

**CERTIFICATE OF APPROPRIATENESS**

**Applicant:** Stephen Le, owner and Cory P. Decuire, agent

**Property:** 3215 and 3219 White Oak Drive, lots 23 & 24, block 286, Houston Heights Subdivision. The property includes 3,540 sqft of building area situated on a 8,257.65sqft square foot corner lot.

**Significance:** Noncontributing commercial structure, constructed circa 2002 and Noncontributing apartment building constructed c. 1950 (remodeled 2018), located in the Houston Heights Historic District South.

**Proposal:** New Construction . Revision and Redesign of previously approved COA by HAHC 11/21 HP2021\_0314 and deferred by HAHC in 11/2022

- New construction of 2,402 sq ft restaurant building and 735 sq ft patio area (*previous 3,137 sq. ft. for retail*)
- Proposed Height is mainted at 19' with parapet. Primary roof in modified bitumen, and patio roof in aluminum.
- Proposed front wall width: Updated to 65'4" (*previously 88'*) and side patio added facing the bike path.
- Brick veneer, stucco, and metal canopies will be used as primary façade materials on street facing walls. The location of exposed steel columns has been changed (*and cast stone removed*).
- Left corner of front façade will be modified with glazing and stucco accent at the top, metal awning, and steel columns.
- Front window openings enlarged.

Similar to previously approved COA:

- Associated site work, detention, and parking areas will be provided. Alleyway improvements will be made to the existing access drive to provide maneuvering clearance for the new parking areas.
- Comprised of brick veneer, stucco, on primary façade/street facing elevations
- Aluminum window storefront system will be recessed
- Meets Heights Design Guidelines **Measurable** Standards for atypical use (nonresidential).

**Public Comment:** No comment received.

**Civic Association:** No comment received.

**Recommendation:** -

**HAHC Action:** -



**HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS**

S D NA

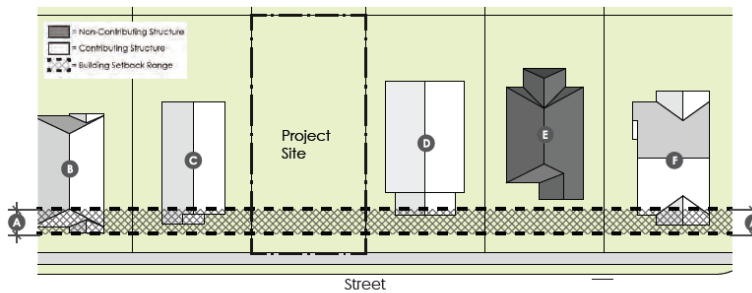
S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

| LOT SIZE  | MAXIMUM LOT COVERAGE |
|-----------|----------------------|
| <4000     | .44 (44%)            |
| 4000-4999 | .44 (44%)            |
| 5000-5999 | .42 (42%)            |
| 6000-6999 | .40 (40%)            |
| 7000-7999 | .38 (38%)            |
| 8000+     | .38 (38%)            |

Existing Lot Size: 8,257.65sqft  
 Proposed Lot Coverage: ~~3,137~~ 2,402 sqft  
 Proposed Percentage: ~~.38 (38%)~~ .29 (29%)

Front Setbacks (New Construction)



| KEY | MEASUREMENT | APPLICATION   |
|-----|-------------|---|
| A   | RANGE       | Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area. |

Proposed front setback: 5' facing White Oak— others on white oak are 0-5' from sidewalk, Columbia street setback is 10' which is further back than homes on that block – see site plan.

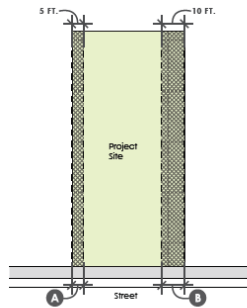
Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: All setbacks 5' or more

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

| KEY | MEASUREMENT | APPLICATION  |
|-----|-------------|--|
| A   | 3 FT.       | Minimum distance between side wall and the property line for lots less than 35 feet wide |
|     | 5 FT.       | Minimum distance between the side wall and the property line                             |
| B   | REMAINING   | Difference between minimum side setback of 5 feet and minimum cumulative side setback    |
|     | 6 FT.       | Minimum cumulative side setback for lots less than 35 feet wide                          |
| C   | 10 FT.      | Minimum cumulative side setback for a one-story house                                    |
|     | 15 FT.      | Minimum cumulative side setback for a two-story house                                    |

Proposed side setback (1): 5'

Proposed side setback (2): 5'

Cumulative side setback: 10' – OK for 1 story building

Maximum Floor Area Ratio (Addition and New Construction)

| LOT SIZE  | MAXIMUM FAR |
|-----------|-------------|
| <4000     | .48         |
| 4000-4999 | .48         |
| 5000-5999 | .46         |
| 6000-6999 | .44         |
| 7000-7999 | .42         |
| 8000+     | .40         |

Existing Lot Size: 8,257.65sqft

Proposed FAR: ~~.38 (38%)~~ .29 (29%)

Side Wall Length and Insets (Addition and New Construction)

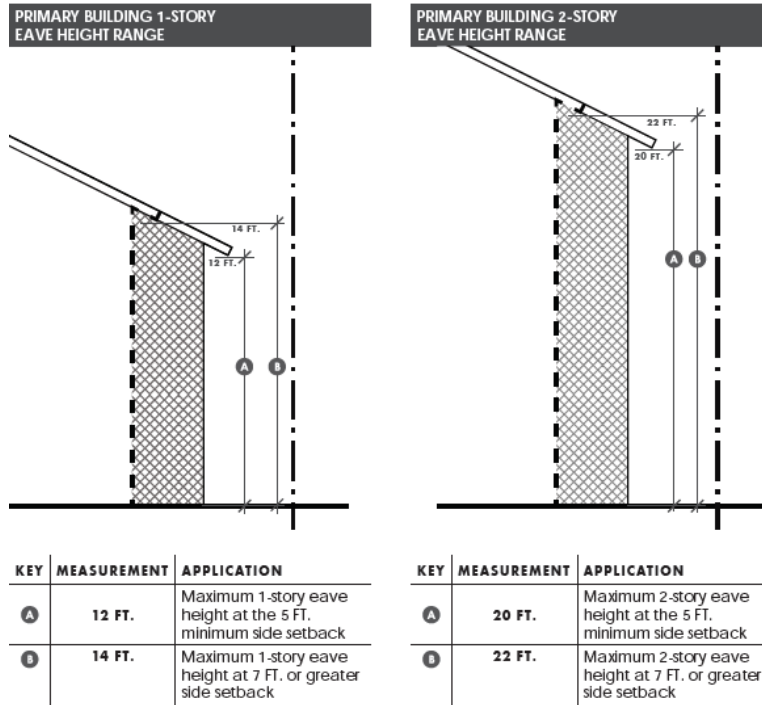
| MEASUREMENT | APPLICATION   |
|-------------|---|
| 50 FT.      | Maximum side wall length without inset (1-story)      |
| 40 FT.      | Maximum side wall length without inset (2-story)      |
| 1 FT.       | Minimum depth of inset section of side wall (1-story) |
| 2 FT.       | Minimum depth of inset section of side wall (2-story) |
| 6 FT.       | Minimum length of inset section of side wall          |

Side Wall Length: ~~37'-4"~~ 37"

Inset Length: not applicable

S D NA      S - satisfies   D - does not satisfy   NA - not applicable

     Eave Height (Addition and New Construction)



Proposed eave height: 19' – due to atypical use (nonresidential style) and comparable contributing context buildings in this “commercial style” this measurable should not be applied. Comparable are one-story, with flat roofs, sometimes with parapets and range from 14’ to 28’ – see contributing context worksheet.

     Building Wall (Plate) Height (Addition and New Construction)

| MEASUREMENT | APPLICATION   |
|-------------|---|
| 36 IN.      | Maximum finished floor height (as measured at the front of the structure) |
| 10 FT.      | Maximum first floor plate height  |
| 9 FT.       | Maximum second floor plate height   |

Proposed finished floor: 0  
 Proposed first floor plate height:  
 Proposed second floor plate height:  
 due to atypical use (nonresidential style) and comparable contributing context buildings in this “commercial style” this measurable should not be applied. Comparable are one-story, with flat roofs, sometimes with parapets and range from 14’ to 28’ – see contributing context worksheet.

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Porch Eave Height (Addition and New Construction)

| MEASUREMENT | APPLICATION                                    |
|-------------|--|
| 9-11 FT.    | Minimum and maximum 1-story porch eave height. |

Proposed porch eave height: No porch

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Front Wall Width and Insets (New Construction)

| MEASUREMENT | APPLICATION   |
|-------------|---|
| 30 FT.      | Maximum front wall width before inset                     |
| 4 FT.       | Minimum width of inset section of front wall              |
| 40 FT.      | Maximum width of 1-story building for lots </= 50 ft wide |
| 35 FT.      | Maximum width of 2-story building for lots </= 50 ft wide |
| 50 FT.      | Maximum width of building for lots > 50 ft wide           |

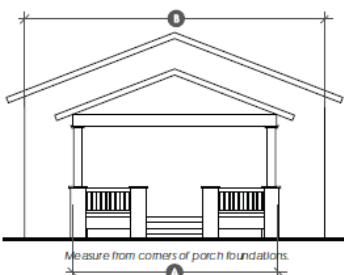
Updated: 65'4"

Proposed front wall width: 88' due to atypical use (nonresidential style) and comparable contributing context buildings in this "commercial style" this measurable should not be applied. Comparable are one-story buildings have similar front wall widths. See Google aerial map with figure grounds.

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Front Porch Width and Depth (Addition and New Construction)

**FRONT WALL-TO-PORCH WIDTH**

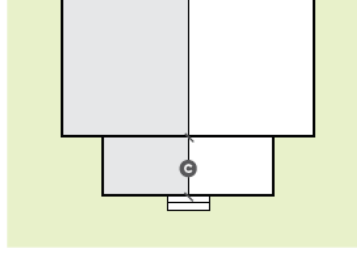


| KEY | MEASUREMENT               | APPLICATION |
|-----|---------------------------|-------------|
| A   | Porch Width               |             |
| B   | House Width at Front Wall |             |

| KEY | MEASUREMENT | APPLICATION   |
|-----|-------------|---|
| A   | 50%         | Minimum percentage of front wall width that is covered by porch |

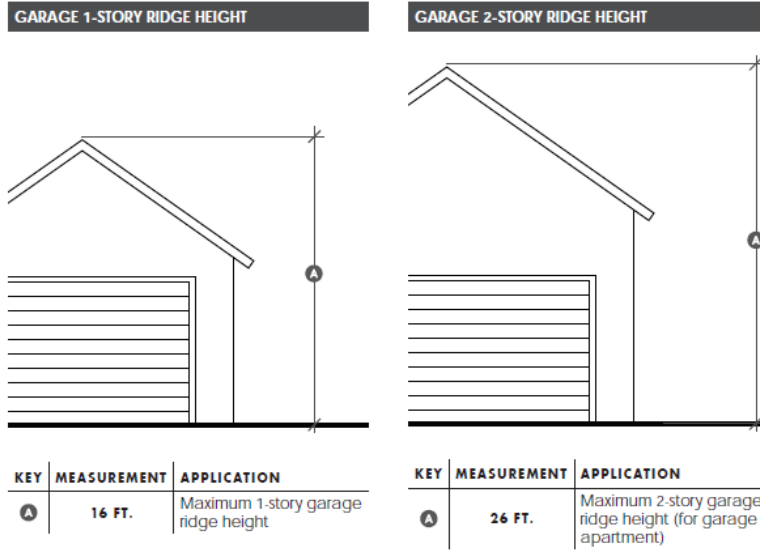
**FRONT PORCH DEPTH**



| KEY | MEASUREMENT | APPLICATION                  |
|-----|-------------|------------------------------|
| C   | 6 FT.       | Minimum depth of front porch |

Proposed front porch width: no front porch

Detached Garage Ridge Height (New Construction)



Proposed ridge height: not applicable

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**PROPERTY LOCATION**

**HOUSTON HEIGHTS SOUTH HISTORIC DISTRICT**

- Building Classification**
- Contributing
  - Non-Contributing
  - Park







INVENTORY PHOTO



CURRENT PHOTOS

A



EXISTING CAR WASH BUILDING

B



EXISTING APARTMENT BUILDING

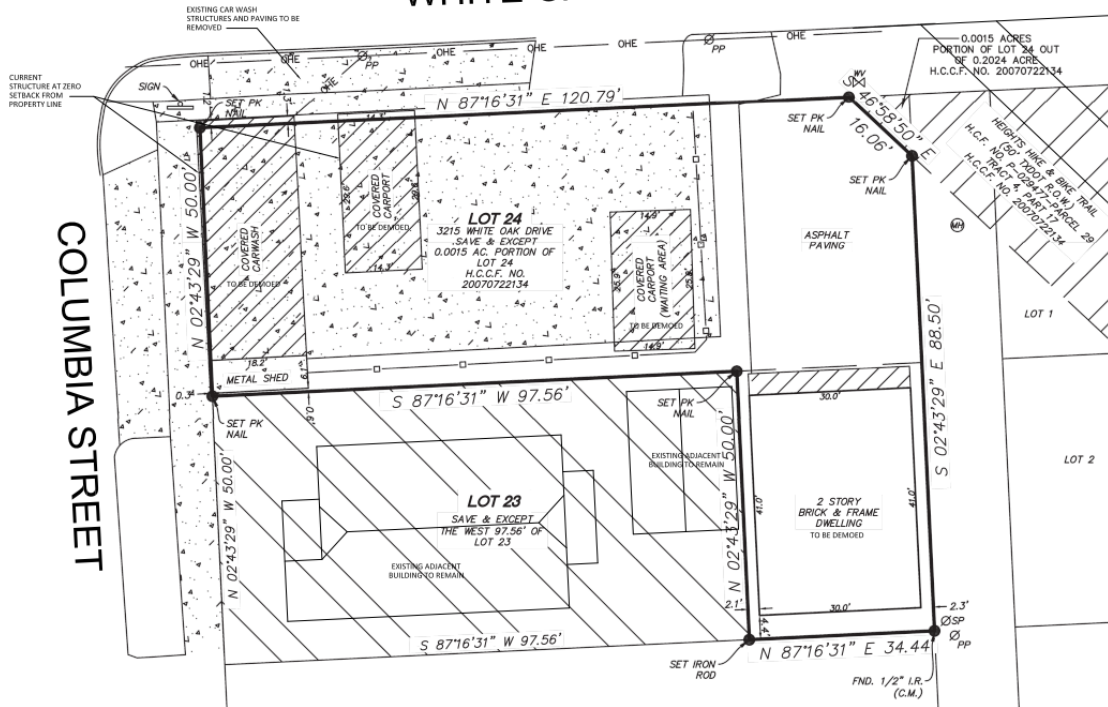
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SITE PLAN

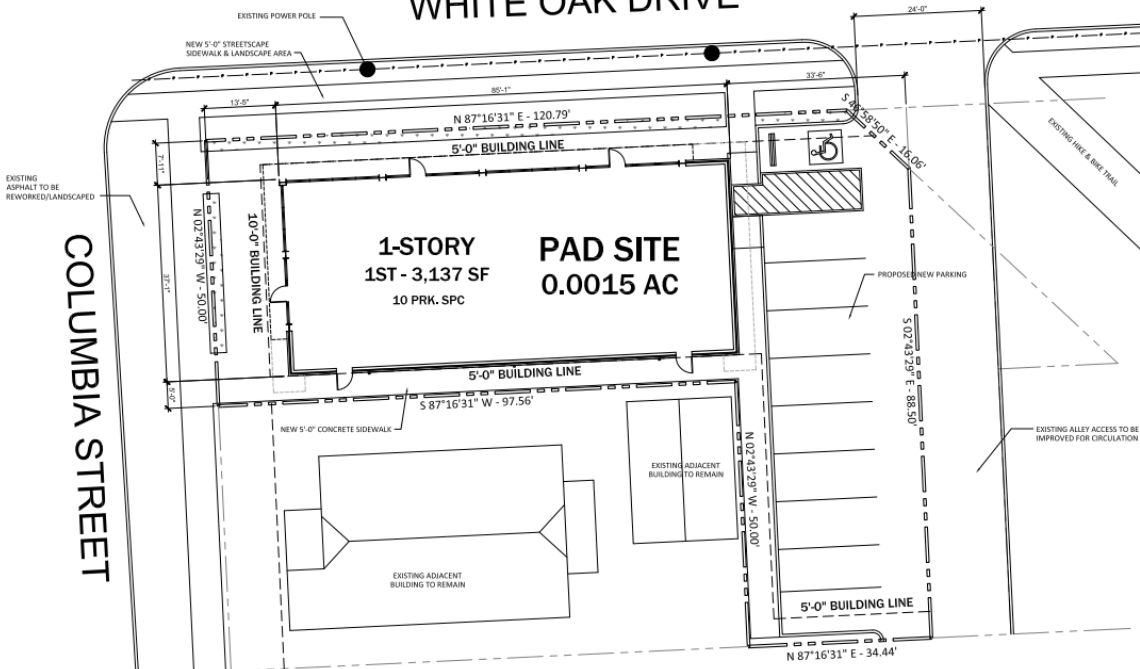
EXISTING

WHITE OAK DRIVE

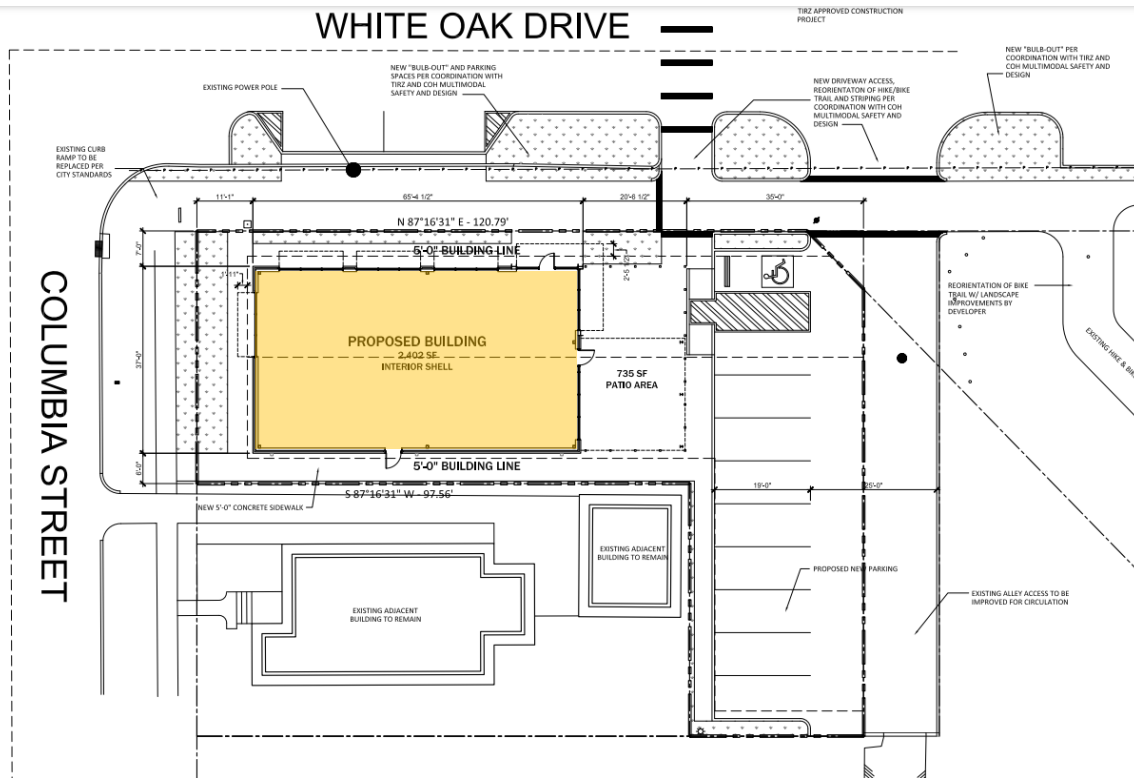


PROPOSED - APPROVED BY HAHC 11/21 HP2021\_0314

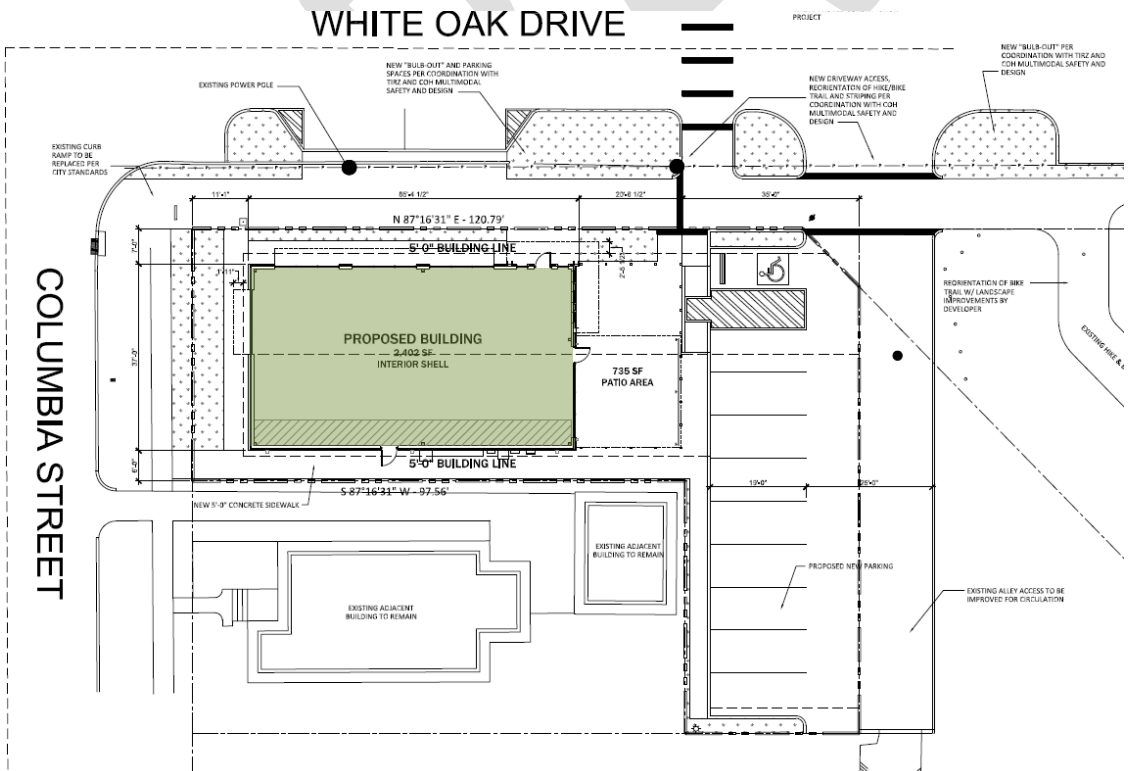
WHITE OAK DRIVE



PROPOSED -DEFERRED BY HAHC 11/2022

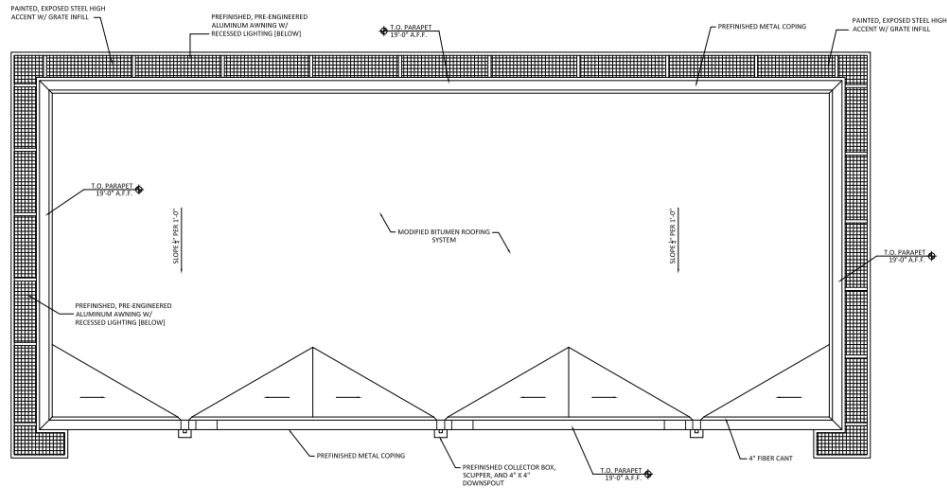


CURRENT PROPOSED

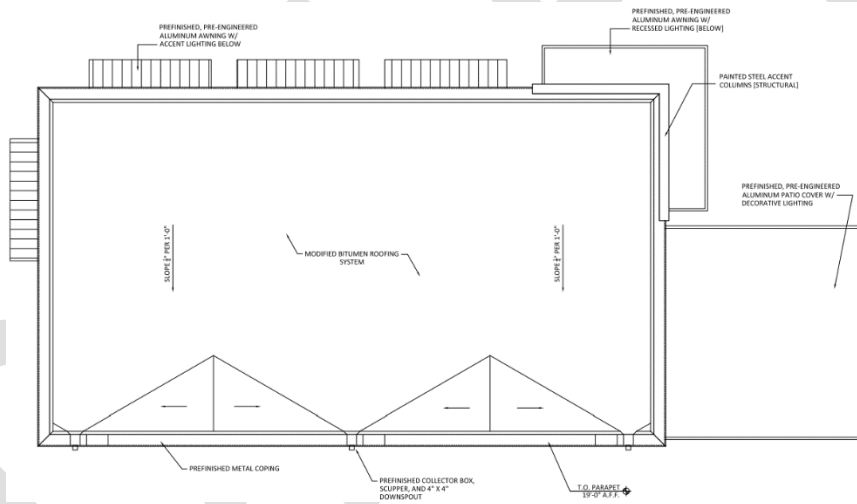


ROOF PLAN

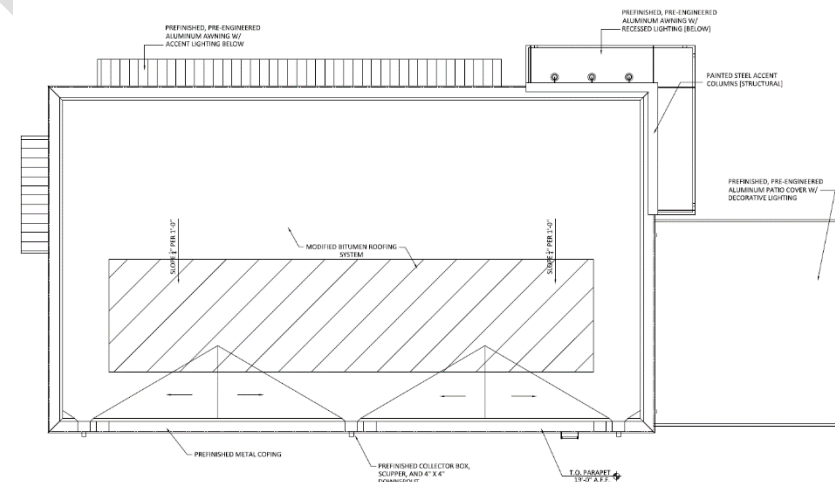
APPROVED BY HAHC 11/21 HP2021\_0314



DEFERRED BY HAHC 11/2022

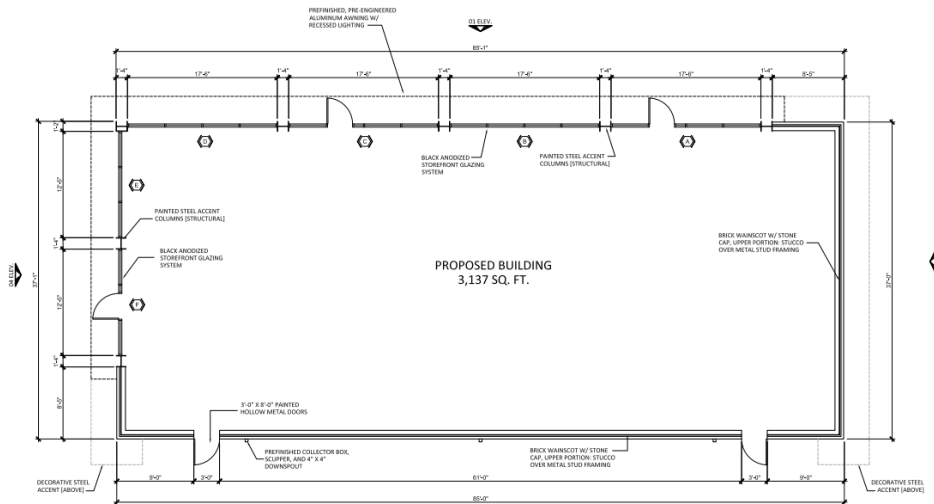


PROPOSED

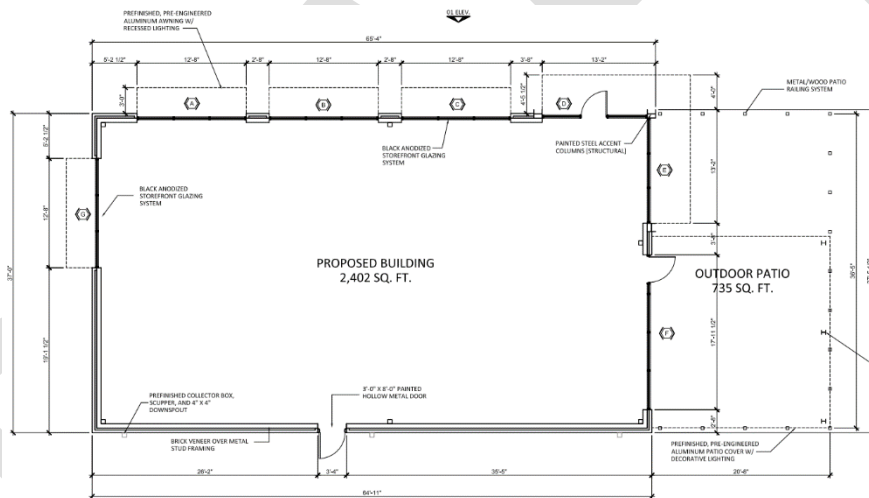


FIRST FLOOR PLAN

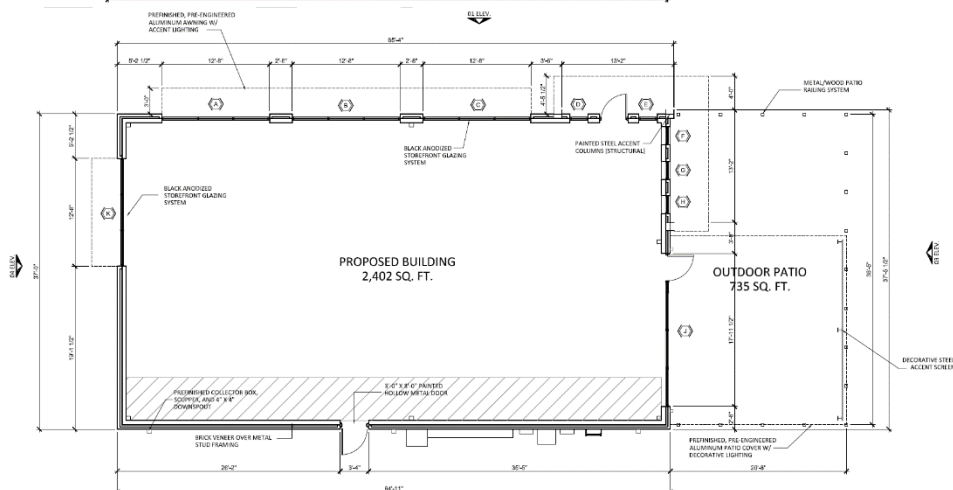
APPROVED BY HAHC 11/21 HP2021\_0314



DEFERRED BY HAHC 11/2022

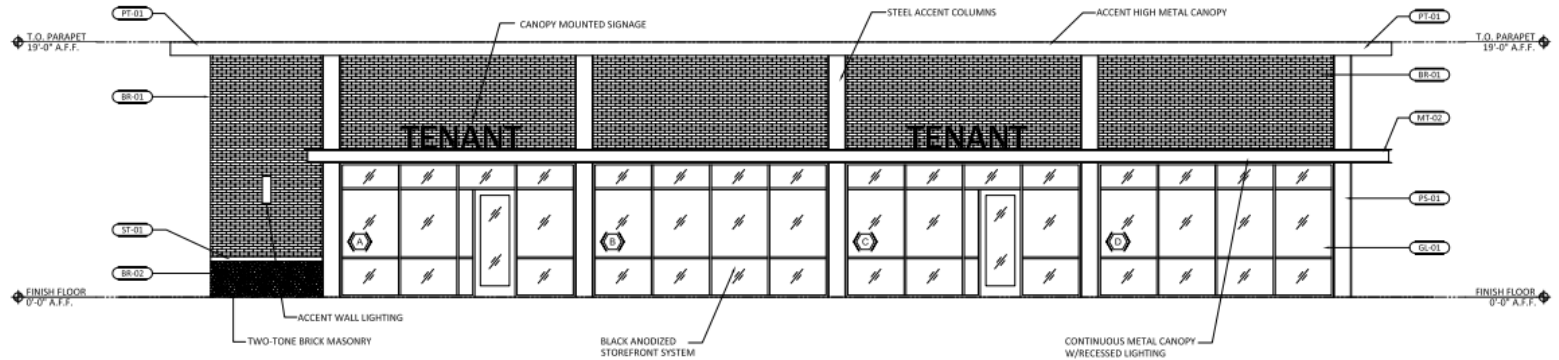


PROPOSED

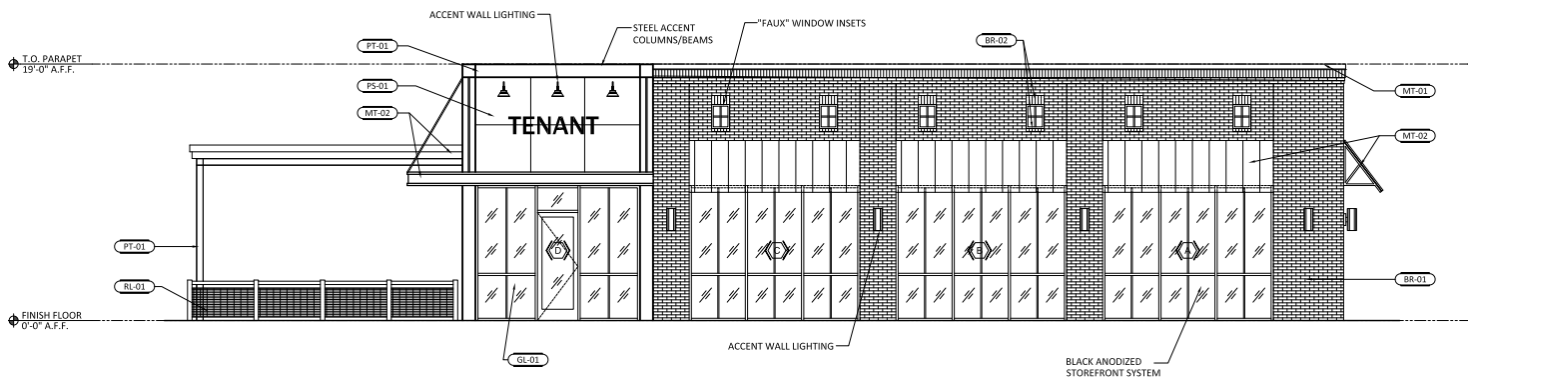


NORTH ELEVATION – FRONT FACING WHITE OAK DRIVE

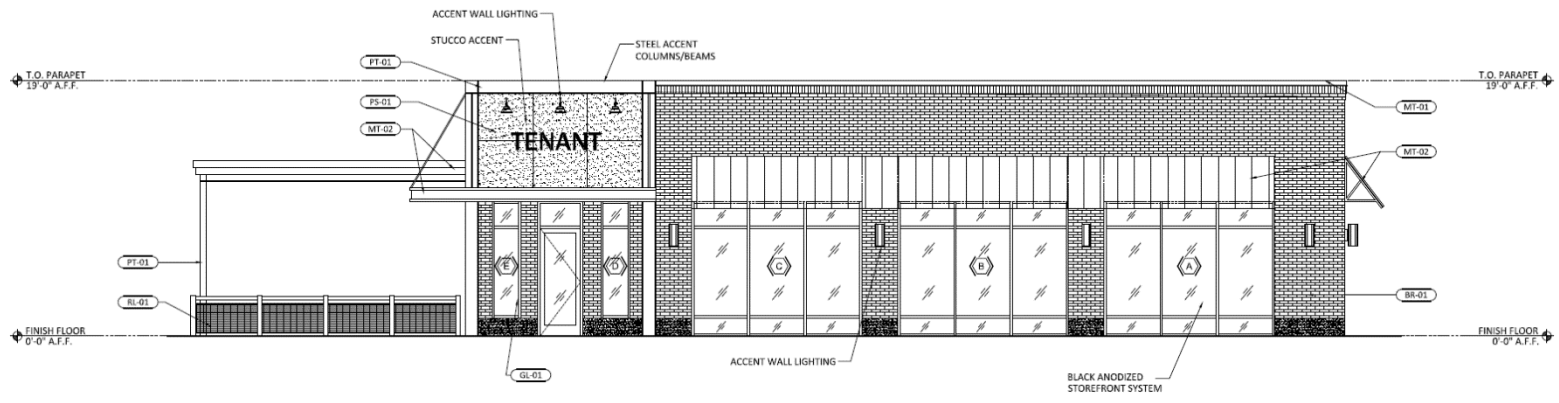
PROPOSED- APPROVED BY HAHC 11/21 HP2021\_0314



DEFERRED BY HAHC 11/2022

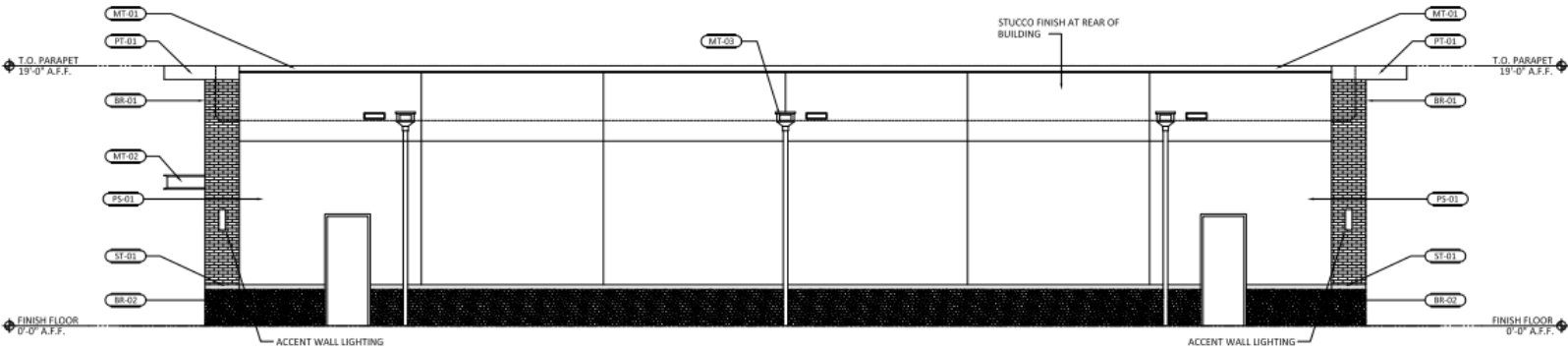


PROPOSED

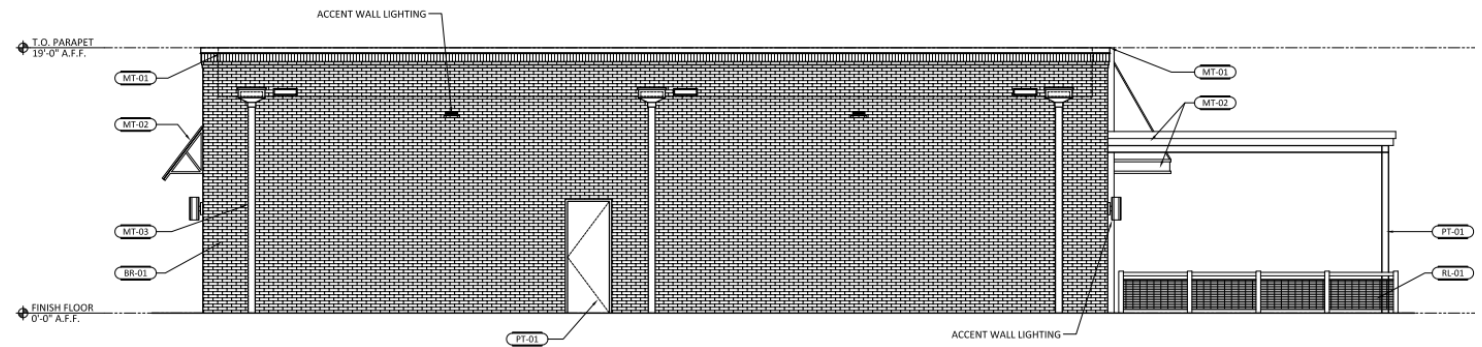




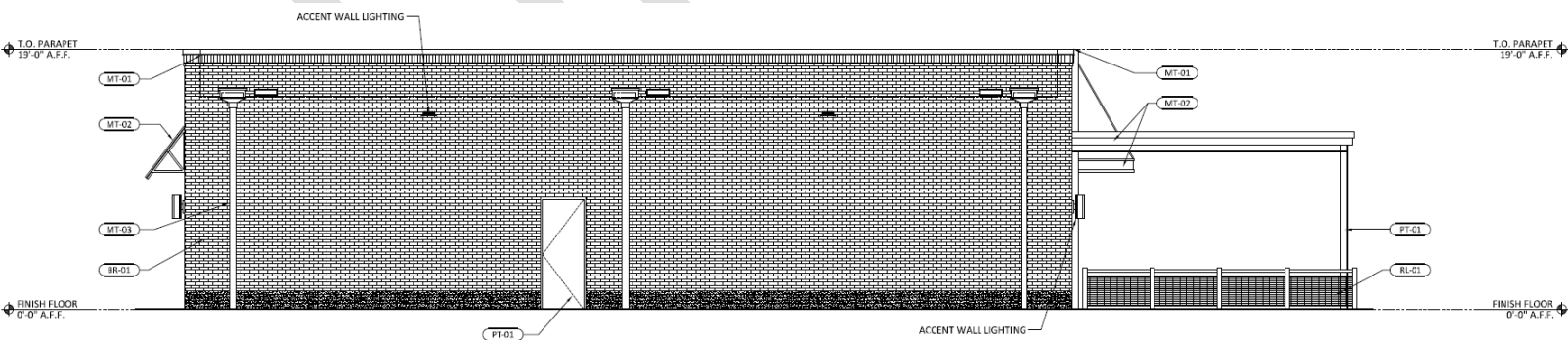
**SOUTH ELEVATION – TOWARDS INTERIOR -APPROVED BY HAHC 11/21 HP2021\_0314**



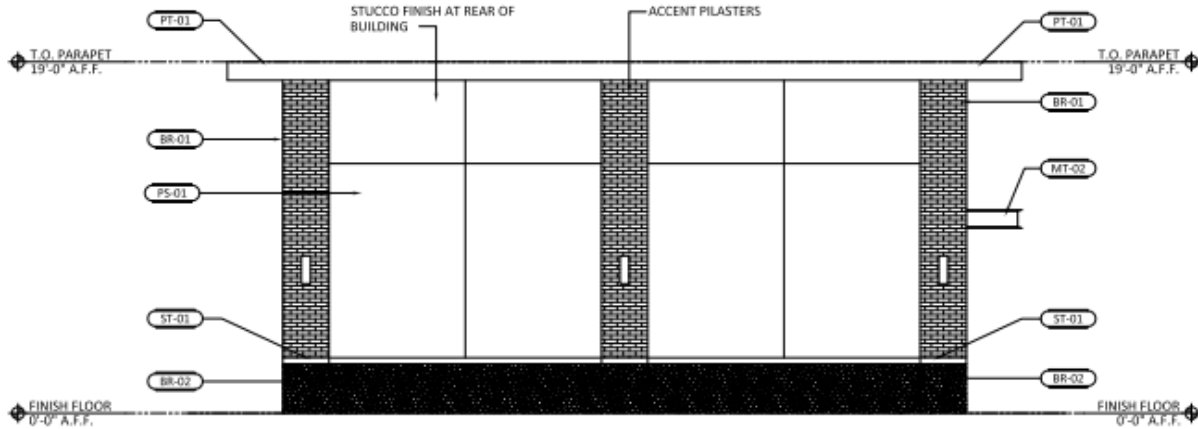
**DEFERRED BY HAHC 11/2022**



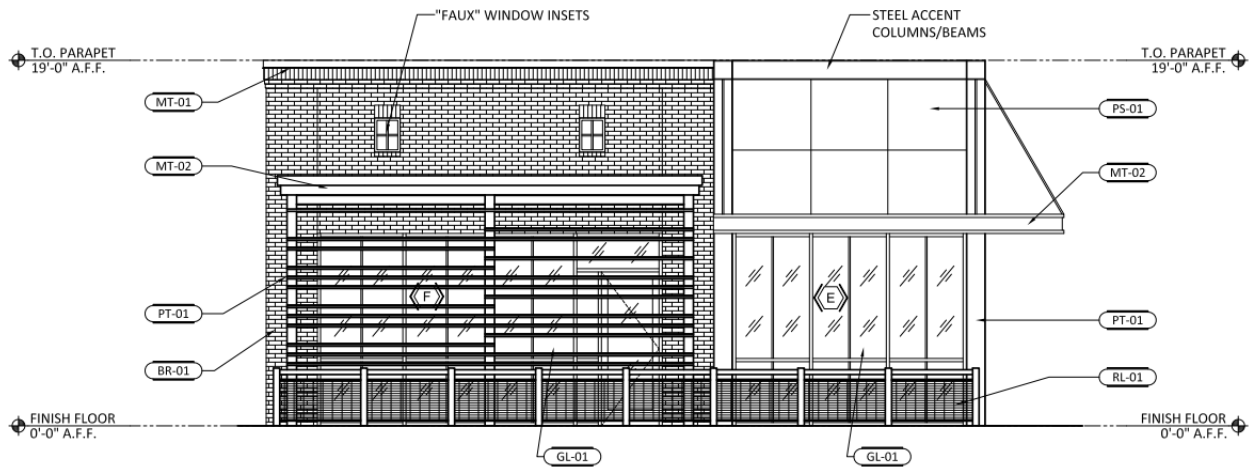
**PROPOSED**



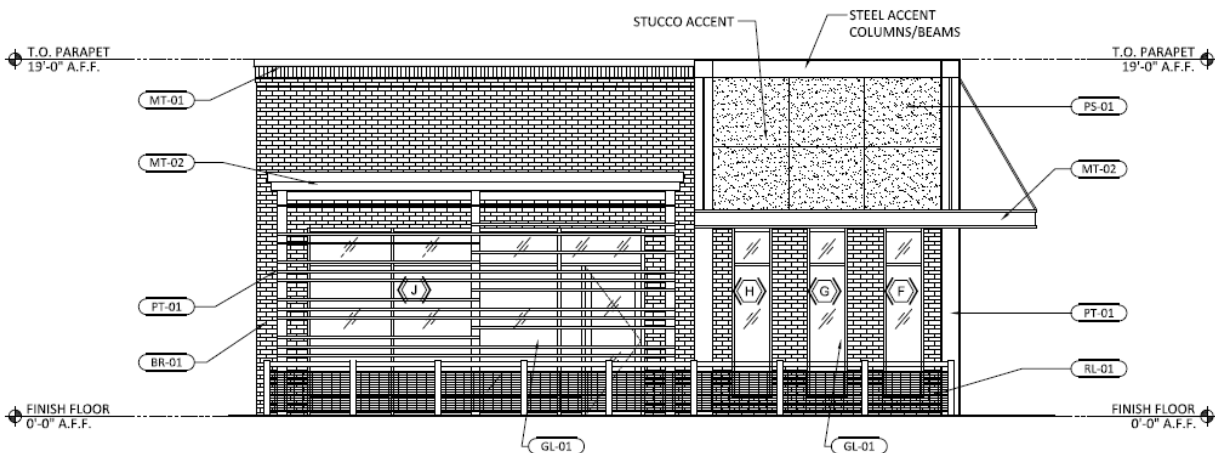
EAST ELEVATION – TOWARDS ALLEY-APPROVED BY HAHC 11/21 HP2021\_0314



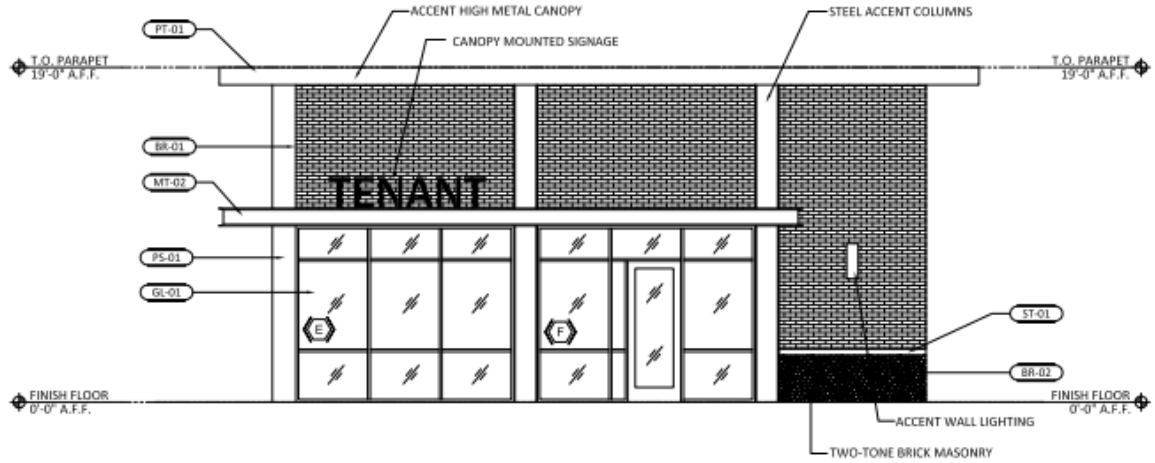
DEFERRED BY HAHC 11/2022



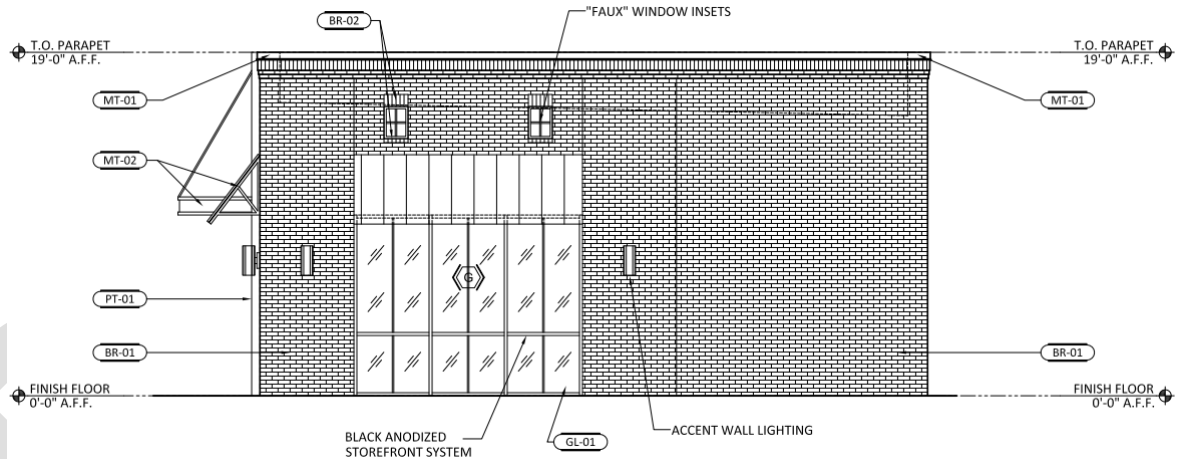
PROPOSED



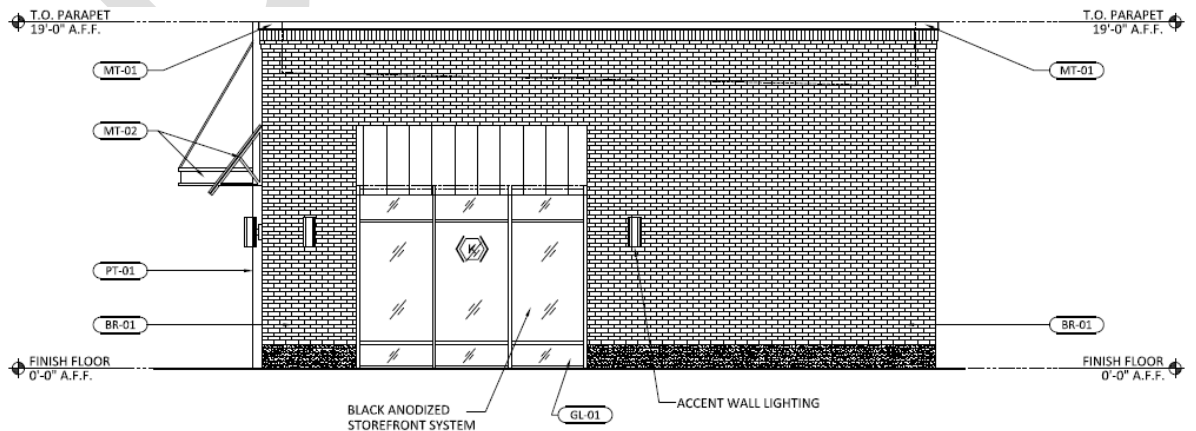
**WEST ELEVATION – TOWARDS COLUMBIA STREET-APPROVED BY HAHC 11/21**  
HP2021\_0314



**DEFERRED BY HAHC 11/2022**



**PROPOSED**



**RENDERING FOR MATERIAL REFERENCE, NOT FOR DESIGN  
DEFERRED 11/2022**



**PROPOSED**



**WINDOW SCHEDULE**

| PROPOSED WINDOW SCHEDULE |             |              |           |                |                  |                     |                    |                |
|--------------------------|-------------|--------------|-----------|----------------|------------------|---------------------|--------------------|----------------|
| Window                   | Material    | Lite Pattern | Style     | Dimensions     | Mounting Profile | Brand or Equivalent | Existing To Remain | Other          |
| <i>Ex. A1</i>            | <i>Wood</i> | <i>1/1</i>   | <i>DH</i> | <i>32 x 66</i> | <i>Recessed</i>  | <i>WindowCo.</i>    | <i>No</i>          |                |
| A                        | ALUM.       | 3/3          | STRFRNT.  | 152 x 120      | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| B                        | ALUM.       | 3/3          | STRFRNT.  | 152 x 120      | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| C                        | ALUM.       | 3/3          | STRFRNT.  | 152 x 120      | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| D                        | ALUM.       | 2/1          | STRFRNT.  | 26 x 72        | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| E                        | ALUM.       | 2/1          | STRFRNT.  | 26 x 72        | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| F                        | ALUM.       | 2/1          | STRFRNT.  | 26 x 72        | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| G                        | ALUM.       | 2/1          | STRFRNT.  | 26 x 72        | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| H                        | ALUM.       | 2/1          | STRFRNT.  | 26 x 72        | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| J                        | ALUM.       | 4/3          | STRFRNT.  | 216 x 120      | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
| K                        | ALUM.       | 3/3          | STRFRNT.  | 152 x 120      | Recessed         | Kawneer             | N/A                | 1" INSUL GLASS |
|                          |             |              |           |                |                  |                     |                    |                |
|                          |             |              |           |                |                  |                     |                    |                |
|                          |             |              |           |                |                  |                     |                    |                |

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**Certificate Of Appropriateness: New Construction Worksheet**

(For Houston Heights East, West, or South Districts only)



**PLANNING & DEVELOPMENT DEPARTMENT**

Please review Houston Heights Design Guidelines for more clarification or larger images - Section 5 - See link here:

[https://www.houstontx.gov/planning/HistoricPres/Design\\_Guide\\_Heights\\_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf](https://www.houstontx.gov/planning/HistoricPres/Design_Guide_Heights_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf)

\* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

Please fill out all information to the best of your knowledge. Not all fields will apply to every project.

**Address:** 3215 White Oak

**Lot Size (Total Sq Ft):** 8,257.65 Sq. Ft.

**Lot Dimensions (W X L):** Non-Rectangular

**General New Construction Info:**

|   |               |  |     |
|---|---------------|--|-----|
| Primary Building or Accessory Structure ?                                 | Retail Shell  | Type of Accessory Building                             | N/A |
| Proposed Total Square Footage (including garage and accessory structures) | 2,402 Sq. Ft. | Is accessory building conditioned space?               | N/A |
| Total Conditioned Living Space  | 2,402 Sq. Ft. | Does this new construction include an attached garage? | NO  |

**Historic Preservation Tracker** now offers a calculator for Lot Coverage and Floor to Area Ratio (FAR). Please create an application here <https://cohweb.houstontx.gov/HPT/login.aspx> and use that tool to calculate and save a **draft** of your application. We will also accept documents uploaded to Tracker that prove these calculations are accurate. Please refer to Section 5 pages 5-9 and 5-12 in the design guidelines for what must be included or can be exempt from each calculation. [https://www.houstontx.gov/planning/HistoricPres/Design\\_Guide\\_Heights\\_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf](https://www.houstontx.gov/planning/HistoricPres/Design_Guide_Heights_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf)

Drawings must be labeled with measurements and support these numbers

**Maximum Lot Coverage:**

|  |               |
|--|---------------|
| Total Lot Coverage (base sq ft) =          | 2,402 Sq. Ft. |
| Total Lot Coverage (% based on lot size) = | 29%           |

**Floor to Area Ratio (FAR):**

|                              |               |
|------------------------------|---------------|
| FAR (sq ft) =                | 2,402 Sq. Ft. |
| FAR (% based on lot size)* = | 0.29          |

| LOT SIZE  | MAXIMUM LOT COVERAGE |
|-----------|----------------------|
| <4000     | .44 (44%)            |
| 4000-4999 | .44 (44%)            |
| 5000-5999 | .42 (42%)            |
| 6000-6999 | .40 (40%)            |
| 7000-7999 | .38 (38%)            |
| 8000+     | .38 (38%)            |

| LOT SIZE  | MAXIMUM FAR |
|-----------|-------------|
| <4000     | .48         |
| 4000-4999 | .48         |
| 5000-5999 | .46         |
| 6000-6999 | .44         |
| 7000-7999 | .42         |
| 8000+     | .40         |

**Window information:**

Are all windows inset & recessed?

YES or NO

Window Notes:  
Please upload vendor and material information documents into Preservation Tracker

Black Anodized Aluminum Storefront System, Kawneer Trifab 451 or eq.

### Certificate Of Appropriateness: New Construction Worksheet

(For Houston Heights East, West, or South Districts only)



**PLANNING & DEVELOPMENT DEPARTMENT**

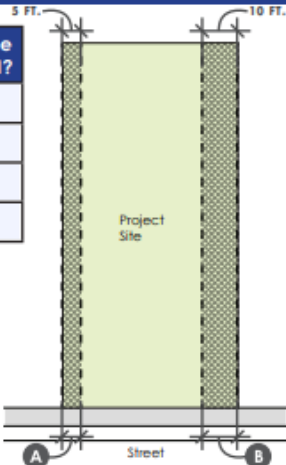
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[https://www.houston.tx.gov/planning/HistoricPres/Design\\_Guide\\_Heights\\_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf](https://www.houston.tx.gov/planning/HistoricPres/Design_Guide_Heights_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf)

\* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

### Setbacks:

|       | Proposed | Shares property line with neighbor - Y/N? |
|-------|----------|---|
| North | 5'-0"    | N   |
| South | 5'-0"    | Y   |
| East  | 35'-0"   | N   |
| West  | 10'-0"   | N   |



| KEY | MEASUREMENT | APPLICATION  |
|-----|-------------|--|
| A   | 3 FT.       | Minimum distance between side wall and the property line for lots less than 35 feet wide |
|     | 5 FT.       | Minimum distance between the side wall and the property line                             |
| B   | REMAINING   | Difference between minimum side setback of 5 feet and minimum cumulative side setback    |
|     | 6 FT.       | Minimum cumulative side setback for lots less than 35 feet wide                          |
| C   | 10 FT.      | Minimum cumulative side setback for a one-story house                                    |
|     | 15 FT.      | Minimum cumulative side setback for a two-story house                                    |

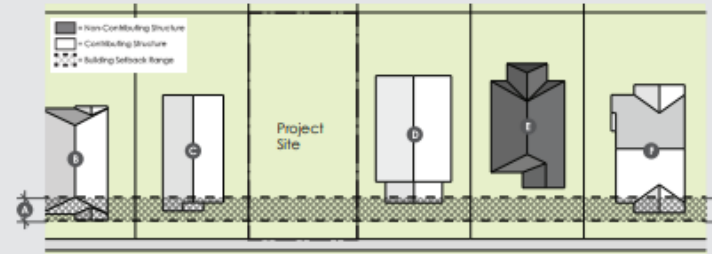
Note: This diagram shows just one example of a side setback configuration

If new construction is a garage, is it front-facing or alley loading? front-facing    alley loading    not applicable

Front-facing garage which is located with its rear wall at the alley may have a zero foot setback. An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front facing garage or a fence (a 24-foot clearance is preferred).

Context Area Setbacks: Are front setbacks within range of contributing buildings for the context area?

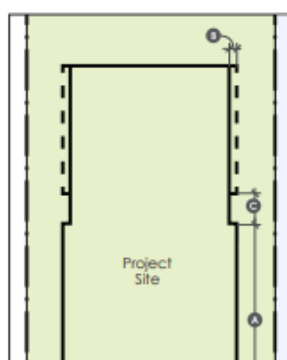
(For Primary Buildings only)    YES     NO     not applicable



| If applicable: | Front Setback of Contributing Neighbors (must be in same historic district) |
|----------------|---|
| #1             | 3320 White Oak - 0'-0"  |
| #2             | 3400 White Oak - 10'-0"   |
| #3             | 3301 White Oak - 0'-0"  |

### Max Width/Depth (Overall):

| "widest building wall corner to corner" | Proposed |
|---|----------|
| Max Width                               | 37'-6"   |
| Max Depth                               | N/A      |
| Side wall inset width "if applicable"   | N/A      |



| SIDE WALL LENGTH |             |   |
|------------------|-------------|---|
| KEY              | MEASUREMENT | APPLICATION   |
| A                | 50 FT.      | Maximum side wall length without inset (1-story)      |
|                  | 40 FT.      | Maximum side wall length without inset (2-story)      |
|                  | 1 FT.       | Minimum depth of inset section of side wall (1-story) |
| B                | 2 FT.       | Minimum depth of inset section of side wall (2-story) |
| C                | 6 FT.       | Minimum length of inset                               |

**Certificate Of Appropriateness: New Construction Worksheet**

(For Houston Heights East, West, or South Districts only)



**PLANNING & DEVELOPMENT DEPARTMENT**

Please review Houston Heights Design Guidelines for more clarification or larger images - Section 5 - See link here:

[https://www.houston.tx.gov/planning/HistoricPres/Design\\_Guide\\_Heights\\_District/july2018/Houston-Heights-Design-Guidelines-July2018.pdf](https://www.houston.tx.gov/planning/HistoricPres/Design_Guide_Heights_District/july2018/Houston-Heights-Design-Guidelines-July2018.pdf)

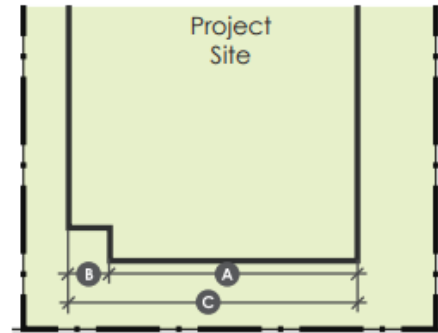
\* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

**Front Wall Width/Insets (New Construction of Primary Building only):**

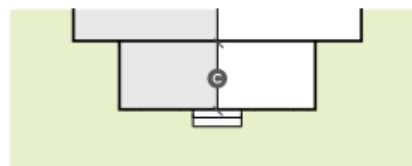
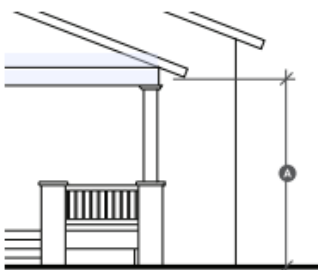
Overall building widths are dependent on the width of the lot. The maximum width of a one-story building on a 50-foot-wide lot with a 10 foot minimum cumulative side setback is 40 feet. As a lot gets wider, the building can be wider, to a point; for every two feet of additional lot width the building can be one foot wider. Smaller increases in lot width qualify for the equivalent increase in building width, using a 2:1 ratio; for example, a 60 foot wide lot could have a maximum 50 foot wide building.

| *widest building wall corner to corner* | Proposed |
|---|----------|
| Max Width                               | 65'-4"   |
| Max Depth                               | 13'-2"   |
| Inset Width                             |          |

| KEY | MEASUREMENT | APPLICATION   |
|-----|-------------|---|
| A   | 30 FT.      | Maximum front wall width before inset                     |
| B   | 4 FT.       | Minimum width of inset section of front wall              |
| C   | 40 FT.      | Maximum width of 1-story building for lots </= 50 ft wide |
|     | 35 FT.      | Maximum width of 2-story building for lots </= 50 ft wide |
|     | 50 FT.      | Maximum width of building for lots > 50 ft wide           |



**Porch Measurements:**



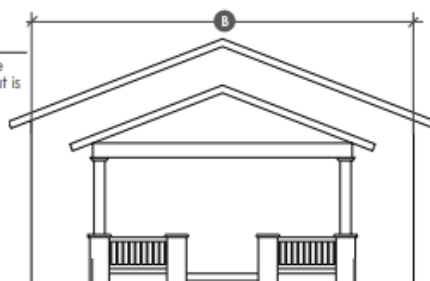
| KEY | MEASUREMENT | APPLICATION                  |
|-----|-------------|------------------------------|
| C   | 6 FT.       | Minimum depth of front porch |

| Proposed                               | Front Porch | Rear Porch |
|--|-------------|------------|
| Eave Height                            | N/A         | N/A        |
| Width                                  | N/A         | N/A        |
| Depth                                  | N/A         | N/A        |
| Railing Height                         | N/A         | N/A        |
| A. % front wall width covered by porch | N/A         | N/A        |

| KEY | MEASUREMENT | APPLICATION                                    |
|-----|-------------|--|
| A   | 9-11 FT.    | Minimum and maximum 1-story porch eave height. |

| KEY | MEASUREMENT | APPLICATION   |
|-----|-------------|---|
| A   | 50%         | Minimum percentage of front wall width that is covered by porch |

Example:  
 18 ft. Porch Width  
 ÷ 24 ft. Width of Front Wall of House  
 0.69 (69%) Percentage of Front Wall Covered by Porch



| Proposed       | Side Porch | Side Porch |
|----------------|------------|------------|
| Eave Height    | N/A        | N/A        |
| Width          | N/A        | N/A        |
| Depth          | N/A        | N/A        |
| Railing Height | N/A        | N/A        |

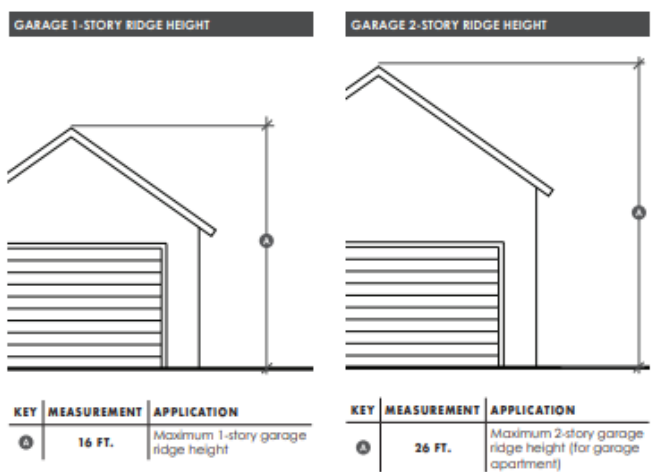
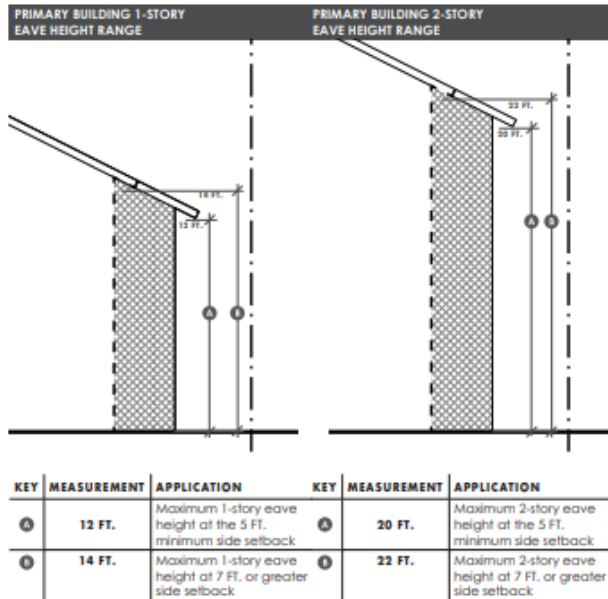


Please review Houston Heights Design Guidelines for more clarification of target images - section 3 - [see link here](https://www.houston.tx.gov/planning/HistoricPres/Design_Guide_Heights_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf).

[https://www.houston.tx.gov/planning/HistoricPres/Design\\_Guide\\_Heights\\_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf](https://www.houston.tx.gov/planning/HistoricPres/Design_Guide_Heights_District/July2018/Houston-Heights-Design-Guidelines-July2018.pdf)

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**Stories, Ridge Height, and Eave Height:**

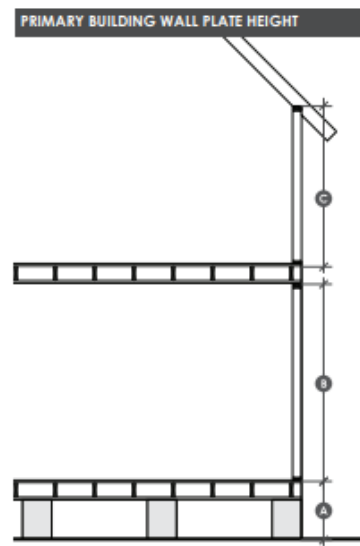


|   |                       |
|---|-----------------------|
| Proposed stories                              | 1 STORY               |
| Proposed max ridge height measured from grade | 19'-0" [High Parapet] |
| Proposed max eave height measured from grade  | 19'-0" [High Parapet] |

**Building Wall (Plate) Height:**

| KEY | MEASUREMENT | APPLICATION   |
|-----|-------------|---|
| A   | 36 IN.      | Maximum finished floor height (as measured at the front of the structure) |
| B   | 10 FT.      | Maximum first floor plate height  |
| C   | 9 FT.       | Maximum second floor plate height   |

|  |       |
|--|-------|
| A. Proposed max finished floor height* measured at front from grade/ground level | 0'-0" |
| B. Proposed first floor height (Plate Height) from max finished floor height     | 0'-0" |
| C. Proposed second floor height (Plate Height) from first floor height           | N/A   |



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**Material Info:**

**Foundation:**

|          | Proposed      |
|----------|---------------|
| Type     | Slab on Grade |
| Material | Concrete      |

Do you have flooding issues?      YES      NO  
     

**Roof:**

|          | Proposed                    |
|----------|-----------------------------|
| Pitch    | 1/4" per 1'-0" single slope |
| Style    | Slope with Parapet          |
| Material | Modified Bitumen            |

**Cladding:**

|   | Proposed       |
|---|----------------|
| Primary Siding Material<br><small>*If using cementitious siding, smooth is recommended.</small> | Brick/Stucco   |
| Primary Siding Width<br>Reveal (exposed width)  | N/A            |
| Skirting Material   | N/A            |
| Soffit Material   | Metal Canopies |

**Porch Details:**

|                    | Proposed |
|--------------------|----------|
| Decking Material   | N/A      |
| Pier/Base Material | N/A      |
| Column Material    | N/A      |
| Step Material      | N/A      |
| Railing Material   | N/A      |

**Questions or Additional Information:**

Single story, restaurant shell building. Simple structure with exposed structural columns, brick, and glass materials. Metal Canopy Accents and recessed lighting elements at entry points.

**Certificate Of Appropriateness:**  
 Contributing Context Worksheet  
 New Construction and Addition



**PLANNING &  
 DEVELOPMENT  
 DEPARTMENT**

**Address:** 3215 White Oak

Primary Building or  Accessory Structure

**For New Construction:**

Based on Sec. 33-242 of the Historic Preservation ordinance, new construction in a historic district must be **compatible** with exterior features of contributing structures in the context area (same historic district). When designing, elements of existing contributing construction in this district should be referenced, but not necessarily copied. Please give at least three examples of contributing buildings referenced. See this link for new construction criteria:

<https://bit.ly/3xG3NqJ>

| Neighboring Contributing Context Address<br>(Reference Address in same historic district) | Number of stories | Ridge Height<br>*If available | Compatibility/Reference Reason<br>Examples: massing, cladding, etc. |
|---|-------------------|-------------------------------|---|
| 3400 White Oak Dr.  | 1                 | 18'-0" [estimated]            | Height, Materials, Massing  |
| 3320 White Oak Dr.  | 1                 | 14'-0" [estimated]            | Materials, Massing  |
| 104 W. 12th   | 2                 | 28'-0" [estimated]            | Materials, Massing, Window Style                                    |
| Neighboring Context Address<br>* if next door neighbor isn't contributing                 | Number of stories | Ridge Height<br>*if available |   |
| 3302 White Oak  | 1                 | 15'-0"                        |   |
| 3601 White Oak  | 1                 | 17'-0" [estimated]            |   |

**For an Addition:**

Based on Sec. 33-241 for Alterations, Rehabilitations, Restorations and Additions:

- The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
- The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

*Existing contributing structures must be in the context area (same historic district). Elements of existing contributing construction in this district should be referenced in the design process. Please give at least three examples of these contributing buildings. See this link for alteration criteria:*

<https://bit.ly/3wEYfMa>

| Neighboring Contributing Context Address<br>(Reference Address in same historic district) | Number of stories | Ridge Height<br>*If available | Compatibility/Reference Reason<br>examples: massing, cladding, etc. |
|---|-------------------|-------------------------------|---|
|   |                   |                               |   |
|   |                   |                               |   |
|   |                   |                               |   |
| Neighboring Context Address<br>* if next door neighbor isn't contributing                 | Number of stories | Ridge Height<br>*if available |   |
|   |                   |                               |   |
|   |                   |                               |   |

01



EXISTING 3400 WHITE OAK, CONTRIBUTING, ESTIMATED HEIGHT 18'-0", MIXED BRICK, CONTINUOUS EXTENDED PARAPET CAP

02



03



EXISTING 3320 WHITE OAK, CONTRIBUTING, EST. HEIGHT 14'-0",  
BRICK, WINDOW/STOREFRONT DESIGN, MASSING, PATIO/RAILING

04



05



EXISTING 104 W 12TH, CONTRIBUTING, CORNER GLAZED ENTRY, BRICK, WINDOW/STOREFRONT DESIGN, MASSING

06



07



EXISTING 215 E. 11TH, CONTRIBUTING, ESTIMATED HEIGHT 13'-0",  
PAINTED EXPOSED CANOPY STRUCTURE SIMILAR TO PATIO

08



09



EXISTING 3601 WHITE OAK, CONTRIBUTING, ESTIMATED HEIGHT 17'-0", CANOPY WITH TIE-BACKS

10





11



EXISTING 3302 WHITE OAK, NON-CONTRIBUTING, RECENTLY RENOVATED, ESTIMATED HEIGHT 15'-0", ANGLED CANOPY

12



DRAFT

09

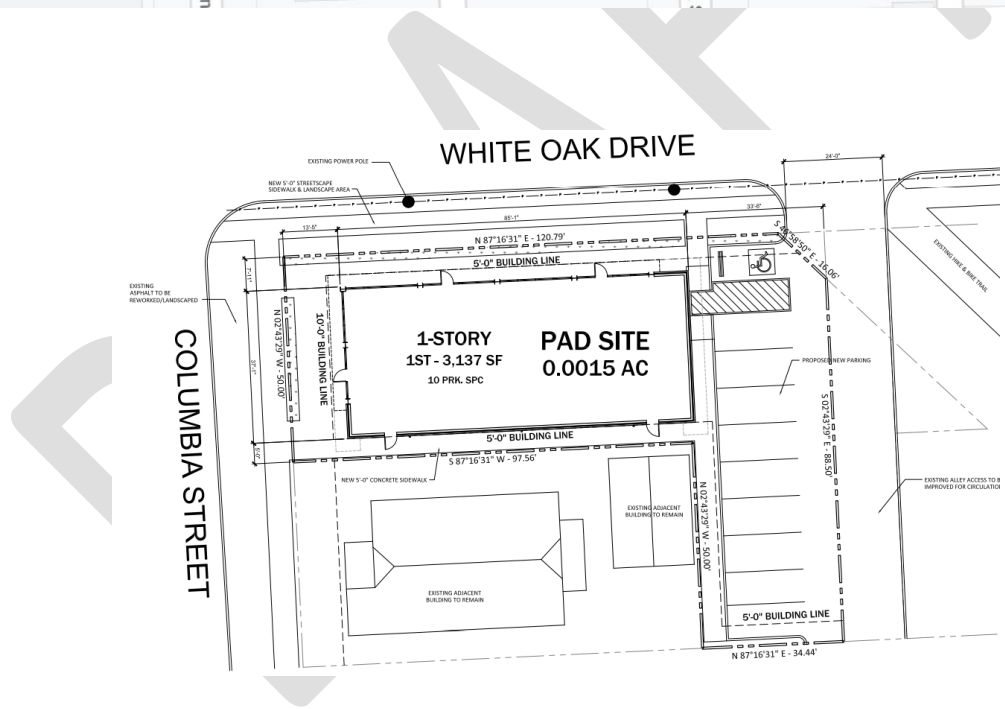
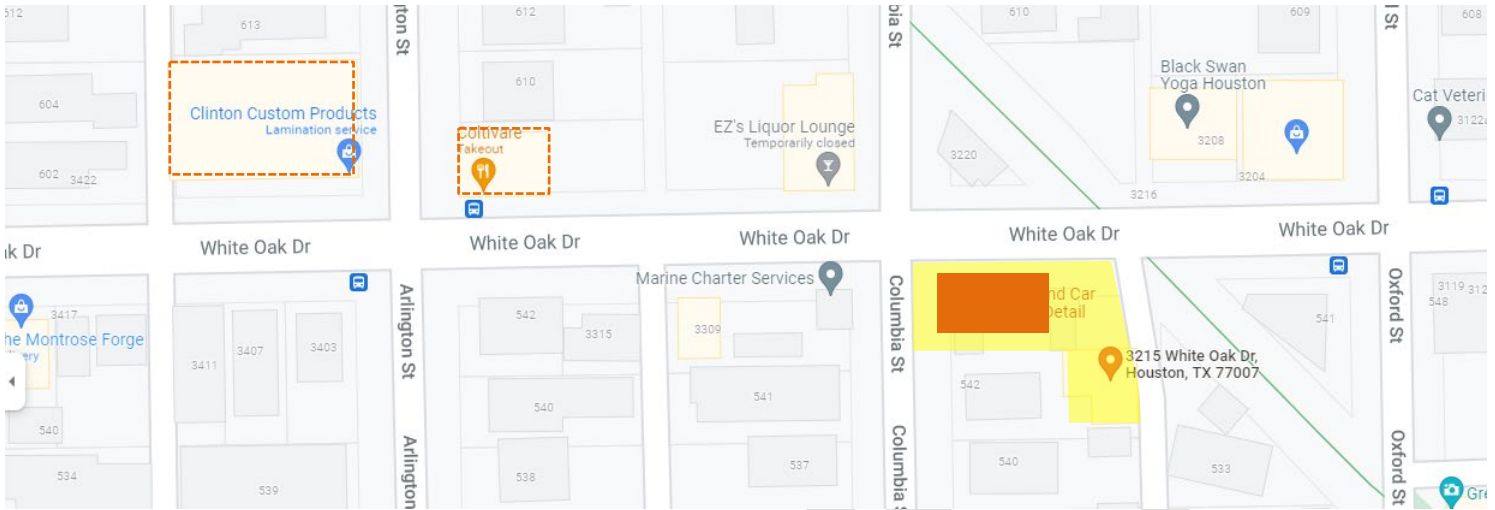


EXISTING 3601 WHITE OAK, CONTRIBUTING, ESTIMATED HEIGHT 17'-0", CONTINUOUS CANOPY

10



White Oak Drive Corridor References – General contributing context building widths  
3401 White oak and 3320 White Oak,



White Oak Drive Corridor References – General contributing context building widths

3601 White Oak – comparable width facing White Oak

