

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** June 27, 2022

**Applicant:** Jennifer Waldo, owner; Sam Gianukos, agent

**Property:** 802 W Temple; Lot 9, Block 218, East Norhill. 6,157 SF Lot, 1,428 SF House and detached, 576 SF, garage apartment

**Significance:** Contributing one-story English brick bungalow, built 1925 per inventory, 1920 per HCAD and garage apartment is designated contributing with build date of 1945 per inventory and 1920 per HCAD

**Proposal:** Alteration – Addition

- Demolish existing 2-car, 2-story, garage apartment
- Replace with 2-story addition to house that is similar in footprint to the existing garage apartment
- Addition to have same 1<sup>st</sup> floor ceiling height (9') as original house and 8' ceiling height 2<sup>nd</sup> floor
- Existing ridge height is 22' and proposed addition to have 25'5" ridge height
- Existing total conditioned SF: 2,122; proposed SF: 3,160 Plus 823 SF basement

**Public Comment:** None

**Civic Association:** Received email in opposition

**Recommendation:** -

**HAHC Action:** -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- S D NA S - satisfies D - does not satisfy NA - not applicable
(1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

District Map





Figure 1 Inventory photo of existing garage apt

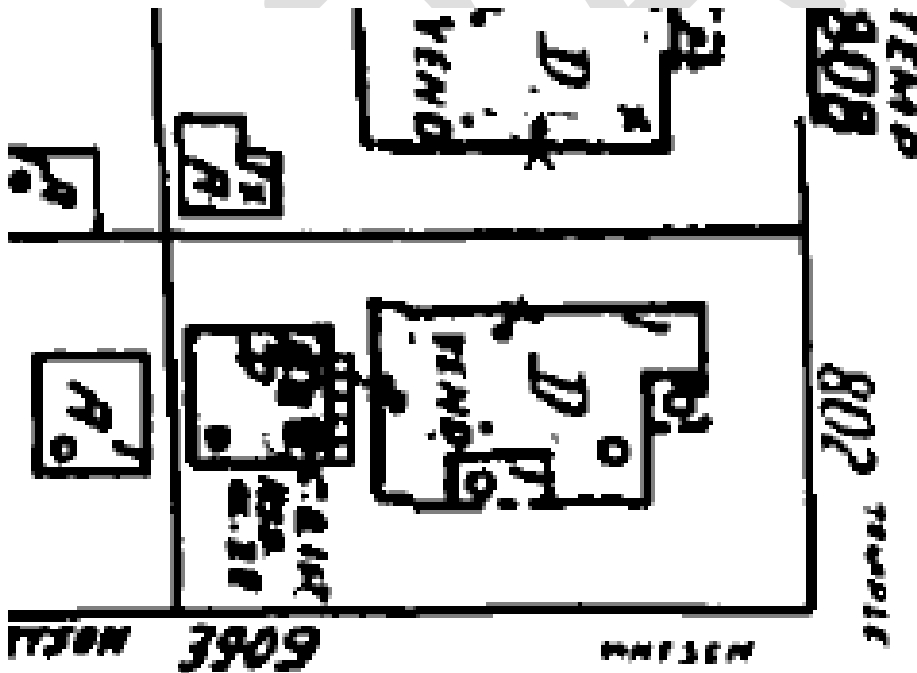




Figure 2 - May 2022 streetview of front of house

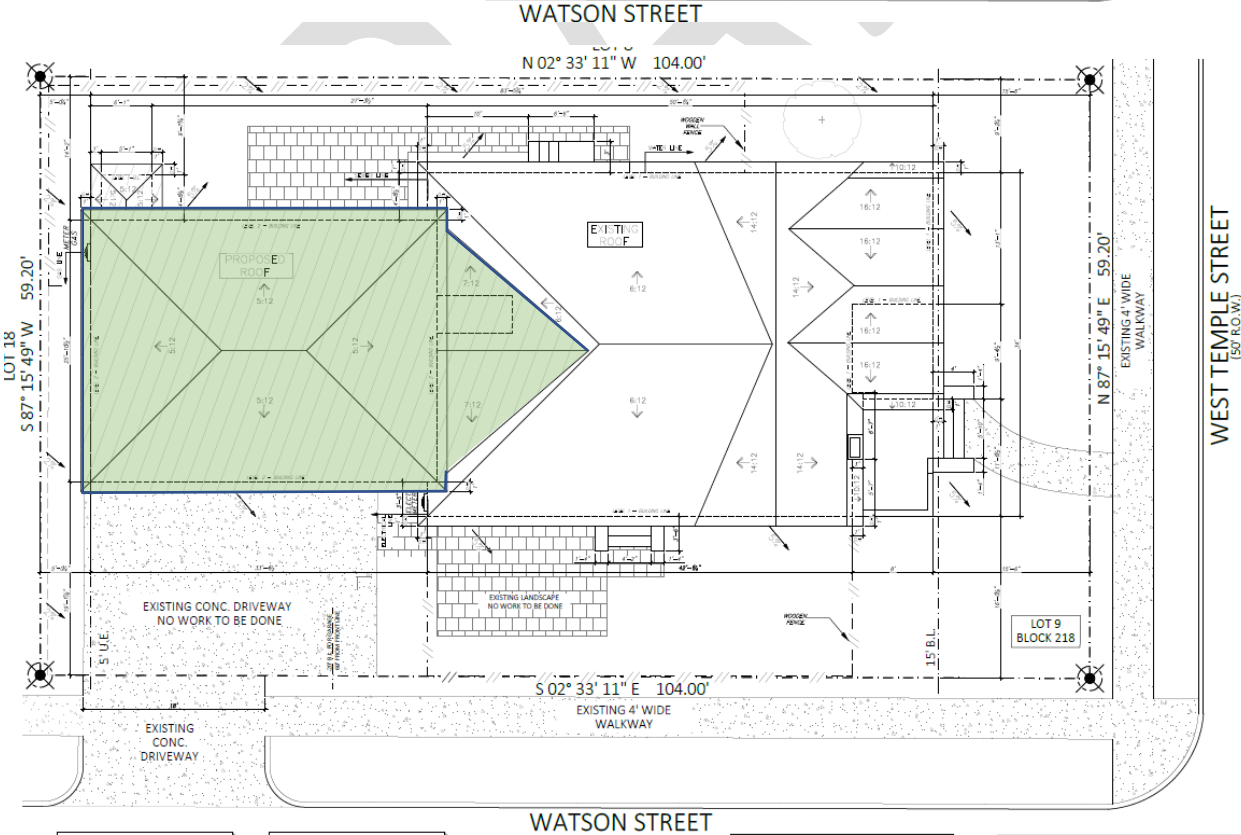
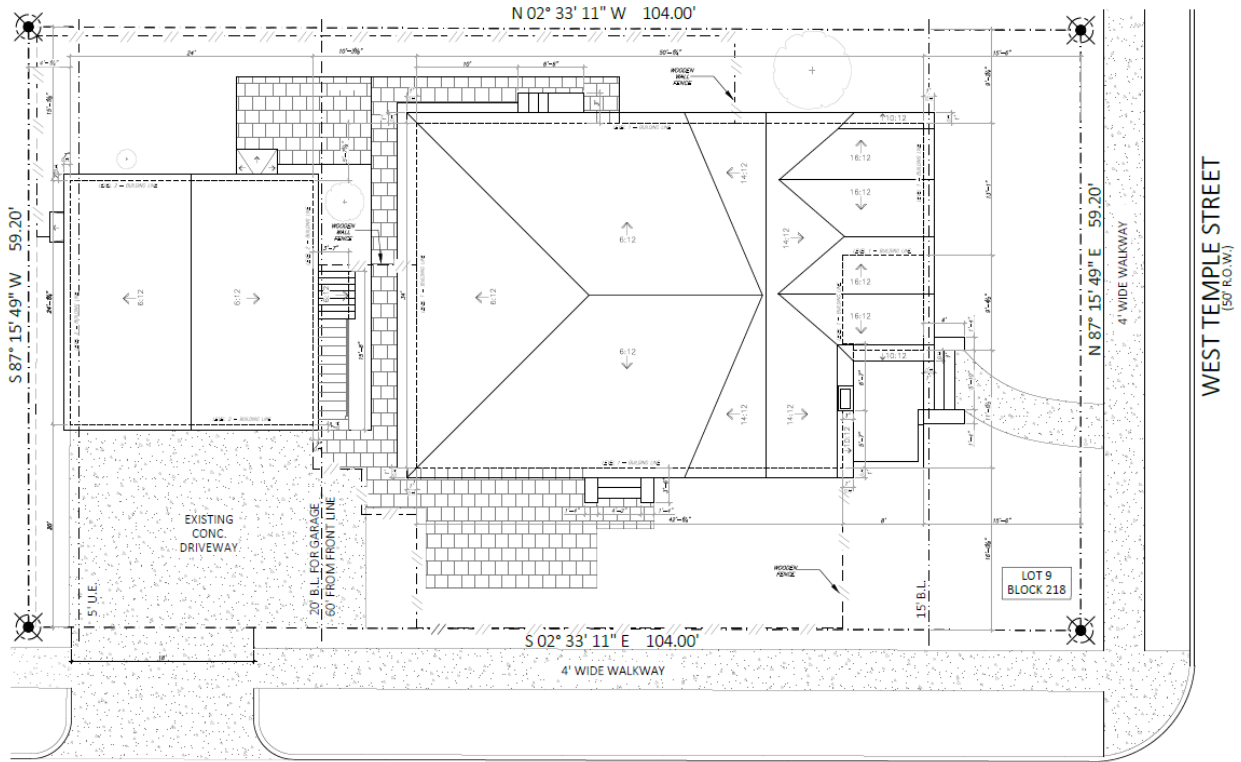


Figure 3 - Looking SW at house and garage



*Figure 4 - Looking NW at garage apt and house*

DRAFT



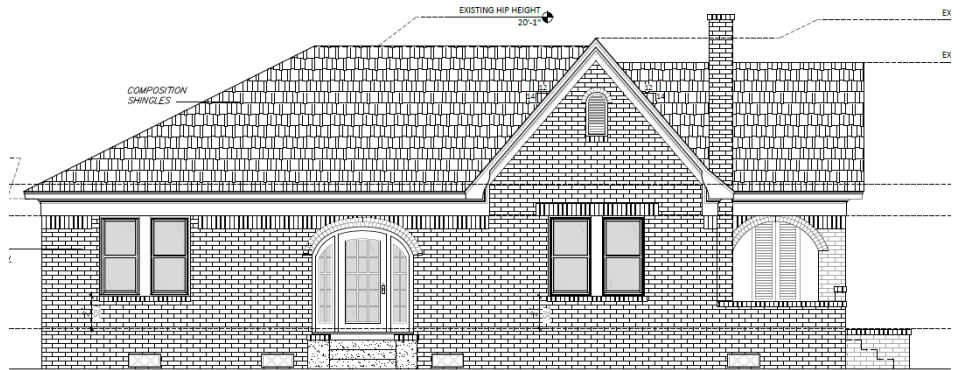


EXISTING  
FRONT ELEVATION

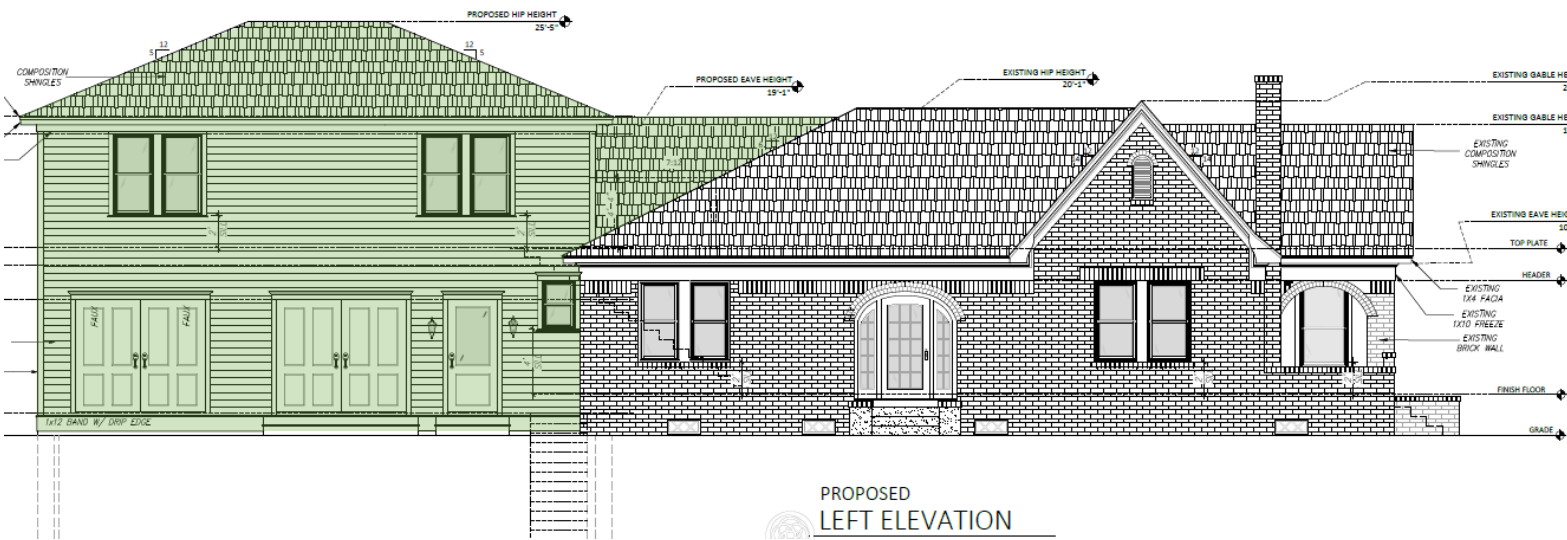


PROPOSED  
FRONT ELEVATION





EXISTING  
LEFT ELEVATION



PROPOSED  
LEFT ELEVATION

Please see attached drawings for additional details

DRAFT

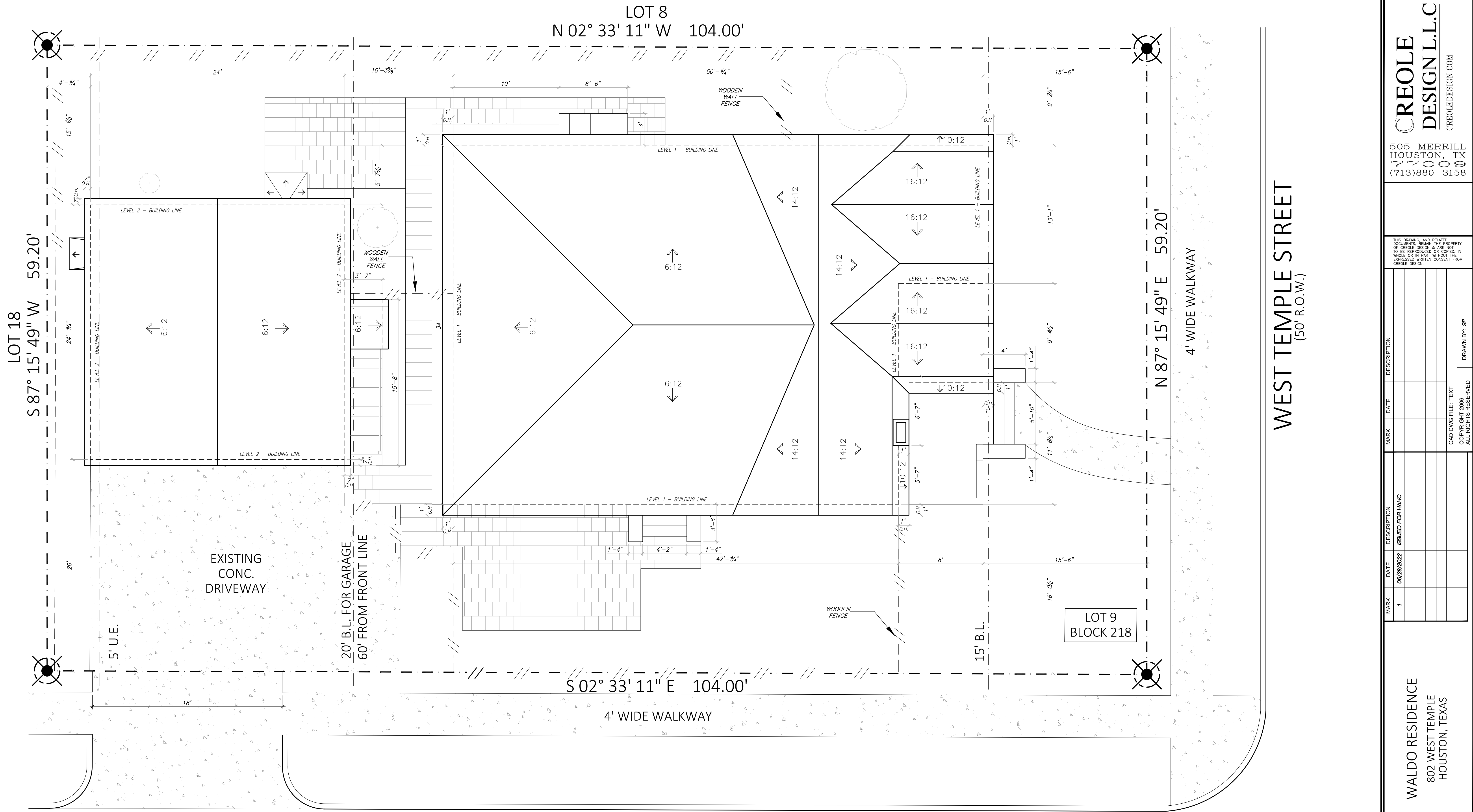


WALDO RESIDENCE  
802 WEST TEMPLE STREET  
HOUSTON, TEXAS 77009

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505 MERRILL  
HOUSTON, TX 77009  
(713)880-3158





LOT 8  
N 02° 33' 11" W 104.00'

LOT 18  
S 87° 15' 49" W 59.20'

WEST TEMPLE STREET  
(50' R.O.W.)

S 02° 33' 11" E 104.00'

LOT 9  
BLOCK 218

**WALL LEGEND**

	EXISTING WALLS
	NEW WALLS
	DEMO WALLS

**LEGAL DESCRIPTION**

LOT: 9  
BLOCK: 218  
EAST NORHILL  
HOUSTON, TEXAS

**WATSON STREET**  
(60' R.O.W.)

EXISTING  
**SITE PLAN**  
Scale: 1/4" = 1'-0"

**\* NOTE \***

FIRST FLOOR FINISHED HEIGHT TO BE NOT LESS THAN 12" ABOVE NEAREST MANHOLE RIM.

**CALCULATION OF IMPERVIOUS PERCENTAGE**

HOUSE / GARAGE	2,196 SQ. FT.
DRIVEWAY / SIDEWALK	1,318 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,514 SQ. FT.
LOT AREA	6,157 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	57.07%

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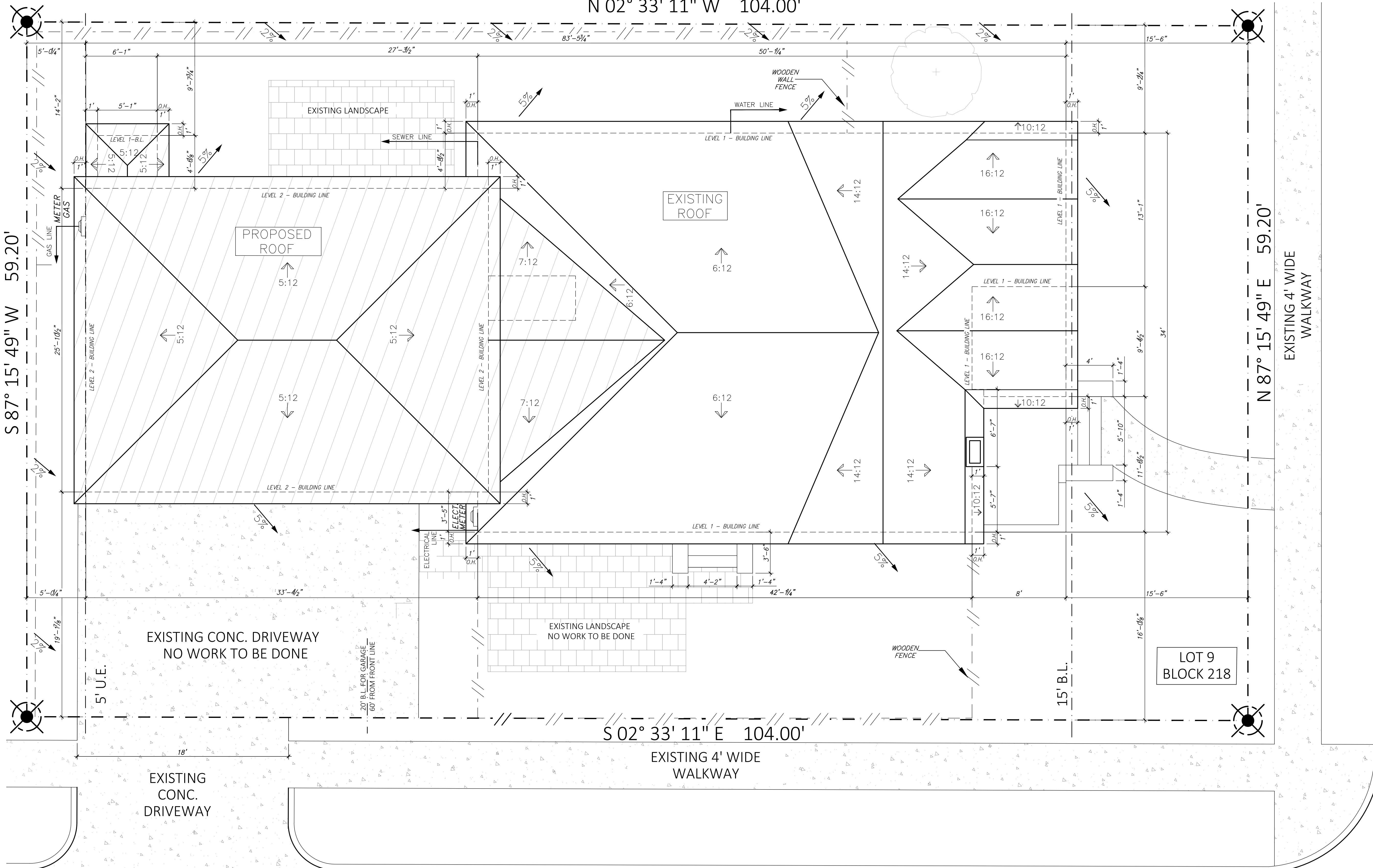
SHEET TITLE  
**EXISTING SITE PLAN**

SHEET NO.  
**A0.1**



LOT 8  
N 02° 33' 11" W 104.00'

LOT 18  
S 87° 15' 49" W 59.20'



WEST TEMPLE STREET  
(50' R.O.W.)

WATSON STREET  
(60' R.O.W.)

**WALL LEGEND**

	EXISTING WALLS
	NEW WALLS
	DEMO WALLS

**LEGAL DESCRIPTION**

LOT: 9  
BLOCK: 218  
EAST NORHILL  
HOUSTON, TEXAS

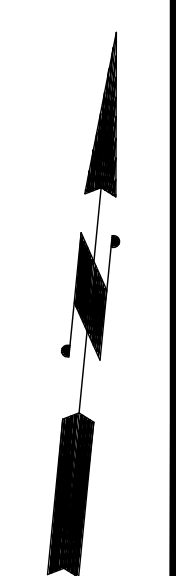
PROPOSED  
**SITE PLAN**  
Scale: 1/4" = 1'-0"

**\* NOTE \***

FIRST FLOOR FINISHED HEIGHT TO BE NOT LESS THAN 12" ABOVE NEAREST MANHOLE RIM.

**CALCULATION OF IMPERVIOUS PERCENTAGE**

HOUSE / GARAGE	2,503 SQ. FT.
DRIVEWAY / SIDEWALK	1,126 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,629 SQ. FT.
LOT AREA	6,157 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	58.94%



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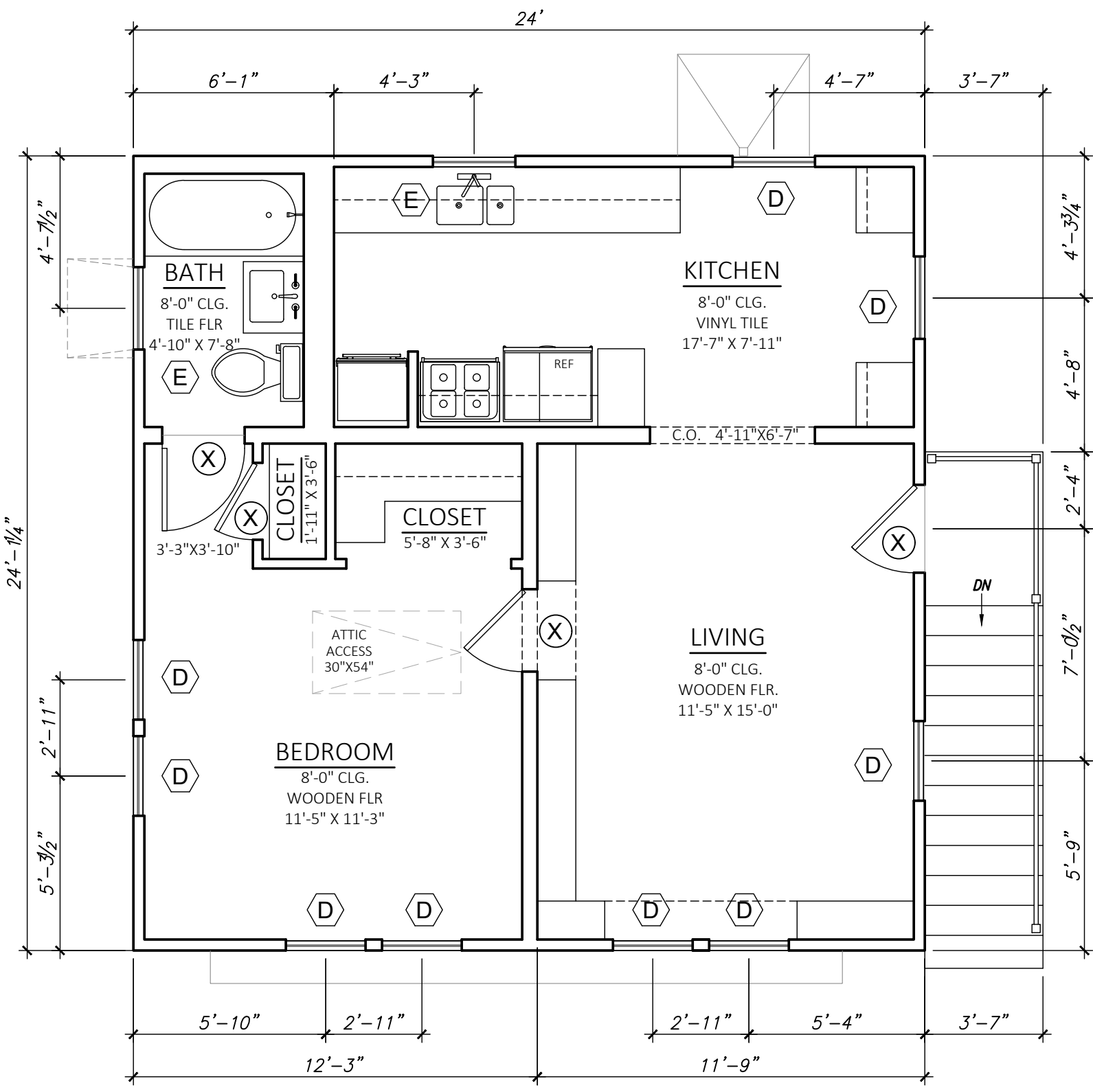
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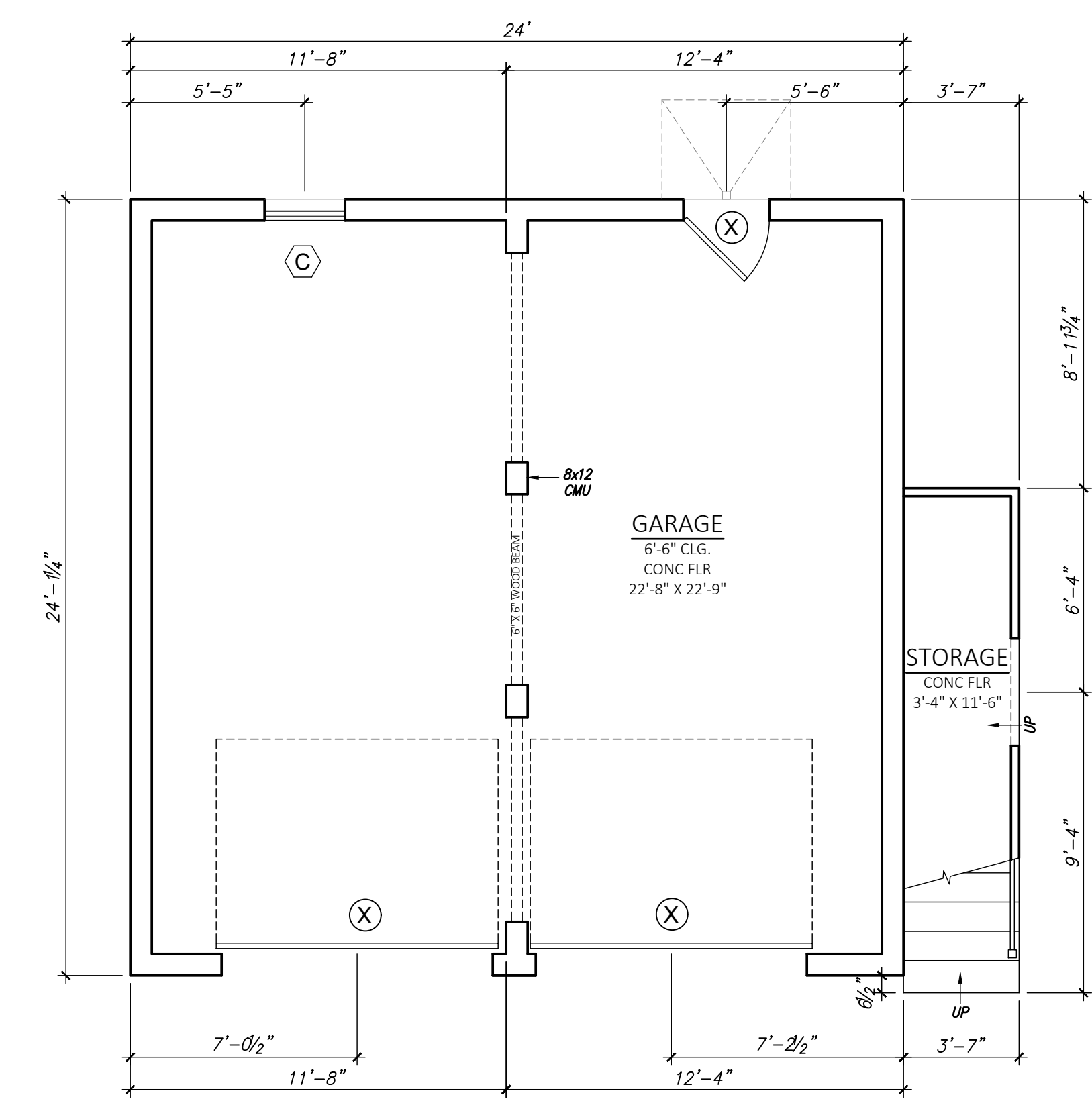
WALDO RESIDENCE  
802 WEST TEMPLE  
HOUSTON, TEXAS

SHEET TITLE  
**PROPOSED SITE PLAN**

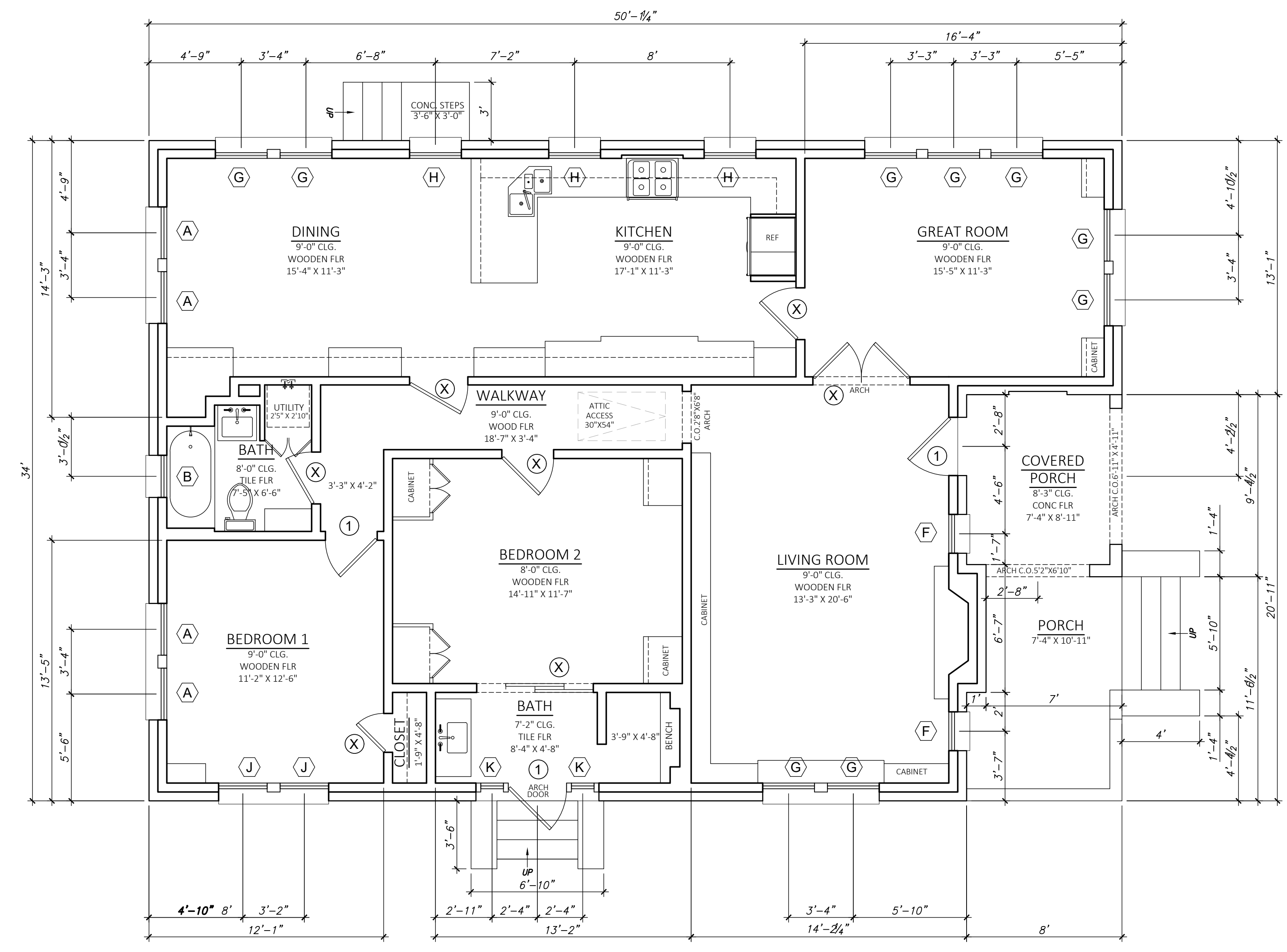
SHEET NO.  
**A0.2**



**EXISTING GARAGE APARTMENT LEVEL 2 - FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**EXISTING GARAGE LEVEL 1 - FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**EXISTING LEVEL 1 - FLOOR PLAN**  
Scale: 1/4" = 1'-0"

DOOR SCHEDULE				
DOOR NO.	QTY	WIDTH	HEIGHT	DESCRIPTION
X				TO DEMOLISH
1				REMAIN TO EXISTING

EXISTING SQUARE FOOTAGE	
LEVEL 1 FLOOR PLAN	1,543
GARAGE APARTMENT	579
<b>TOTAL HEATED</b>	<b>2,122</b>
FRONT PORCH	161
GARAGE	579
STAIRCASE	57
<b>TOTAL UN-HEATED</b>	<b>797</b>
<b>TOTAL COVERED</b>	<b>2,919</b>

WINDOW SCHEDULE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
(A)	4	2'-8"	5'-0"	SINGLE HUNG	TO DEMO
(B)	1	2'-2"	2'-6"	SINGLE HUNG	TO DEMO
(C)	1	2'-6"	2'-10"	SINGLE HUNG	TO DEMO
(D)	9	2'-5"	4'-9"	SINGLE HUNG	TO DEMO
(E)	2	2'-5"	2'-8"	SINGLE HUNG	TO DEMO
(F)	2	2'-5"	5'-0"	SINGLE HUNG	TO REMAIN
(G)	9	2'-8"	5'-0"	SINGLE HUNG	TO REMAIN
(H)	3	2'-8"	2'-9"	SINGLE HUNG	TO REMAIN
(J)	2	2'-6"	5'-0"	SINGLE HUNG	TO REMAIN
(K)	2	1'-2"	5'-0"	SINGLE HUNG, ARCH	TO REMAIN

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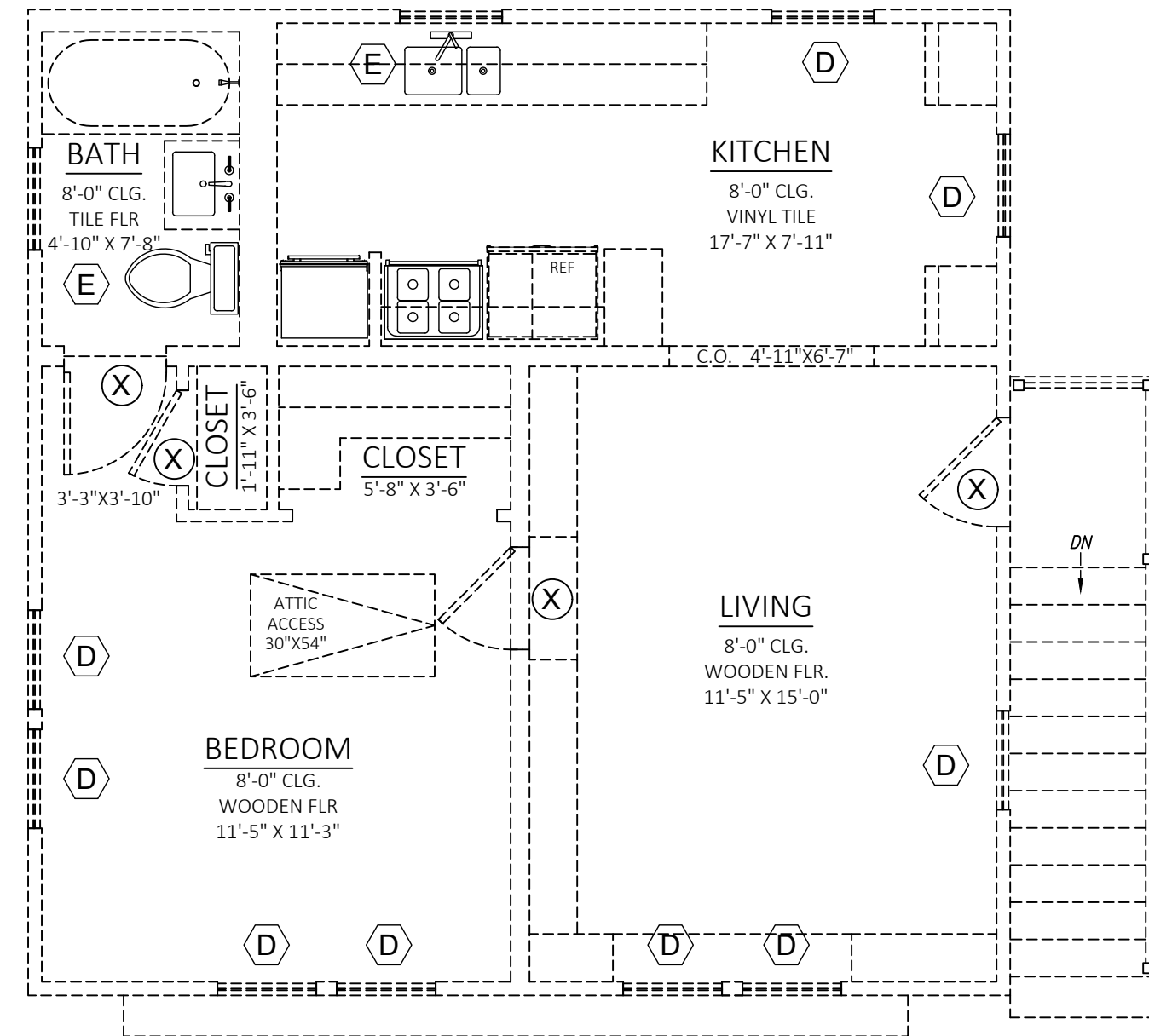
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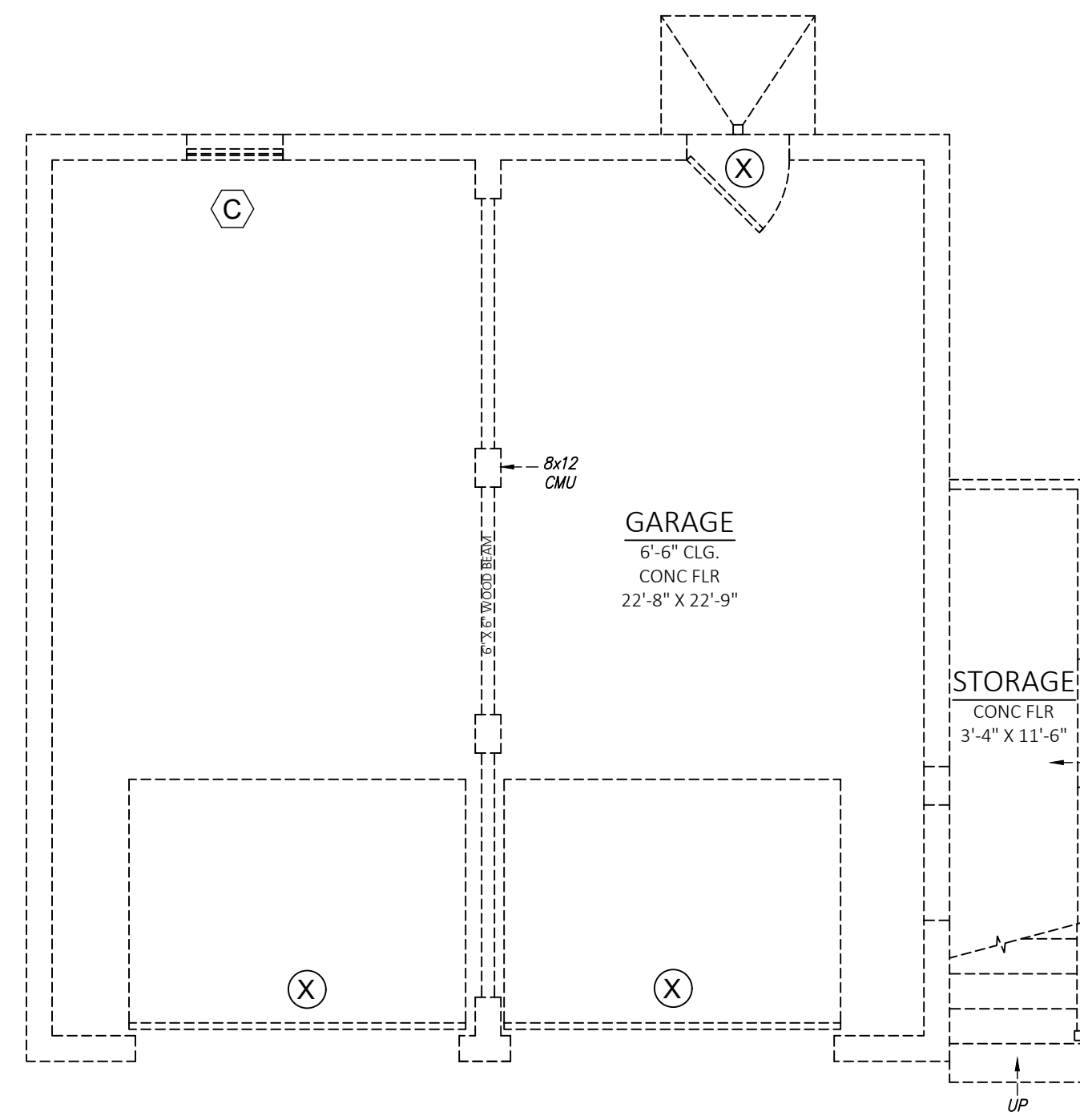
WALDO RESIDENCE  
802 WEST TEMPLE  
HOUSTON, TEXAS

SHEET TITLE  
**DEMO PLAN**

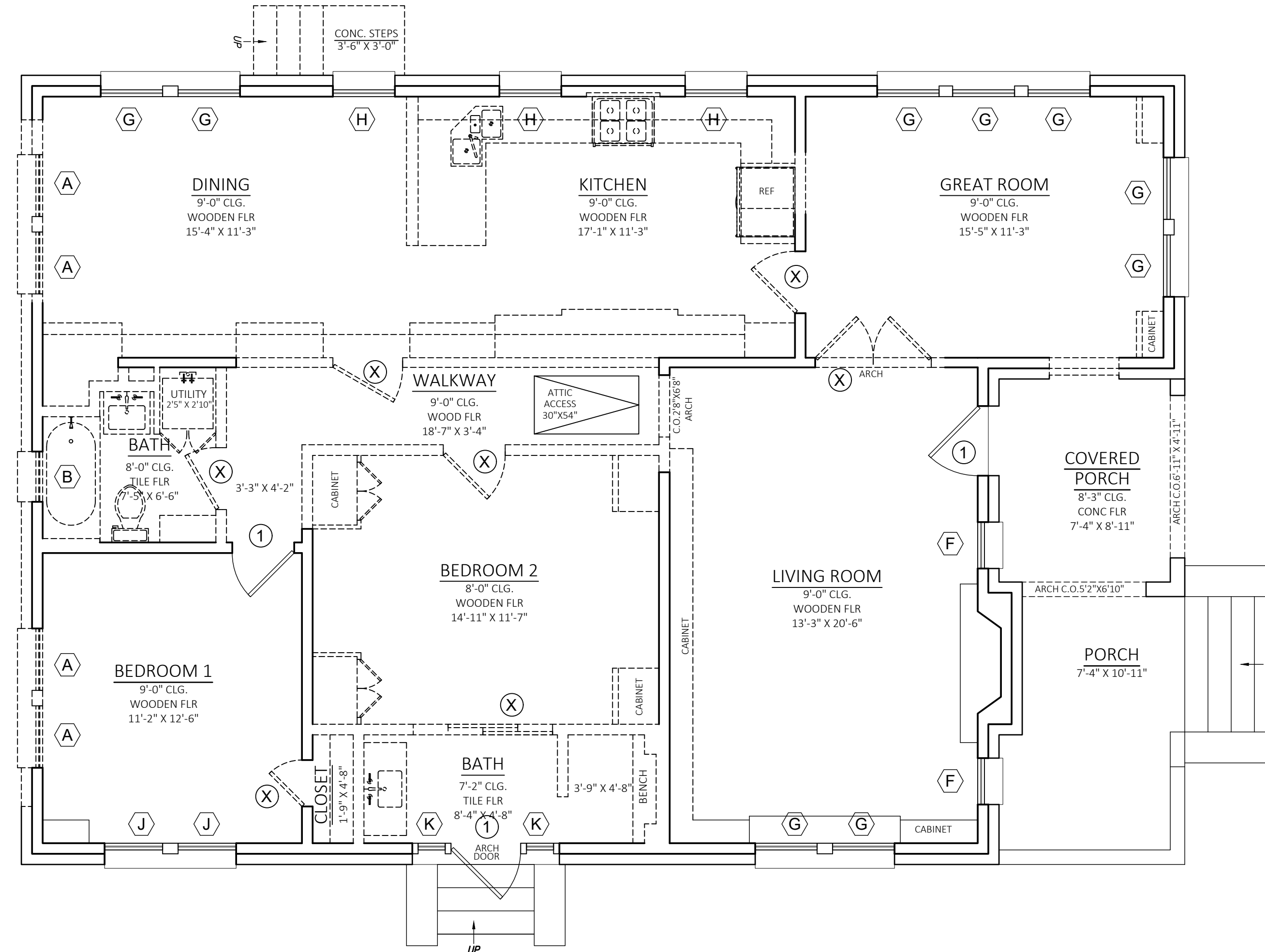
SHEET NO.  
**A1.2**



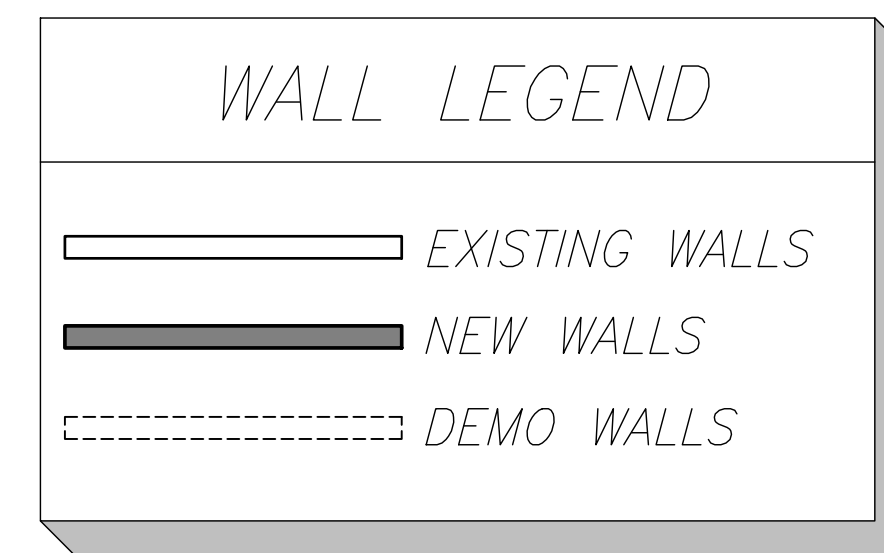
DEMO  
**LEVEL2 -FLOOR PLAN**  
Scale: 1/4"= 1'-0"



DEMO  
**LEVEL1 -GARAGE FLOOR PLAN**  
Scale: 1/4"= 1'-0"



DEMO  
**LEVEL1 -FLOOR PLAN**  
Scale: 1/4"= 1'-0"

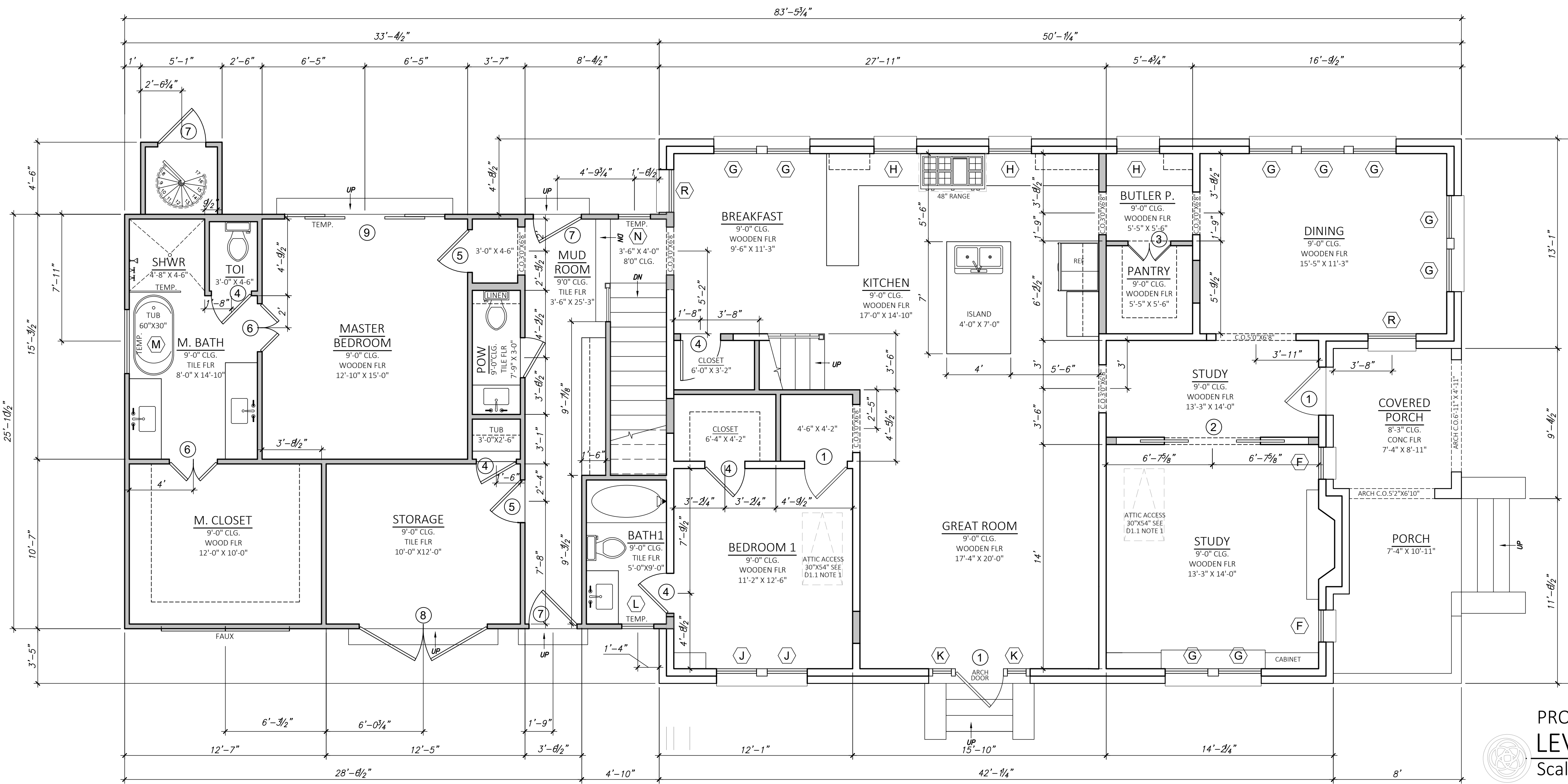
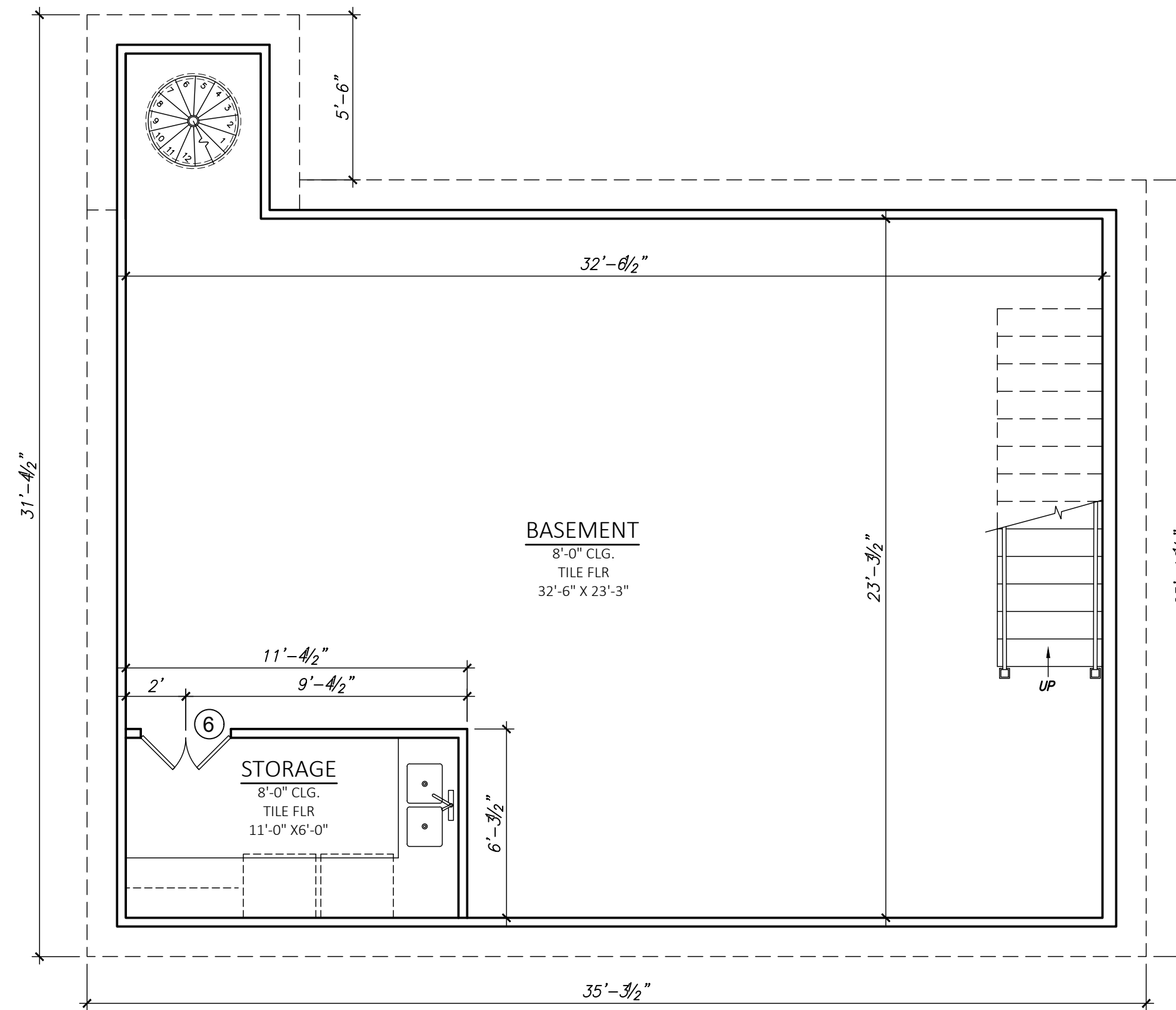
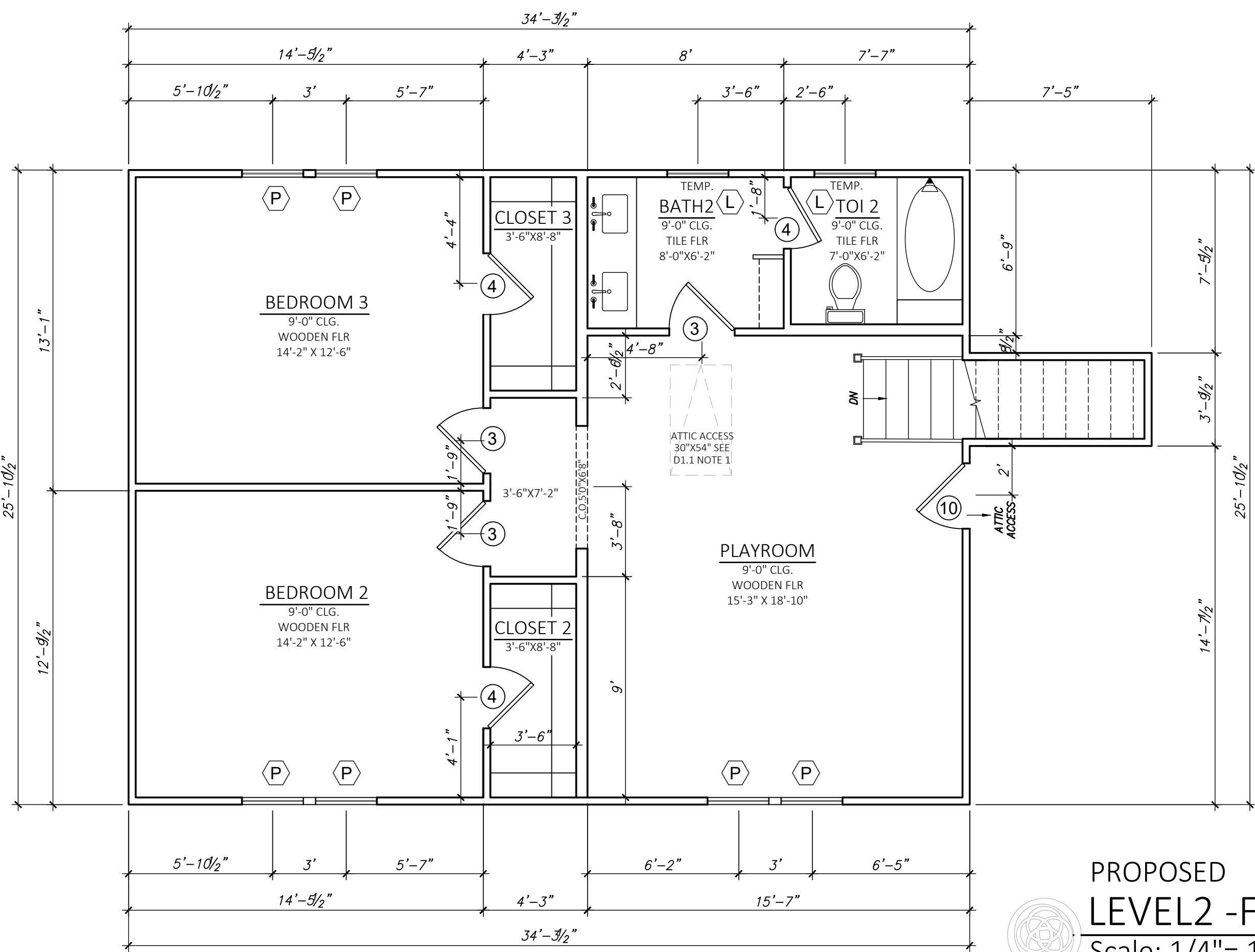


**DOOR SCHEDULE**

DOOR NO.	QTY	WIDTH	HEIGHT	DESCRIPTION
X				TO DEMOLISH
1				REMAIN TO EXISTING

**WINDOW SCHEDULE**

MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
(A)	4	2'-8"	5'-0"	SINGLE HUNG TO DEMO
(B)	1	2'-2"	2'-6"	SINGLE HUNG TO DEMO
(C)	1	2'-6"	2'-10"	SINGLE HUNG TO DEMO
(D)	9	2'-5"	4'-9"	SINGLE HUNG TO DEMO
(E)	2	2'-5"	2'-8"	SINGLE HUNG TO DEMO
(F)	2	2'-5"	5'-0"	SINGLE HUNG TO REMAIN
(G)	9	2'-8"	5'-0"	SINGLE HUNG TO REMAIN
(H)	3	2'-8"	2'-9"	SINGLE HUNG TO REMAIN
(J)	2	2'-6"	5'-0"	SINGLE HUNG TO REMAIN
(K)	2	1'-2"	5'-0"	SINGLE HUNG, ARCH TO REMAIN



NOTE:  
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER SPHERE. DEVICES SHALL COMPLY WITH IRC 2012 R613.2 AND MEET ASTM F2090-10 STANDARD.

DOOR SCHEDULE				
DOOR NO.	QTY	WIDTH	HEIGHT	DESCRIPTION
X				TO DEMOLISH
1				REMAIN TO EXISTING
2	1	6'-0"	7'-0"	(2)3070 INTERIOR SLIDING DOOR
3	4	2'-8"	7'-0"	(2)1470 INTERIOR, PAIR DOOR
4	8	2'-6"	7'-0"	INTERIOR DOOR
5	2	2'-8"	7'-0"	INTERIOR DOOR
6	3	3'-0"	7'-0"	(2)1670 INTERIOR, PAIR DOOR
7	3	3'-0"	7'-0"	EXTERIOR DOOR WITH GLASS PANEL, TEMP.
8	1	8'-0"	7'-0"	(2) 4070 EXTERIOR PAIR DOOR
9	1	10'-0"	7'-0"	EXTERIOR TEMP
				(2)2670 FIX + (2)2670 SLIDING DOOR
10	1	2'-8"	6'-0"	INTERIOR DOOR

WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
A	4	2'-8"	5'-0"	SINGLE HUNG TO DEMO
B	1	2'-2"	2'-6"	SINGLE HUNG TO DEMO
C	1	2'-6"	2'-10"	SINGLE HUNG TO DEMO
D	9	2'-5"	4'-9"	SINGLE HUNG TO DEMO
E	2	2'-5"	2'-8"	SINGLE HUNG TO DEMO
F	2	2'-5"	5'-0"	SINGLE HUNG TO REMAIN
G	9	2'-8"	5'-0"	SINGLE HUNG TO REMAIN
H	3	2'-8"	2'-9"	SINGLE HUNG TO REMAIN
J	2	2'-6"	5'-0"	SINGLE HUNG TO REMAIN
K	2	1'-2"	5'-0"	SINGLE HUNG, ARCH TO REMAIN

WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
L	3	2'-0"	3'-0"	SINGLE HUNG, TEMP NEW
M	1	4'-0"	3'-0"	FIXED, TEMP NEW
N	1	2'-0"	3'-10"	SINGLE HUNG, TEMP NEW
P	6	2'-6"	5'-0"	SINGLE HUNG NEW
R	2	2'-8"	5'-0"	SINGLE HUNG NEW

SQUARE FOOTAGE			
NAME	EXIST.	+/-	NEW.
1ST. FLOOR PLAN	1,543	+729	2,272
2ND. FLOOR PLAN	579	+309	888
TOTAL LIVING	2122	+1038	3,160
BASEMENT	-	+823	823
BASEMENT VEST	-	+23	23
FRONT PORCH	161	+0	161
GARAGE	579	-579	0
STORAGE	57	+78	135
TOTAL UNHEATED	797	+345	1142
TOTAL COVERED	2919	+1,362	4,302

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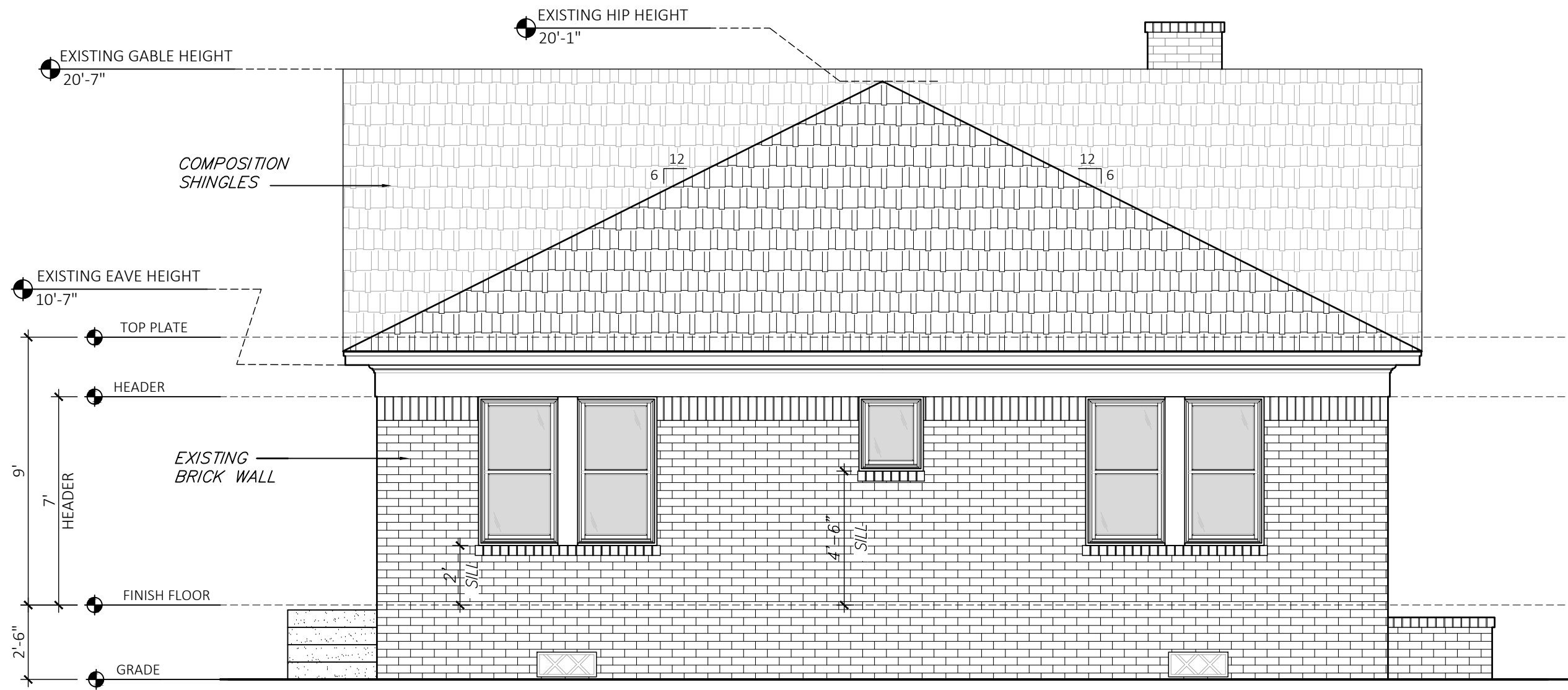
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MARK	DATE	DESCRIPTION

**WALDO RESIDENCE**  
802 WEST TEMPLE  
HOUSTON, TEXAS

SHEET TITLE  
**EXISTING ELEVATION**

SHEET NO.  
**A2.1**



EXISTING  
**REAR ELEVATION**  
Scale: 1/4" = 1'-0"



EXISTING  
**RIGHT ELEVATION**  
Scale: 1/4" = 1'-0"



EXISTING  
**FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



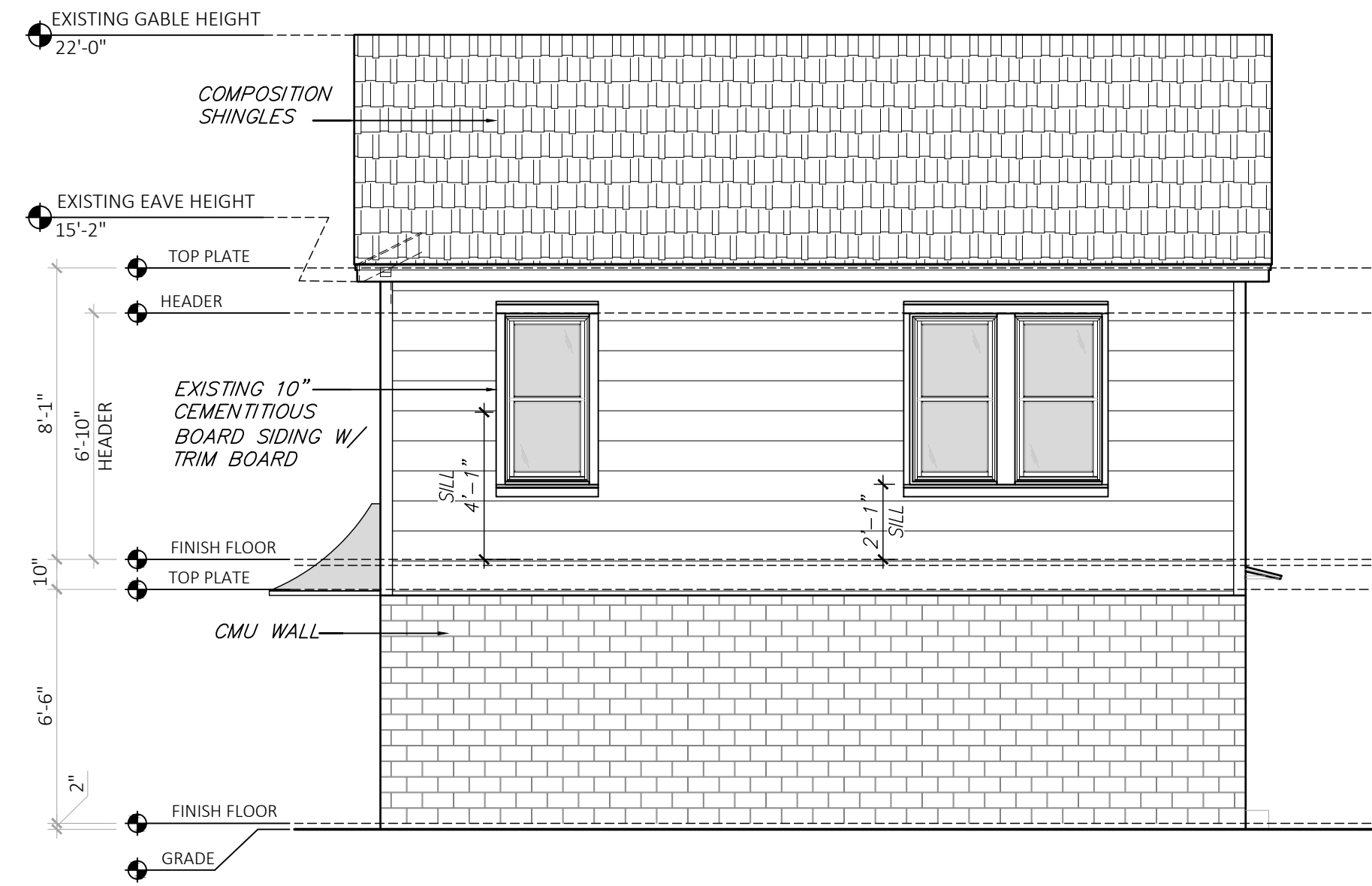
EXISTING  
**LEFT ELEVATION**  
Scale: 1/4" = 1'-0"

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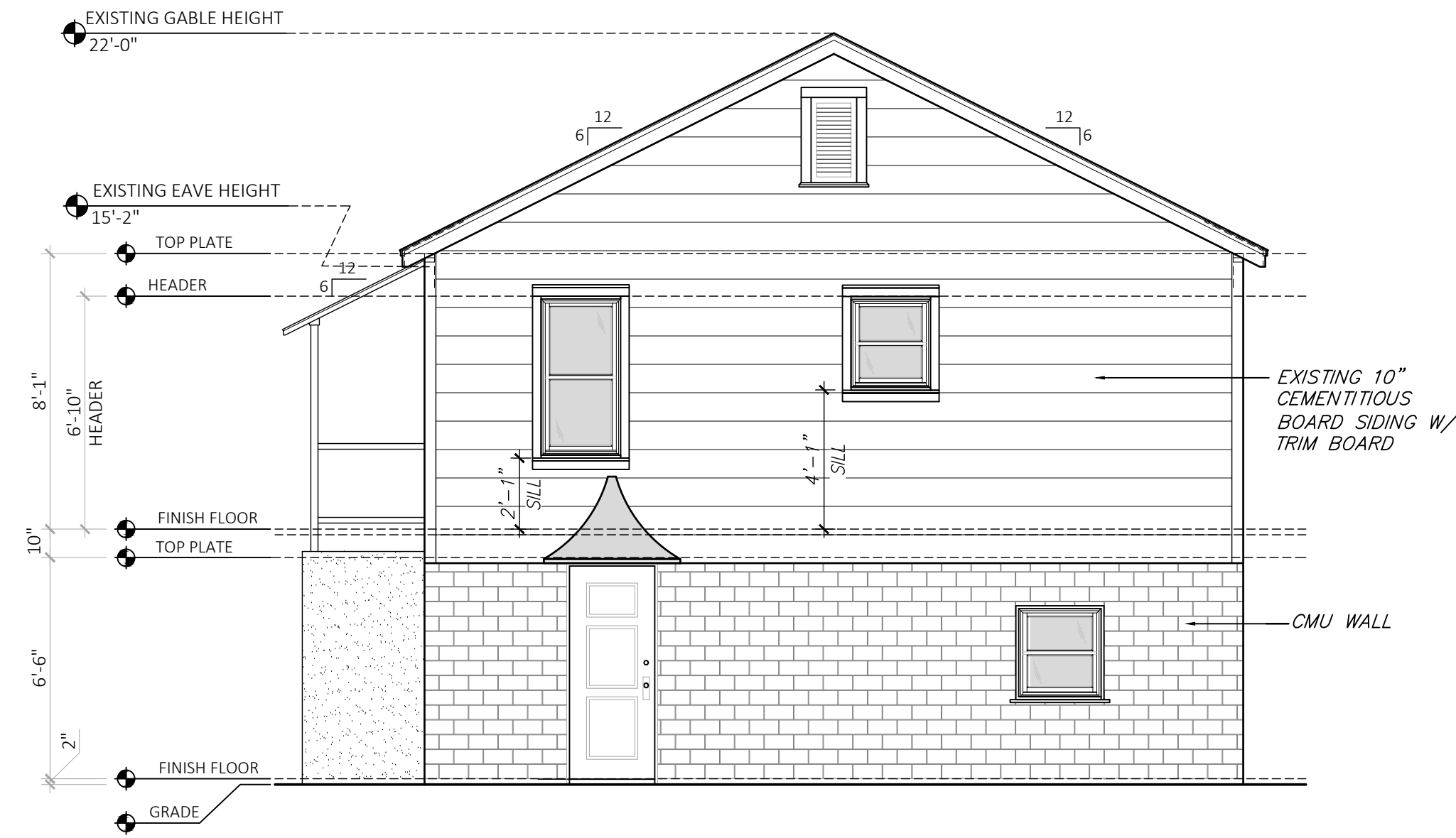
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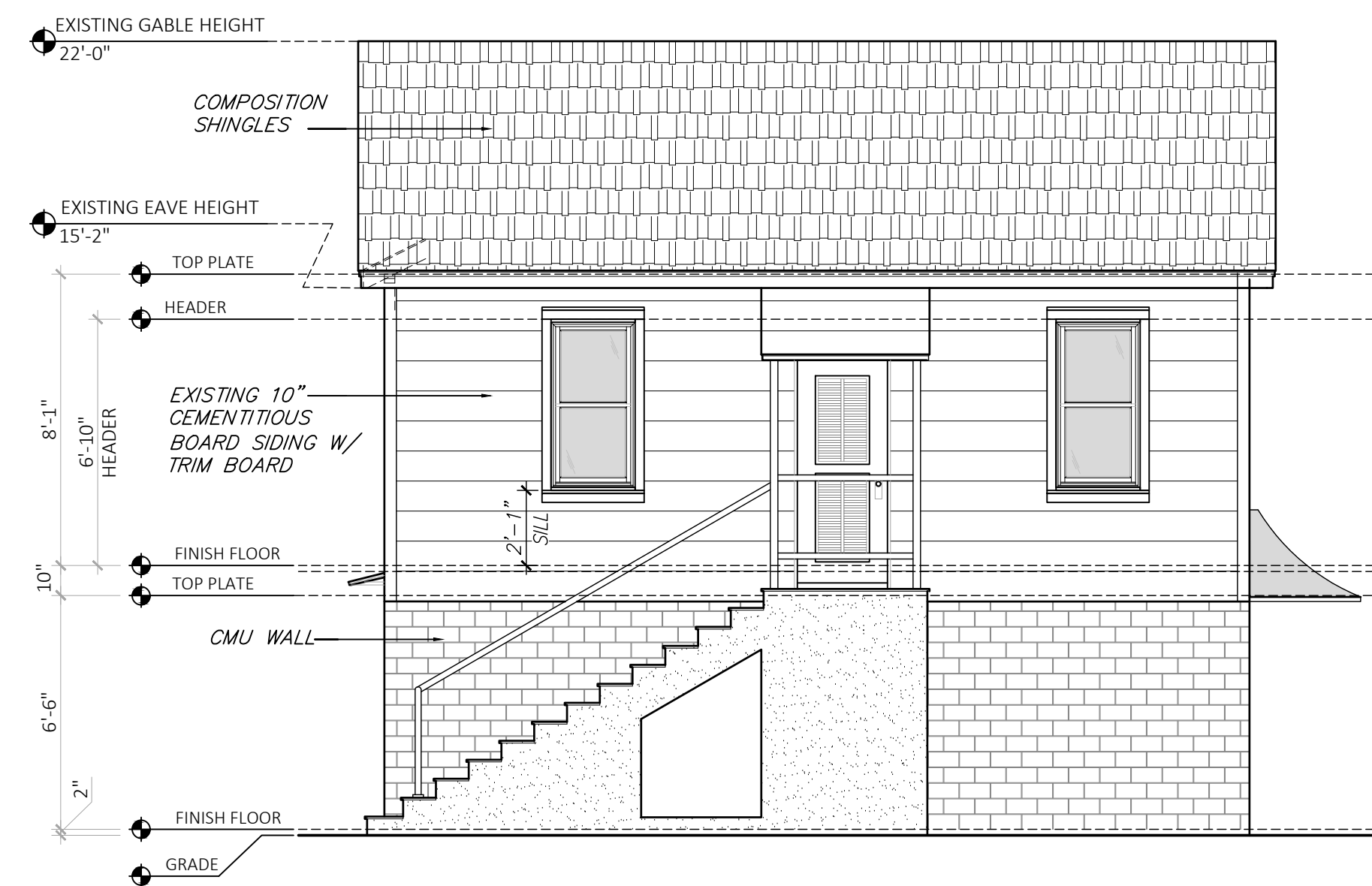
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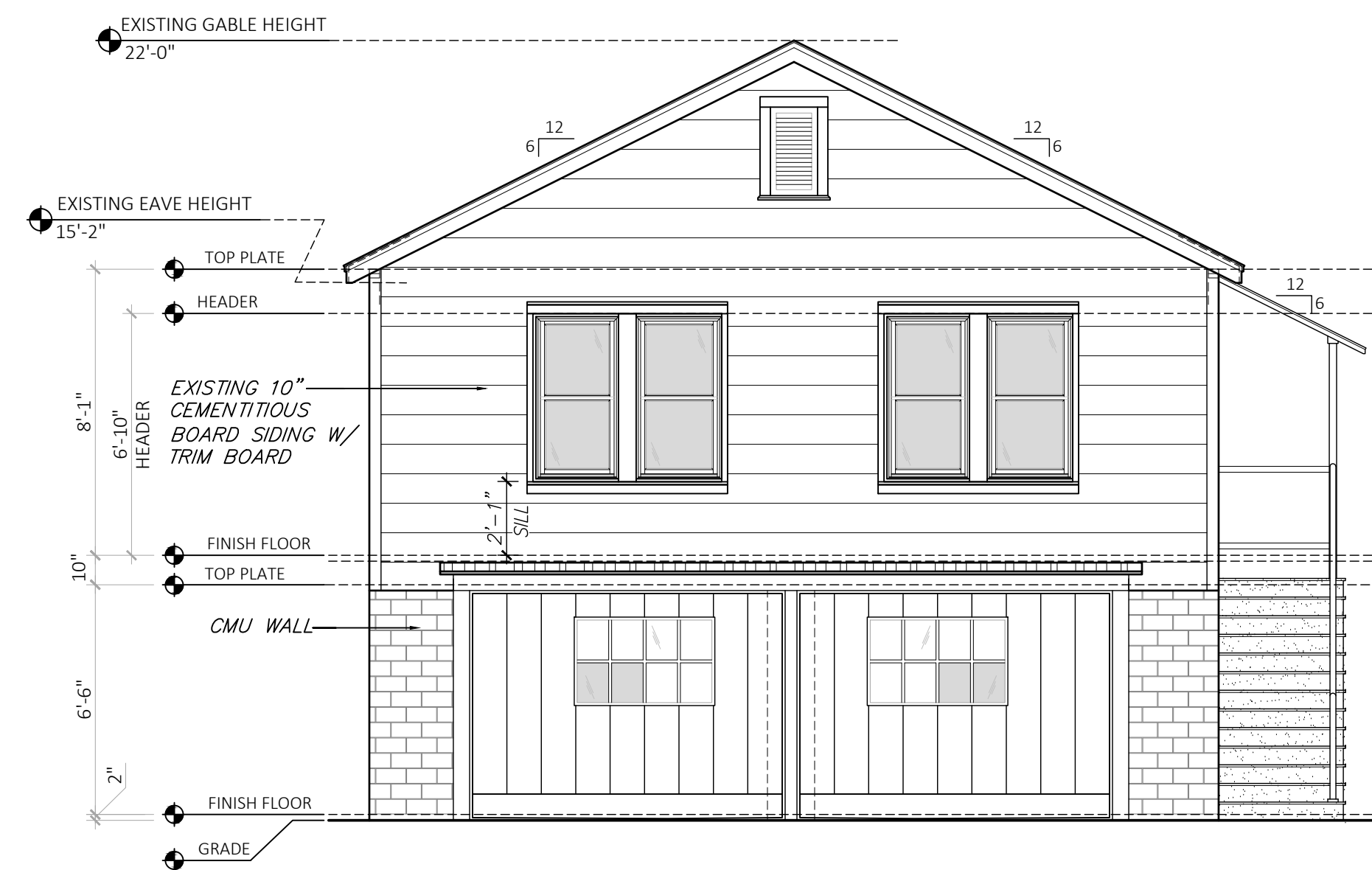
EXISTING GARAGE  
**REAR ELEVATION**  
Scale: 1/4" = 1'-0"



EXISTING GARAGE  
**RIGHT ELEVATION**  
Scale: 1/4" = 1'-0"



EXISTING GARAGE  
**FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



EXISTING GARAGE  
**LEFT ELEVATION**  
Scale: 1/4" = 1'-0"

WALDO RESIDENCE  
802 WEST TEMPLE  
HOUSTON, TEXAS

SHEET TITLE  
**EXISTING  
ELEVATION**

SHEET NO.  
**A2.2**

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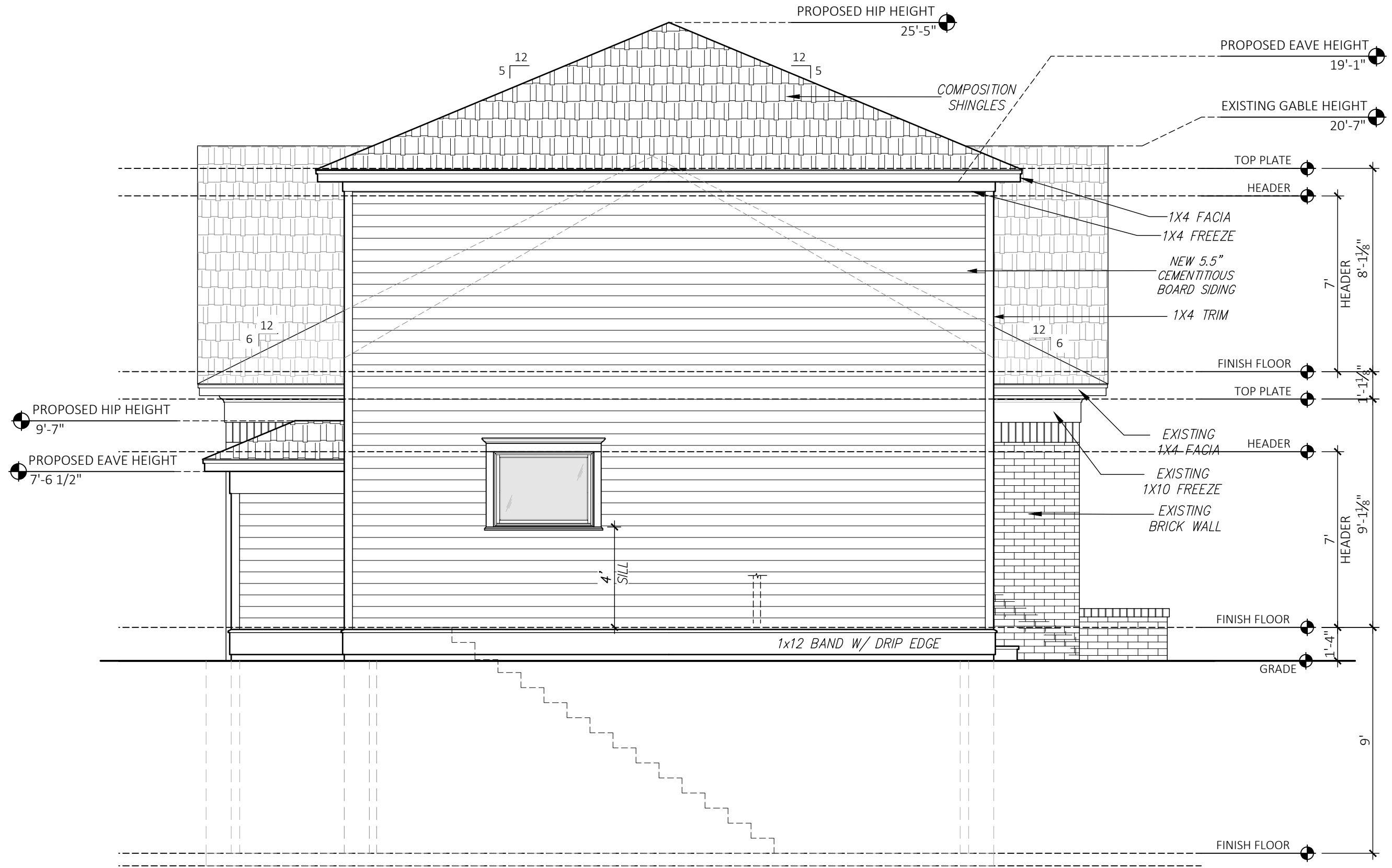
**WALDO RESIDENCE**  
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HOUSTON, TEXAS

SHEET TITLE  
**PROPOSED ELEVATION**

SHEET NO.  
**A2.3**



**PROPOSED LEFT ELEVATION**  
Scale: 1/4" = 1'-0"



**PROPOSED REAR ELEVATION**  
Scale: 1/4" = 1'-0"

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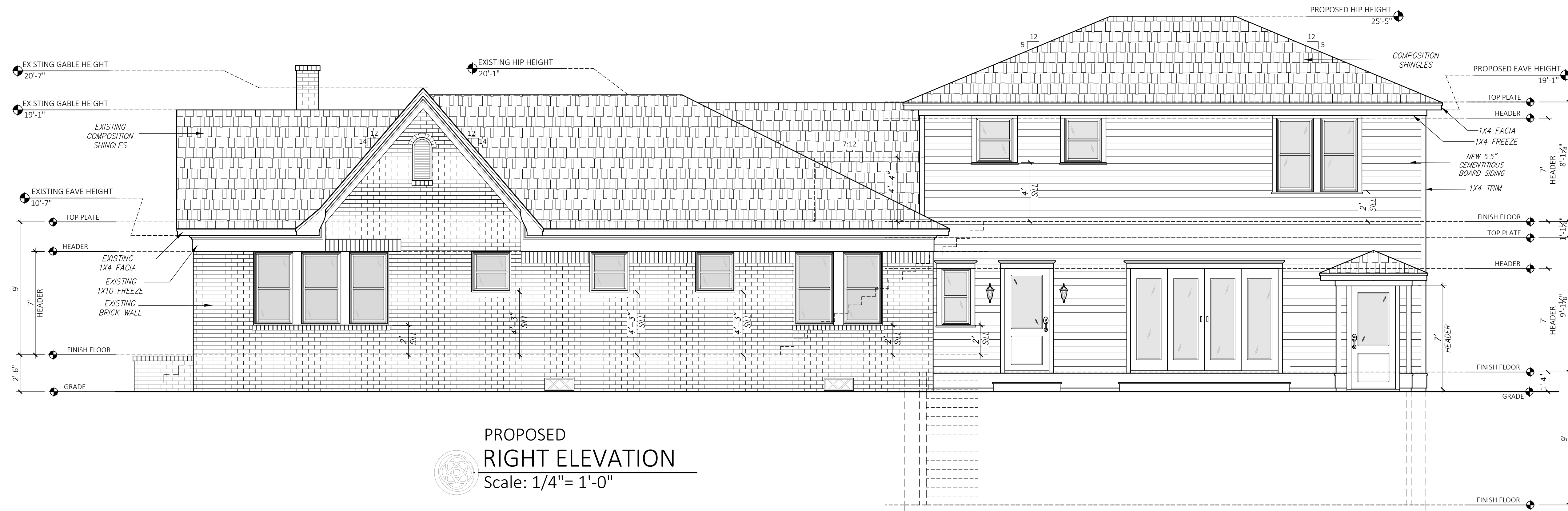
MARK	DATE	DESCRIPTION	DATE	DESCRIPTION
1	06/28/2022	ISSUED FOR PHHC		

MARK	DATE	DESCRIPTION	DATE	DESCRIPTION

**WALDO RESIDENCE**  
802 WEST TEMPLE  
HOUSTON, TEXAS

SHEET TITLE  
**PROPOSED ELEVATION**

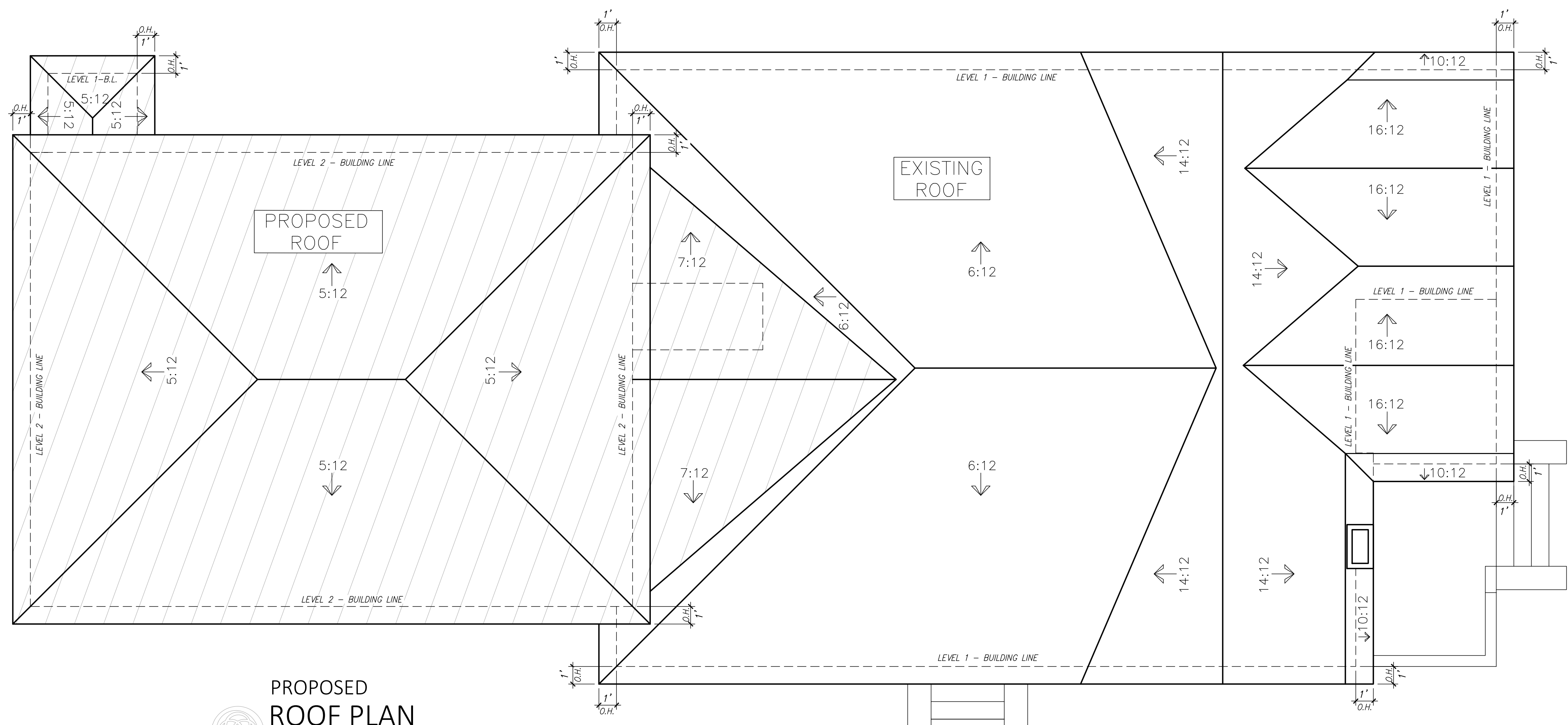
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**A2.4**



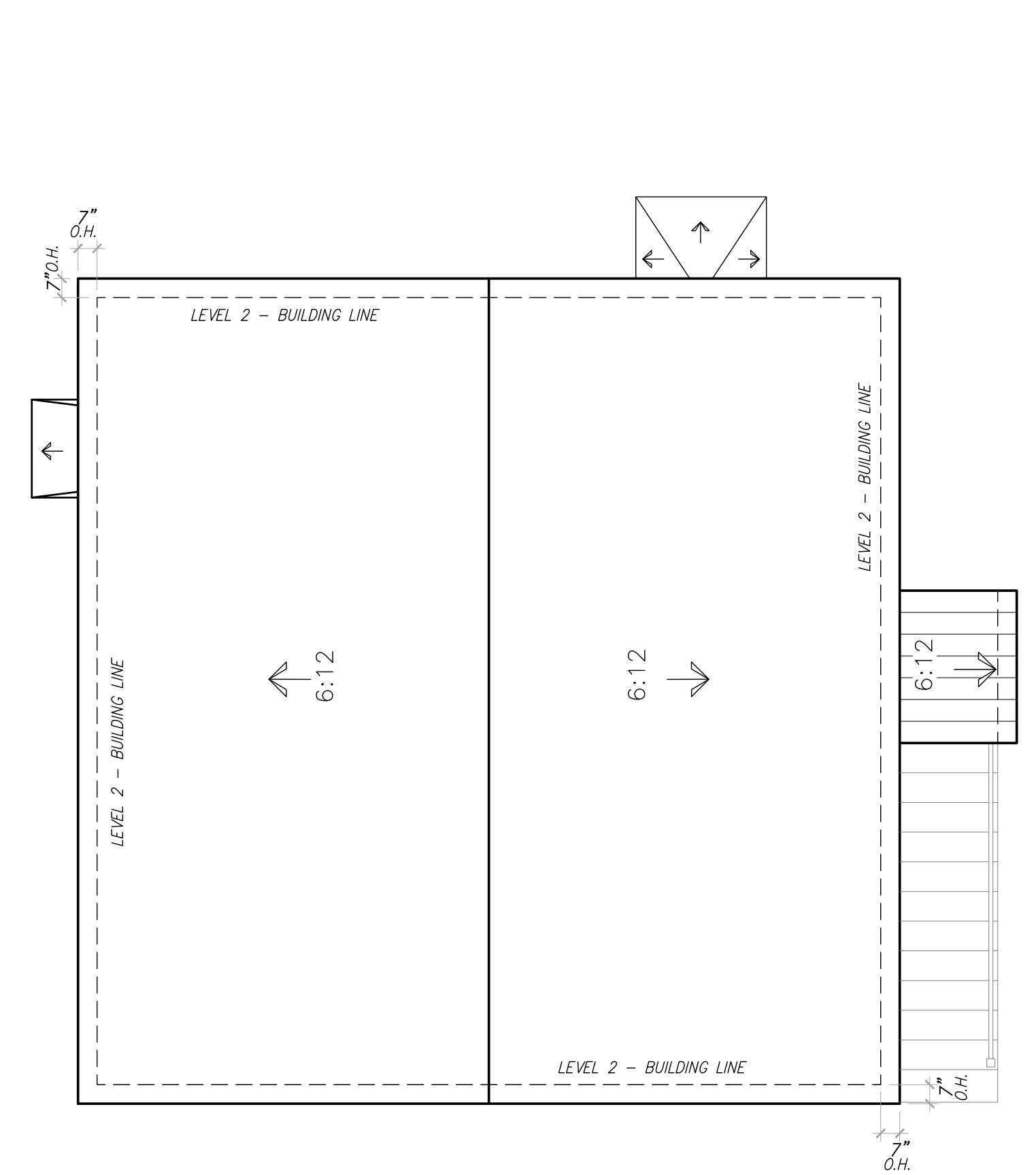
**PROPOSED RIGHT ELEVATION**  
Scale: 1/4" = 1'-0"



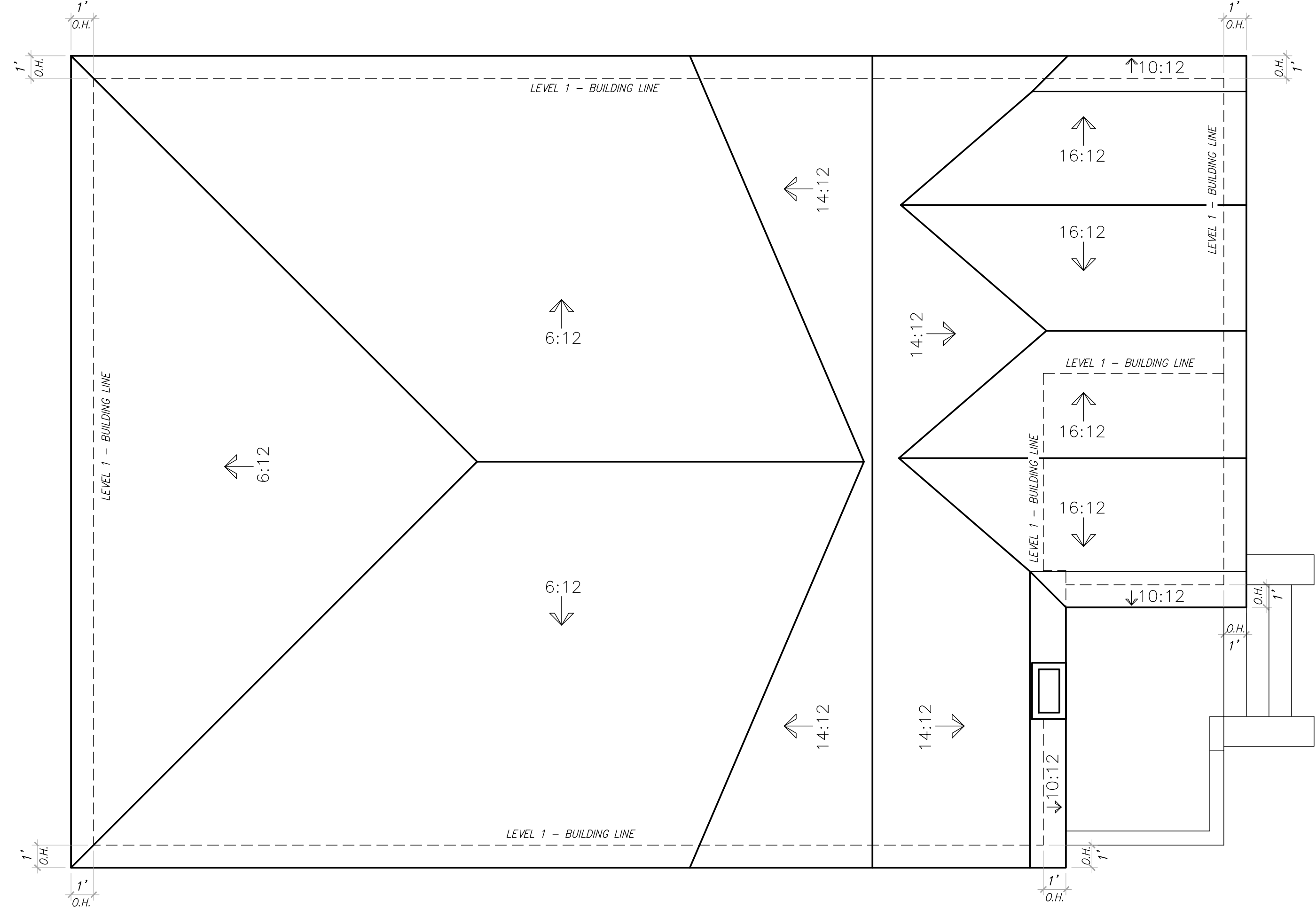
**PROPOSED FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



PROPOSED  
**ROOF PLAN**  
 Scale: 1/4" = 1'-0"



EXISTING APARTMENT GARAGE  
**ROOF PLAN**  
 Scale: 1/4" = 1'-0"



EXISTING HOUSE  
**ROOF PLAN**  
 Scale: 1/4" = 1'-0"

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SHEET TITLE  
**ROOF PLANS**

SHEET NO.  
**A3.1**

**WINDOW AND DOOR NOTES:**

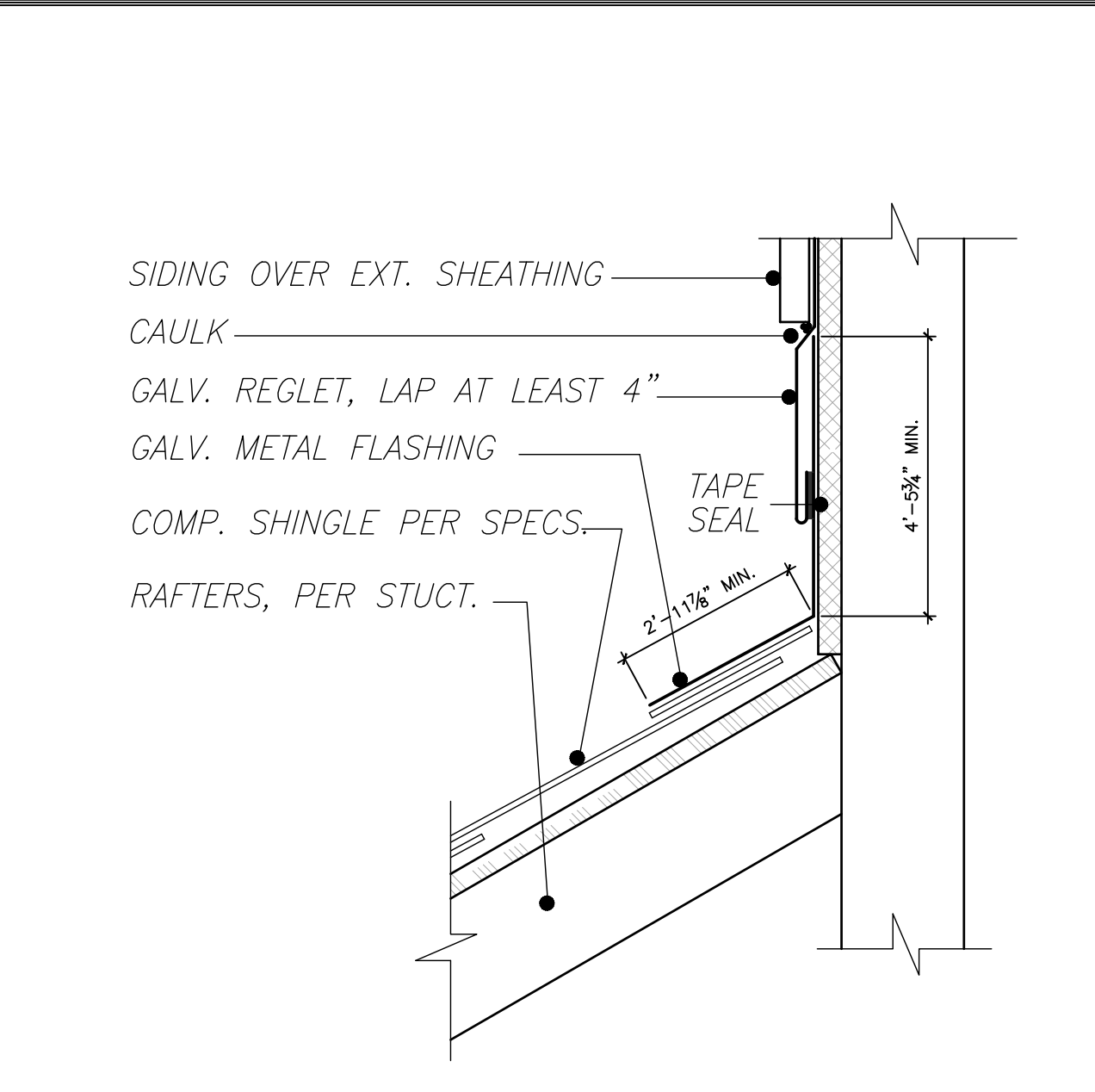
- 1) CONTRACTOR SHALL REVIEW ALL DOOR AND WINDOW TRIM AND INSTALLATION DETAILS AND CONDITIONS PRIOR TO ROUGH FRAMING AND CUTTING OPENING.
- 2) CONTRACTOR SHALL NOTIFY CREOLE DESIGN LLC OF ANY FIELD CONDITIONS THAT DO NOT PERMIT THE INSTALLATION OF ANY DOOR OR WINDOW UNIT DUE TO ANY CONFLICTS.
- 3) CONTRACTOR SHALL COORDINATE THE NECESSARY ROUGH OPENING DIMENSIONS FOR THE SPECIFIC WALL ASSEMBLY AND THE DOOR AND WINDOW UNIT FOR INSTALLATION.
- 4) ALL GLAZING SHALL BE INSULATED WITH MULTI-LAYER LOW-E COATED GLAZE.
- 5) CONTRACTOR SHALL COORDINATE INSTALLATION OF FINISH HARDWARE WITH DOOR MANUFACTURER
- 6) ALL GLASS AND GLAZING SHALL CONFORM TO ALL APPLICABLE CODES

**NOTES:**

1. ATTIC ACCESS ROUGH OPENING 30"x54". STAIR CAPACITY A MINIMUM OF 350 POUNDS CAPACITY
2. SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE AS REQUIRED BY IRC 2015 TABLE 302.6. INSTALLATION OF NOT LESS THAN A 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. 5/8" TYPE 'X' GYPSUM BOARD FOR THE GARAGE CEILING BENEATH HABITABLE ROOMS SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAXIMUM 6 INCHES ON CENTER BY MINIMUM 1-7/8" 6d COATED NAILS OR EQUIVALENT DRYWALL SCREWS. (TABLE 702.3.5). WHEN GARAGE AND DWELLING ARE LESS THAN 3 FEET APART, A LAYER OF GYP. BD. NOT LESS THAN 1/2" TO BE APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA. OPENINGS IN GARAGE WALLS NOT FACING THE DWELLING SHALL COMPLY WITH SECTION 302.5.
3. SILL HEIGHT AT BEDROOM WINDOWS SERVING AS EMERGENCY ESCAPE AND RESCUE OPENINGS NOT TO BE MORE THAN 44" HIGH. R310.2 IRC 2015
4. TILE TO BE THIN SET ON APPROPRIATE BACKER BOARD.
5. CONTRACTOR TO PROVIDE ATTIC VENTILATION, MIN. 100 CFM
6. GUTTERS AND DOWNSPOUTS AS REQUIRED
7. AS PER SECTION R302.7 IRC 2015 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE ALL WALLS, UNDER STAIR SURFACE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
8. WHERE WOOD FRAME WALLS ARE SUBJECT TO WATER SPLASH, FRAMING TO BE PROTECTED WITH WATERPROOF PAPER PER SECTION 703.1.1 IRC 2015.
9. CONTRACTOR TO PROVIDE LINTELS ABOVE ALL OPENINGS WITH BRICK ABOVE
10. SHOWER STALL WALLS TO BE FINISHED WITH NON-ABSORBENT SURFACE TO MIN. HEIGHT OF 72" ABOVE DRAIN INLET PER SECTION R307.2 IRC 2015
11. REFERENCE TABLE R602.3.1 IRC 2015 FOR FASTENER SCHEDULE
12. STRUTS MIN. 2x4 8'-0" MAX. LENGTH MIN 45' FROM HORIZONTAL
13. A LEVEL SERVICE SPACE A MIN. 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG SERVICE SIDE OF APPLIANCE(S) IN ATTIC WHERE ACCESS IS REQUIRED PER SECTION M1305.1.3 IRC 2015
14. EVERY DWELLING UNIT TO HAVE KITCHEN & BATHROOM WITH HOT & COLD RUNNING WATER.
15. EVERY DWELLING UNIT TO HAVE HEATING FACILITIES
16. NOT USED
17. THE SIZE, HEIGHT AND SPACING OF STUDS SHALL CONFORM TO SECTION 602.3.1 IRC 2015, TABLE 602.3.5
18. WHEN WATER HEATER IS LOCATED IN ATTIC, PLACE ABOVE A LOAD BEARING PARTITION IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE INSTALLATION PER SECTION P2803 IRC 2015.
19. NOT USED
20. KITCHEN SINK WITH DISPOSAL.
21. HANDRAILS SHALL BE NO LESS THAN 34" MIN., NO MORE THAN 38" INCHES ABOVE THE NOSING OF TREADS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS PER SECTION R311.7.7 IRC 2015
22. OPEN GUARDRAIL AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER SECTION R311.7.8.1 IRC 2015
23. ALL EXTERIOR WALL AND MAIN CROSS STUDS PARTITIONS SHALL BE EFFECTIVELY BRACED AT EACH END, OR AS NEAR TO END AS POSSIBLE PER R602 IRC 2015
24. PROVIDE FIRE-STOPPING IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS ALONG THE LENGTH OF THE WALL PER SECTION R302 IRC 2015
25. ALL BEDROOM WINDOWS MEET EGRESS REQUIREMENTS AS STATED IN R310.1.1, R310.1.2, R310.1.3 & R310.1.4 IRC 2015
26. ALL WINDOW WELLS TO COMPLY WITH R310.2 IRC 2015
27. SELF CLOSING TIGHT FITTING DOOR 1 3/8" THICK OR A SELF-CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION OF 20 MINUTES BETWEEN THE RESIDENCE AND GARAGE. PER R302.5.1 IRC 2015
28. ATTIC DISAPPEARING STAIRS MAY BE INSTALLED IN THE GARAGE CEILING PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 3/8" THICK FIRE RETARDANT TREATED PLYWOOD OR COVERED WITH A MINIMUM OF 16 GAGE SHEET METAL PER SECTION R807 IRC 2015
29. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT R312.1.1. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS PER SECTION R312.1.2 IRC 2015

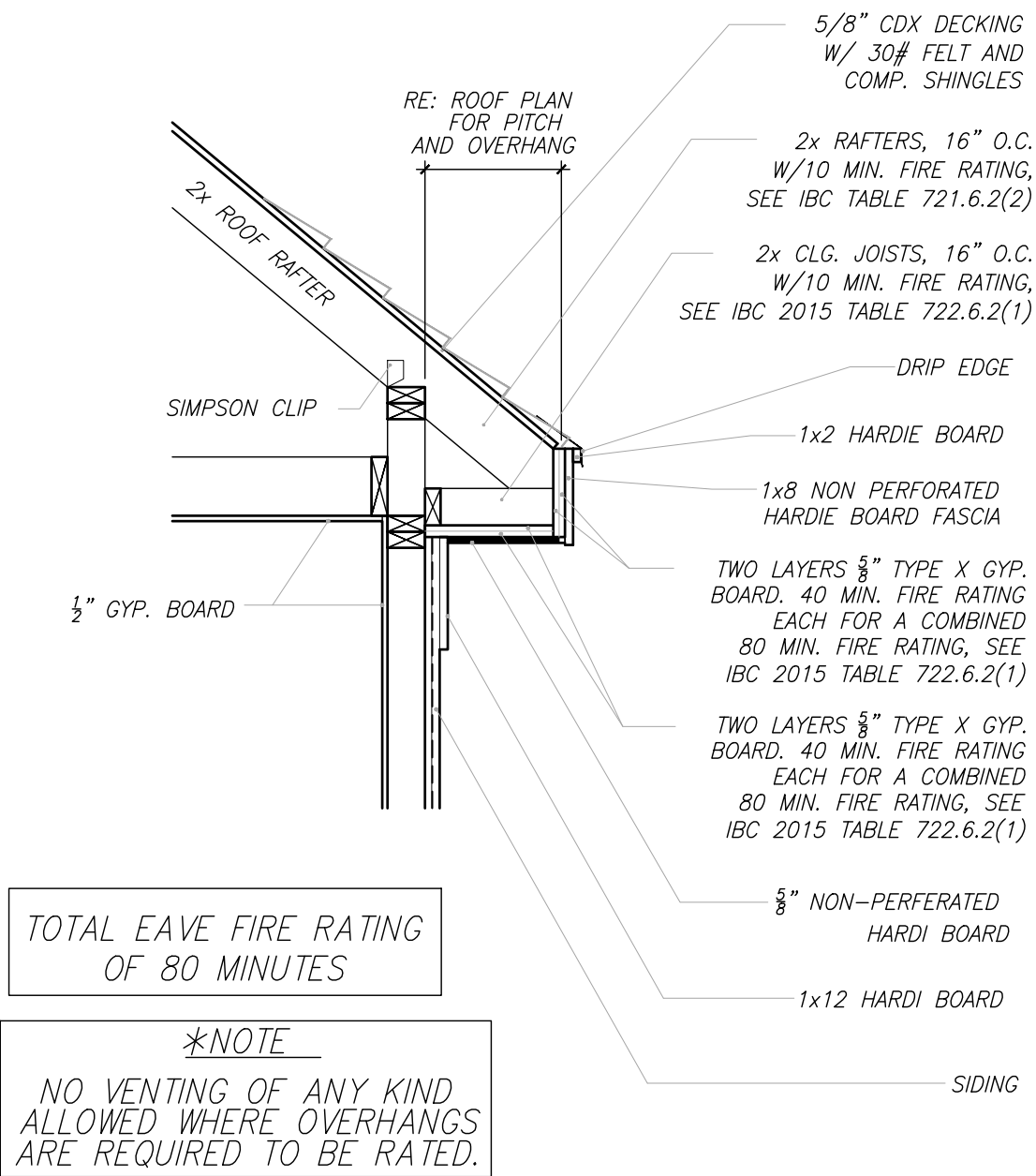
2015 IECC COMPLIANT

SCALE: N.T.S. NOTES



SCALE: N.T.S. FLASHING DETAIL 5

**1 HR FIRE RATED EAVE DETAIL**



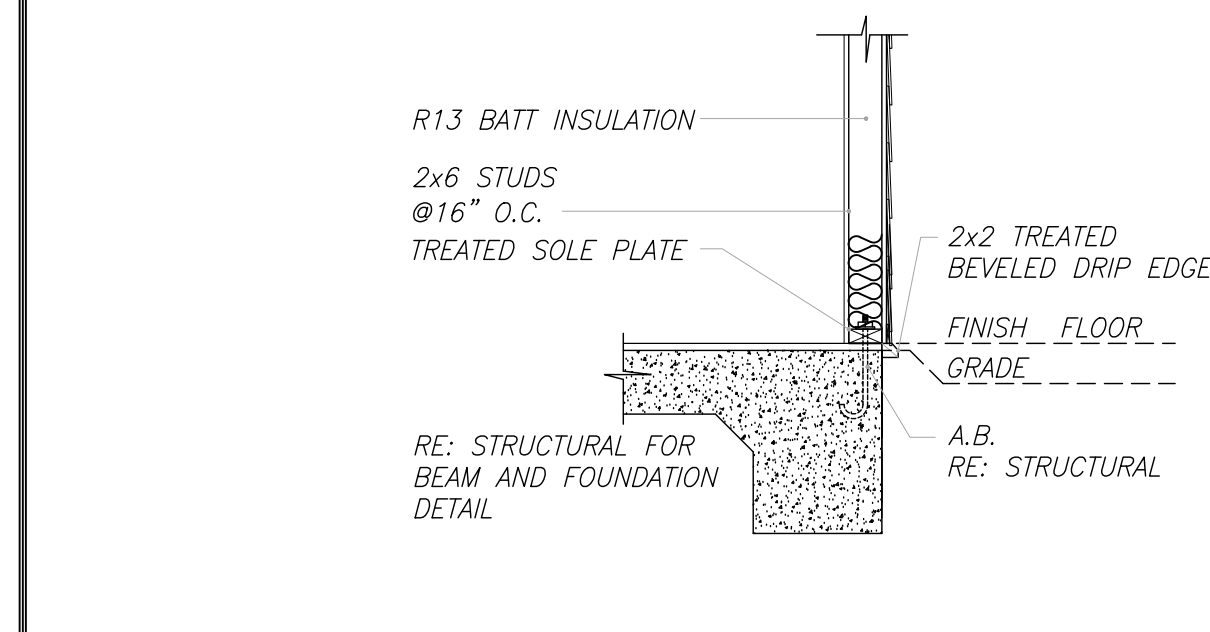
TOTAL EAVE FIRE RATING OF 80 MINUTES

\*NOTE NO VENTING OF ANY KIND ALLOWED WHERE OVERHANGS ARE REQUIRED TO BE RATED.

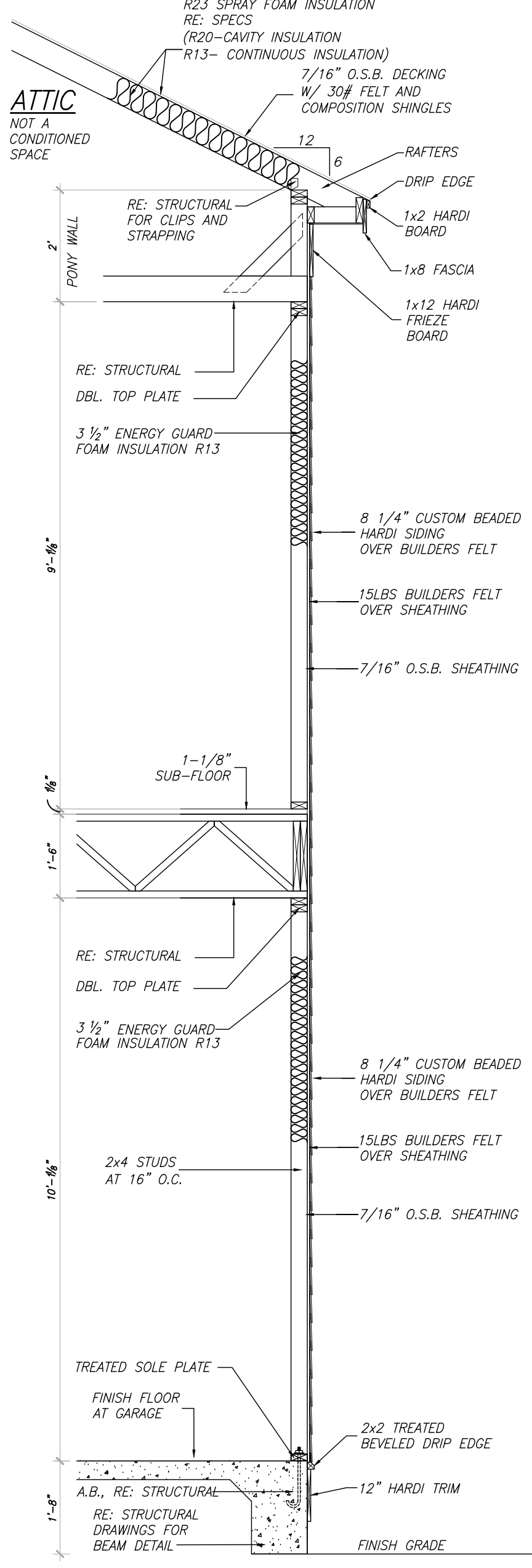
IRC 2015 R302.1 PROJECTIONS EXTENDING INTO THE FIRE SEPARATION DISTANCE SHALL HAVE NO LESS THAN 1- HOUR FIRE-RESISTIVE CONSTRUCTION ON THE UNDERSIDE.

FORCE FIELD FIRE GUARD E-84 INTUMESCENT COATING TEST CONDUCTED AT THE GURDIAN FIRE TESTING CENTER GL 61011

SCALE: N.T.S. FIRE RATED SOFFIT DETAIL



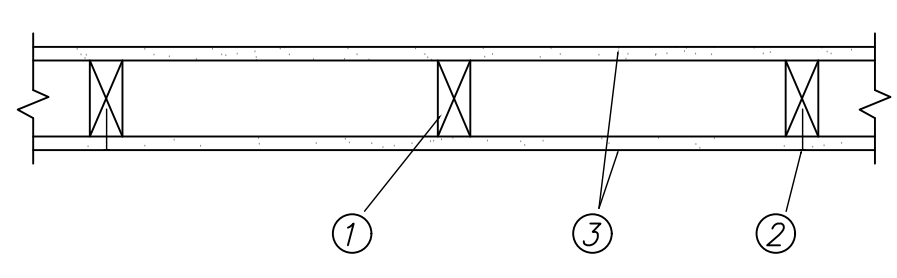
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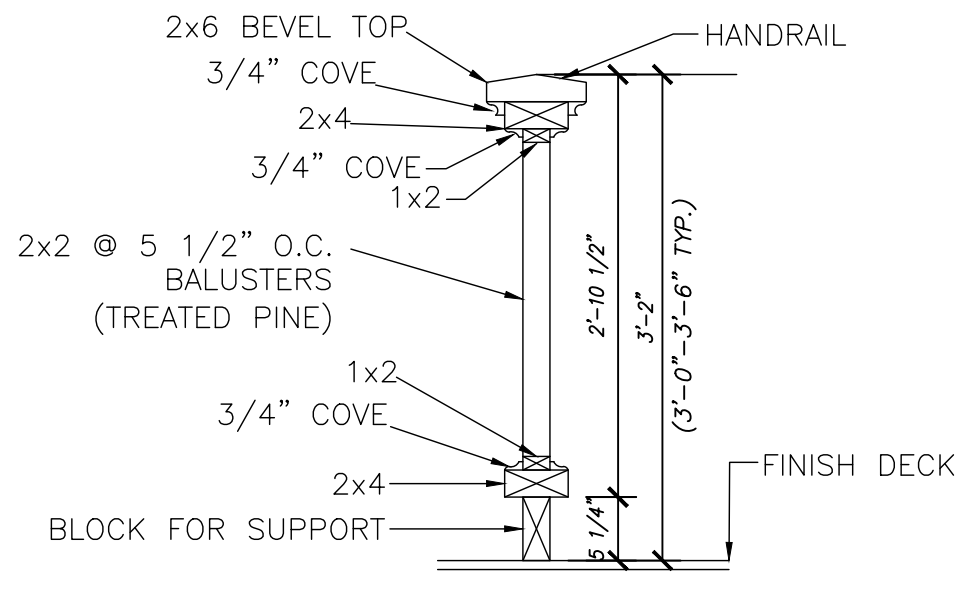
SCALE: N.T.S. WALL SECTION 8

**FIRE RESISTANCE RATINGS**

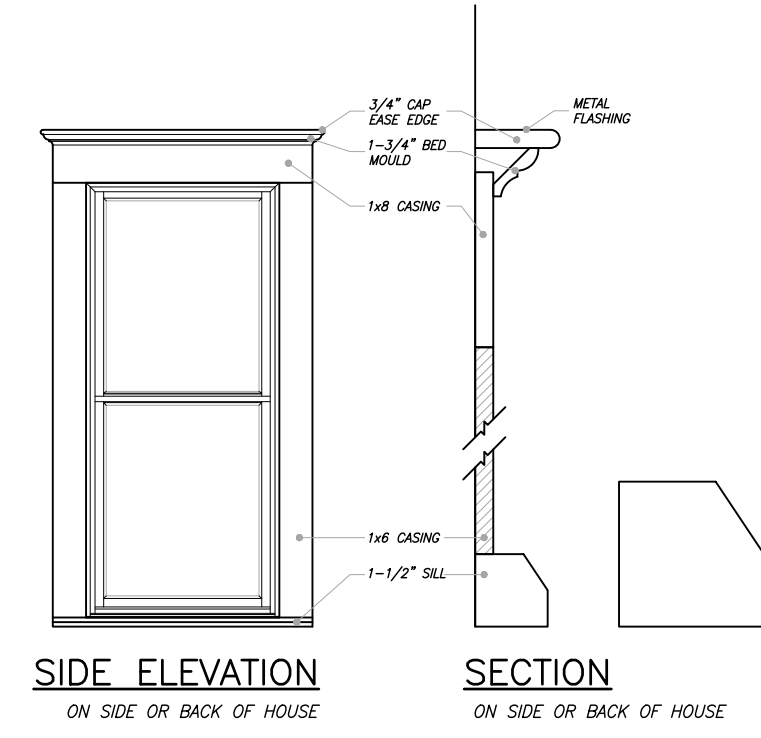
UL 263/ DESIGN NO. U305/ 1 HR. FIRE RATED WALL



SCALE: N.T.S. 1 HR. RATED DETAIL 12



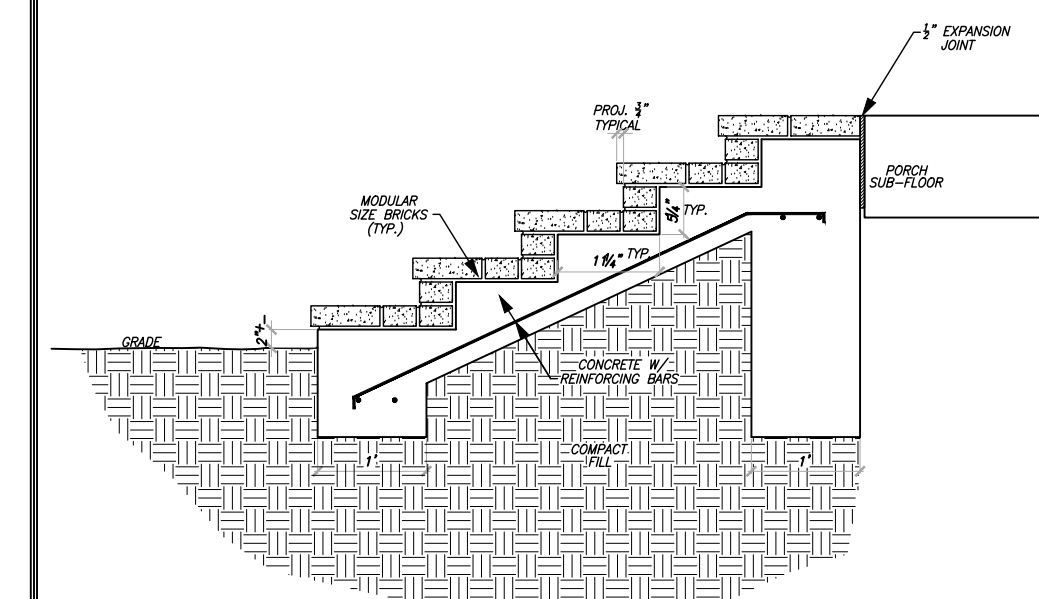
SCALE: N.T.S. HANDRAIL DTL. 11



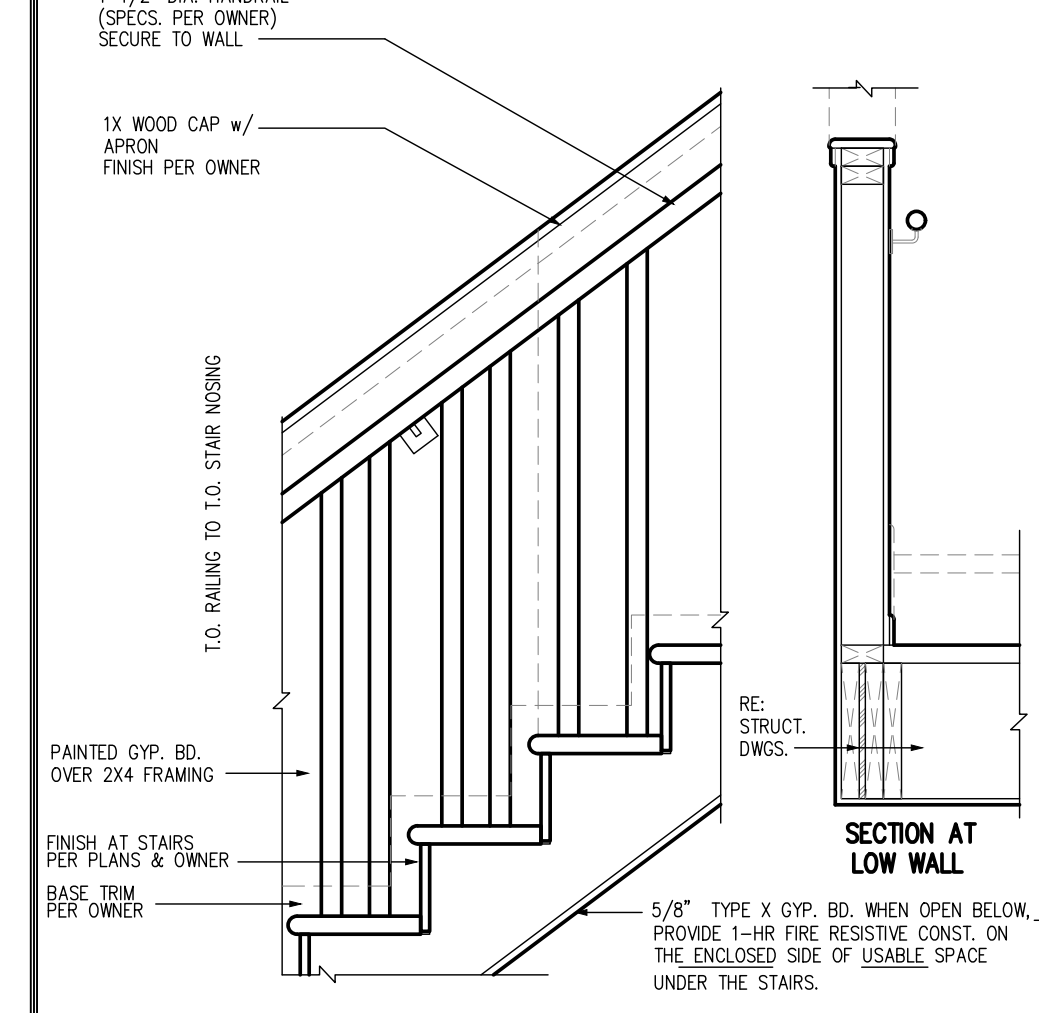
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- 1) Wood Studs- Nominal 2 by 4 in. spaced 16 in. OC max, effectively firestopped.
- 2) Joints and Nail Heads- Exposed or covered with fiber tape and joint compound, except where required for specific edge configuration. For tapered, rounded-edge gypsum board, joints covered with joint compound or fiber tape and joint compound. As an alternate, non 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced. Nailheads exposed or covered with joint compound.
- 3) Gypsum Board- 5/8 in. thick paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. When used in widths other than 48 in., gypsum panels are to be installed horizontally.

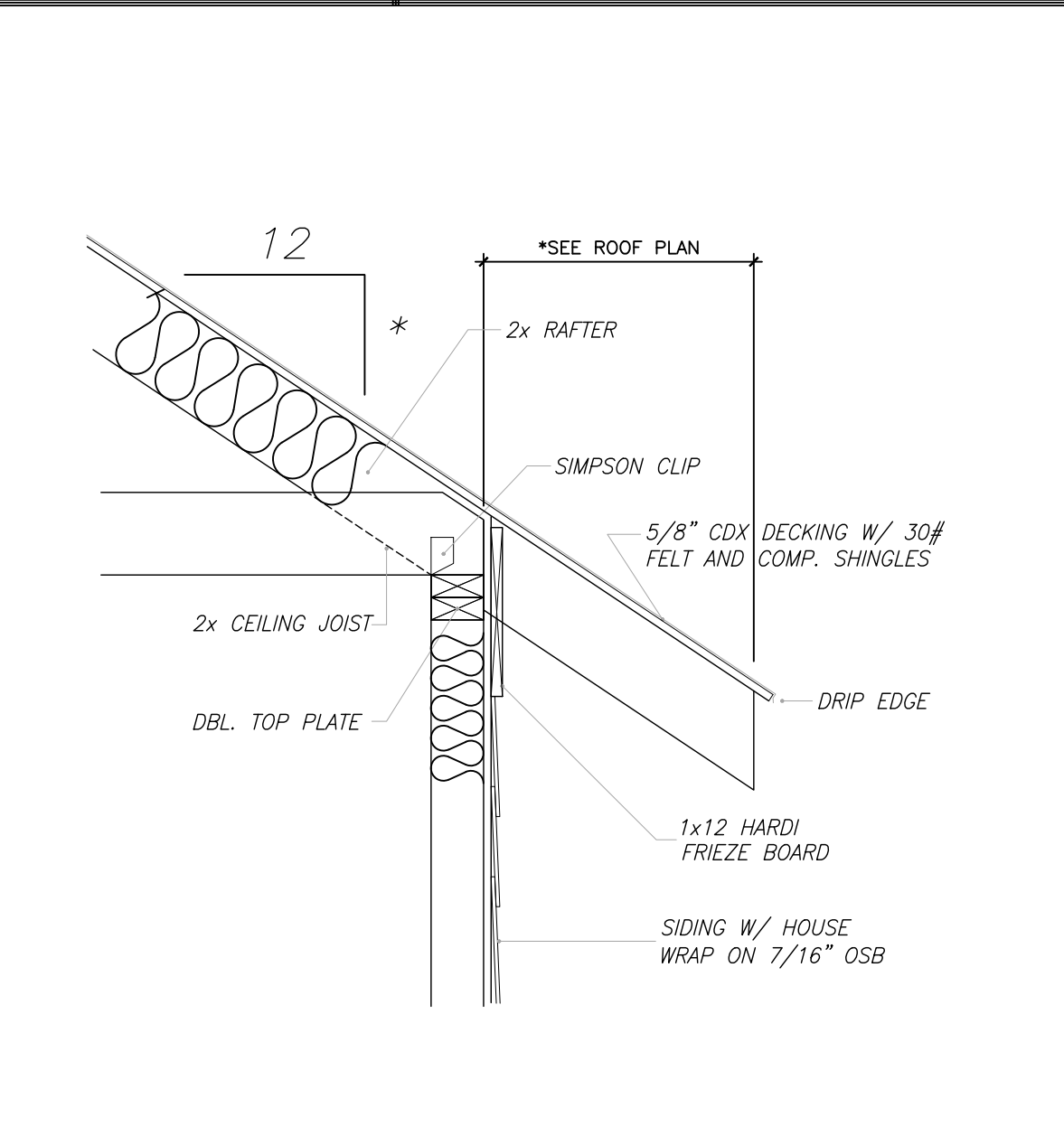
SCALE: N.T.S. BRICK STEPS DTL. 10



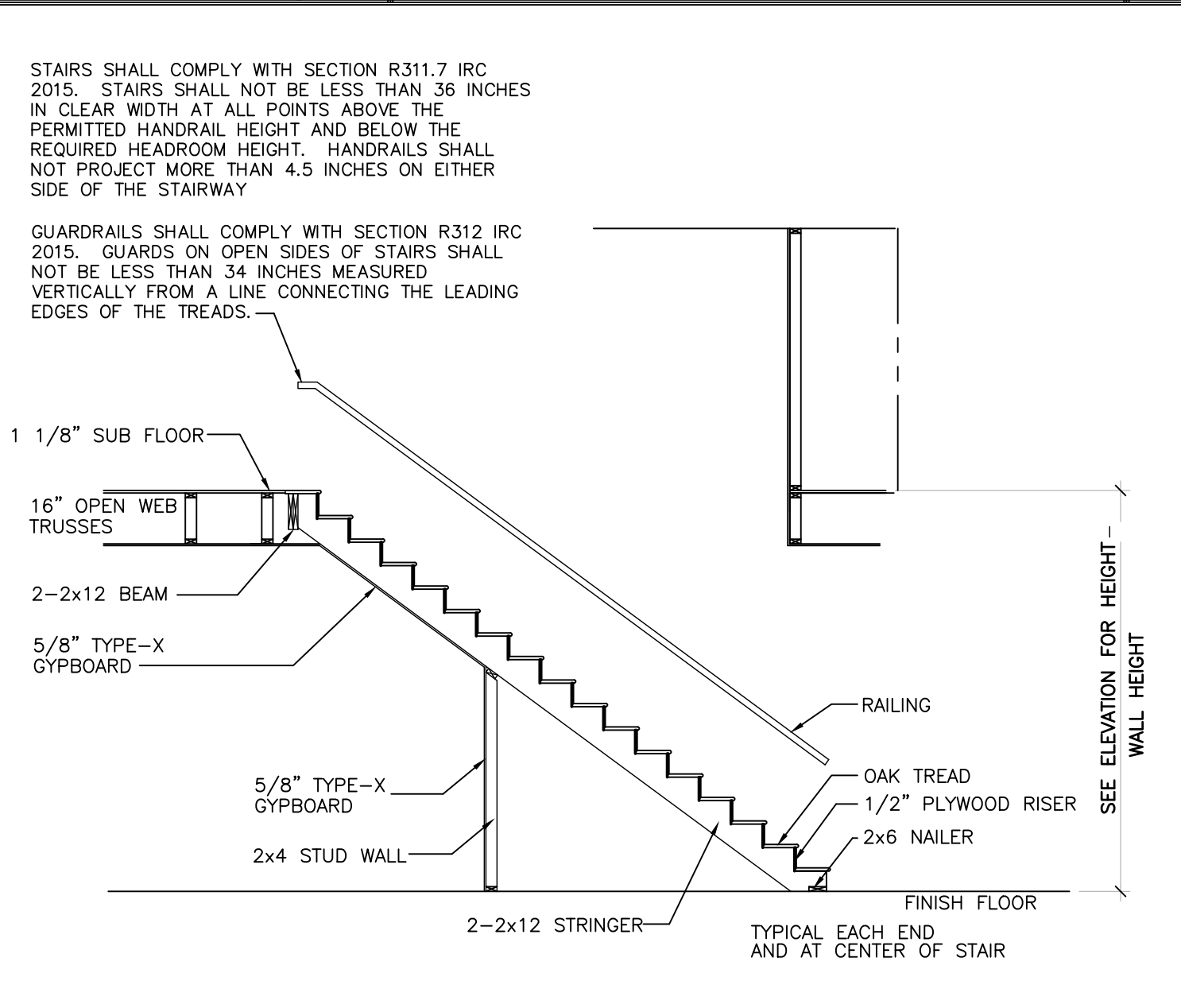
SCALE: N.T.S. STAIR DETAIL 6



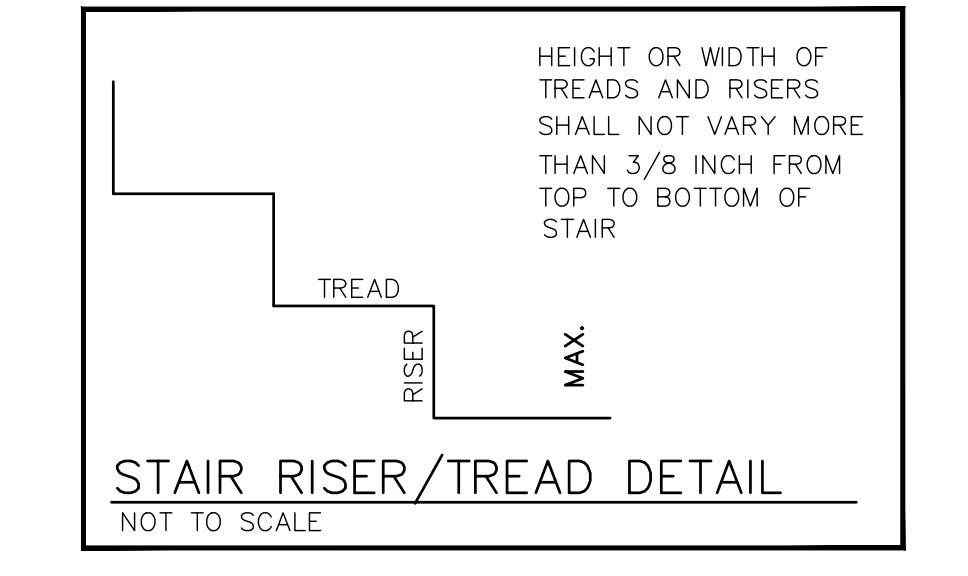
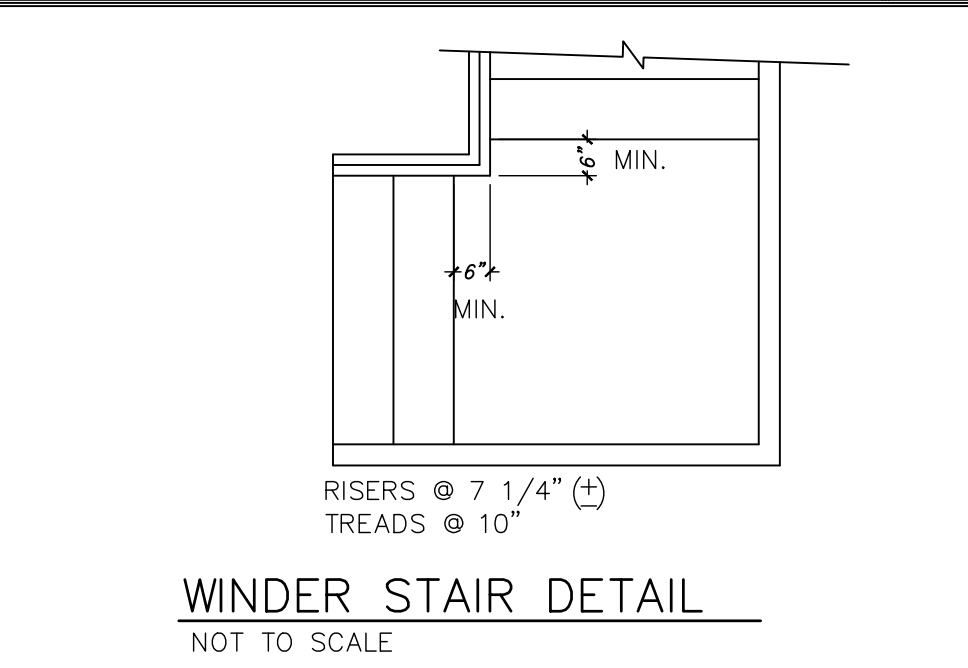
SCALE: N.T.S. STAIR DETAIL 6



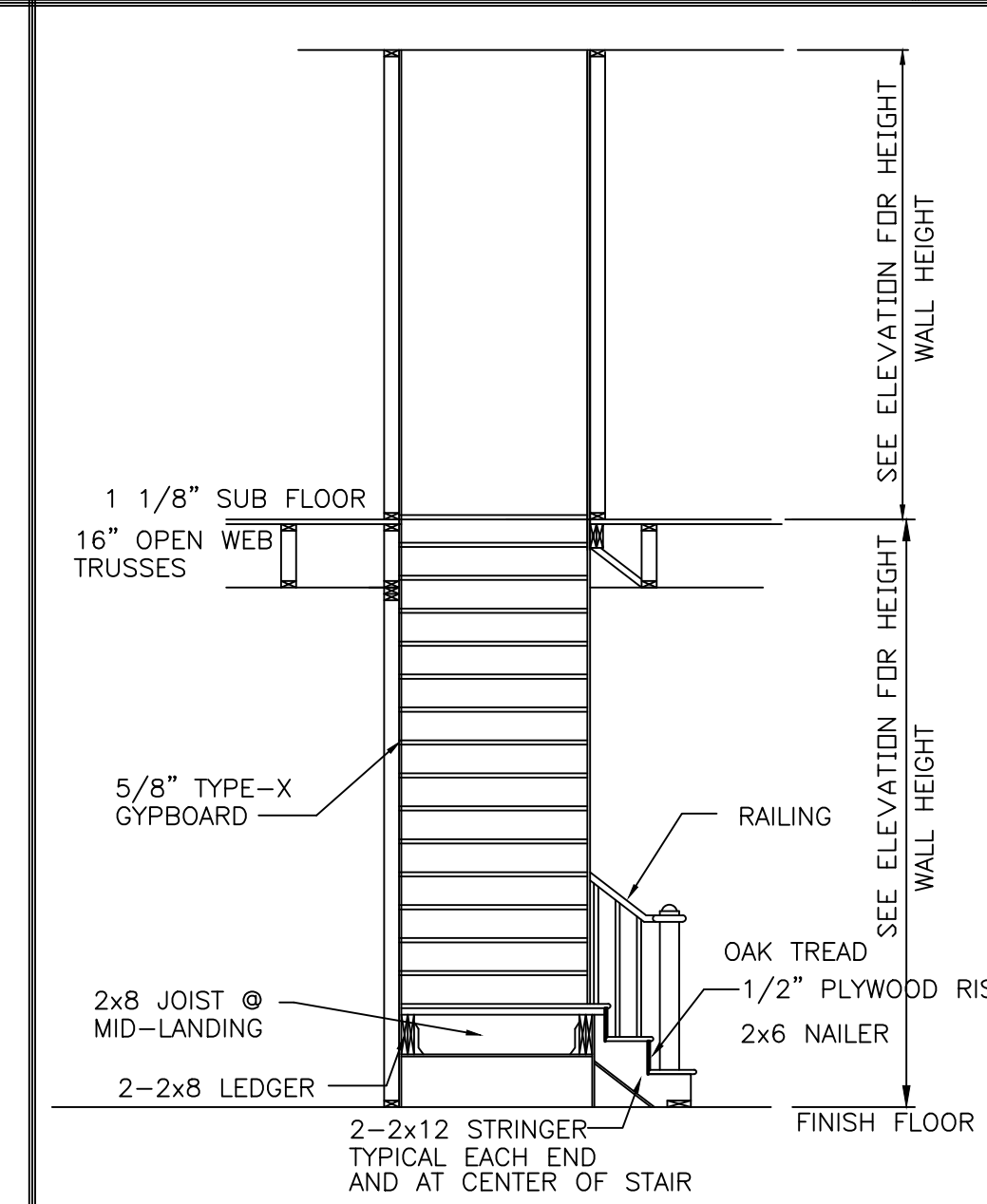
SCALE: N.T.S. EAVE DETAIL 4



SCALE: N.T.S. STAIR SECTION 3



SCALE: N.T.S. STAIR DETAIL 2



SCALE: N.T.S. STAIR DETAIL 1

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