foundation
is sinking
Interior is in some Cond.
as exterior. Rental Property
115⁰⁰ per side.

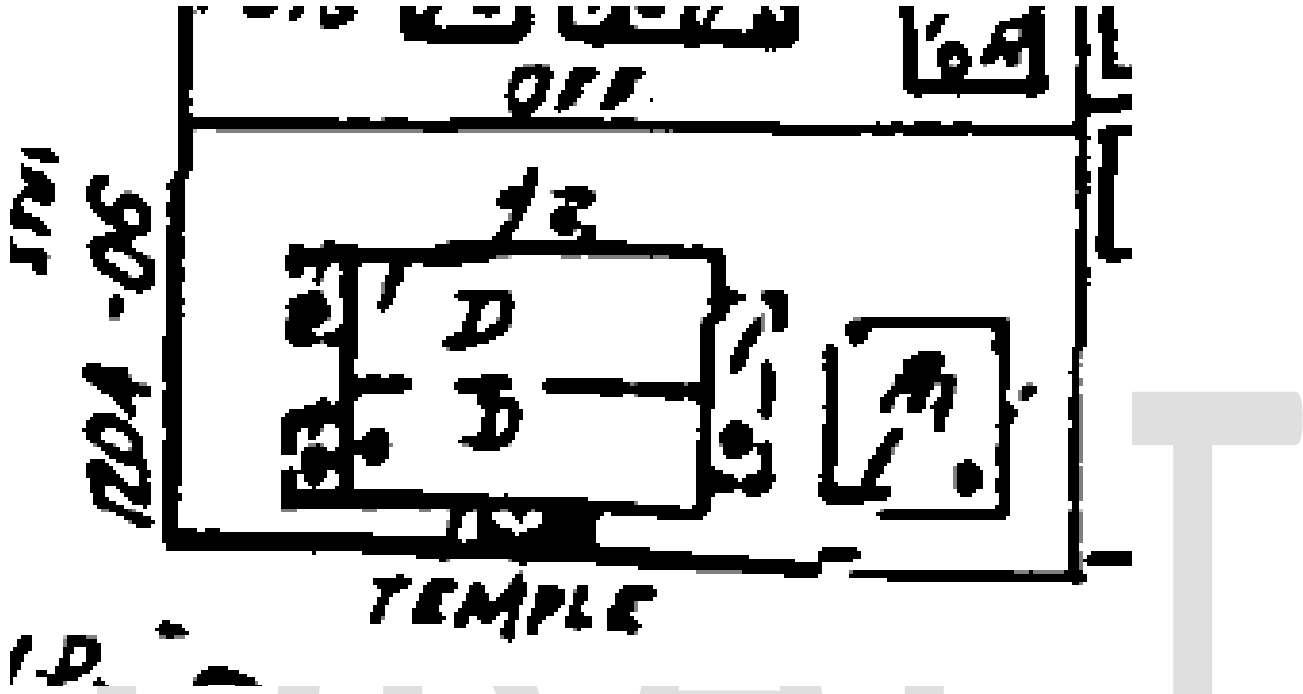
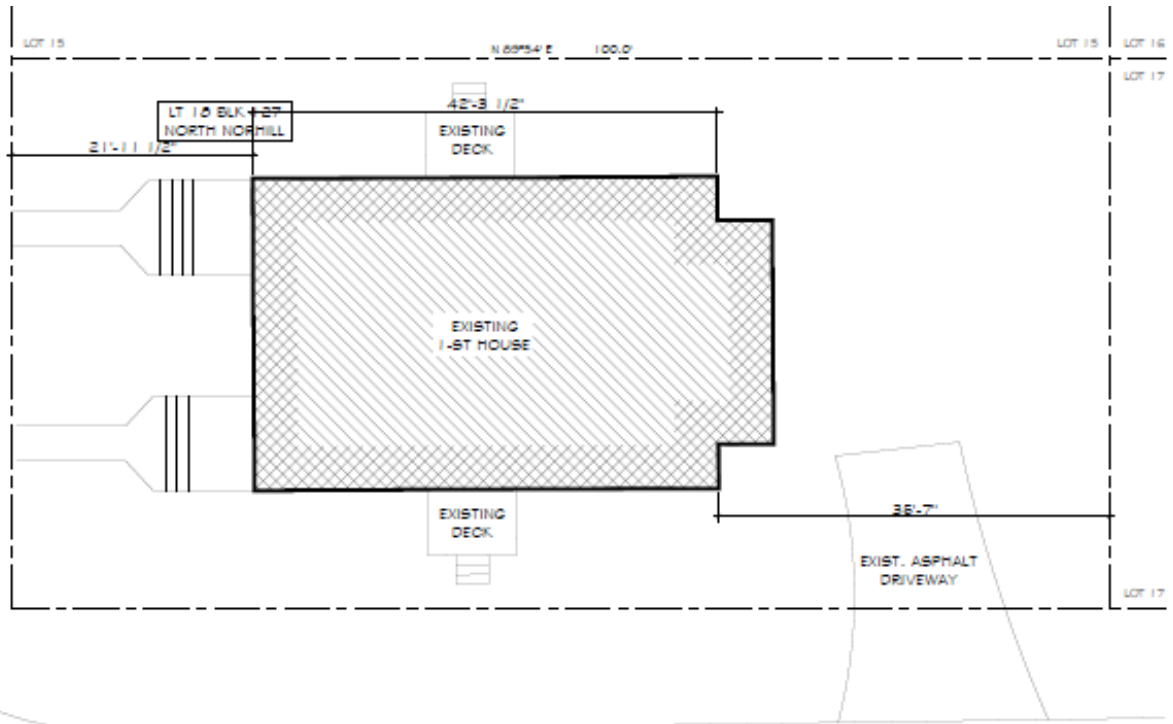


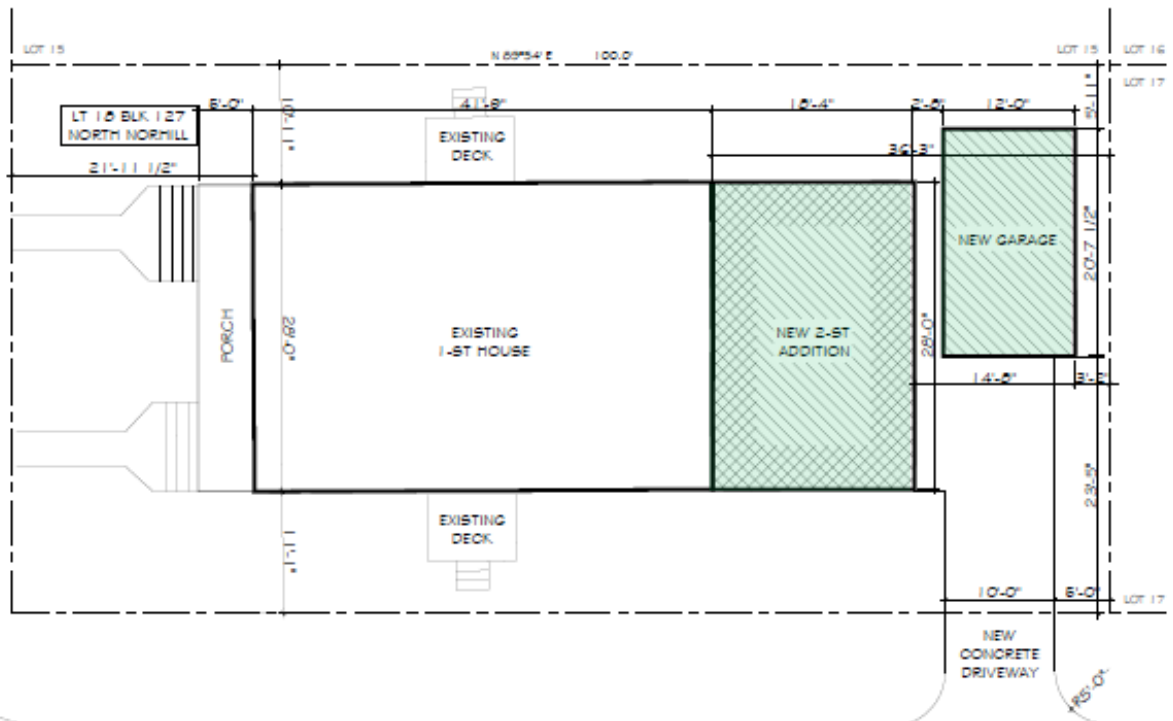
Figure 6 - Sanborn 1924 to 1950



1 SITE PLAN "EXISTING"

SCALE: 1/8"=1'-0"

TEMPLE AVE.
(50' R.O.W.)





3 EXIST. FRONT ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



4 EXIST. RIGHT ELEVATION
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

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