

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** September 1, 2022

**Applicant:** Sumaiya Kassim, owner

**Property:** 1204 Studewood Street, Lot 18, Block 127, North Norhill Subdivision. The property includes a 1,256 SF one-story wood frame duplex on a 5,000 square foot (50' x 100') interior lot.

**Significance:** Contributing bungalow duplex in the Norhill Historic District circa 1930

**Proposal:** Alteration – 2 story rear addition

- The ceiling plate has been raised approx. 18"
- New single vehicle detached garage
- Original siding and windows to be retained
- Ridge height of proposed rear addition is 24'6"
- New windows to be inset and recessed
- Siding of addition to be clad in #117 wood matching original
- One original front door opening to be changed to a window

**See attached drawing set for details.**

**Public Comment:** No public comment received.

**Civic Association:** Norhill Neighborhood Civic Association supports the project

**\* Information subject to change before final report**

**Recommendation:** Denial - does not satisfy criteria and issuance of a COR as applied for.

**HAHC Action:** -

**APPROVAL CRITERIA**

**ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS**

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | <b>S</b>                            | <b>D</b>                 | <b>NA</b>                | <b>S - satisfies</b> | <b>D - does not satisfy</b>   | <b>NA - not applicable</b> |  |
|-------------------------------------|--------------------------|--------------------------|----------------------|---|----------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1)                  | The proposed activity must retain and preserve the historical character of the property;  |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2)                  | The proposed activity must contribute to the continued availability of the property for a contemporary use;   |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3)                  | The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;   |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4)                  | The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;   |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5)                  | The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;  |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6)                  | New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;   |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7)                  | The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8)                  | Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;  |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9)                  | The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;   |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10)                 | The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and   |                            |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11)                 | The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.   |                            |  |



PROPERTY LOCATION  
NORHILL HISTORIC DISTRICT



Building Classification

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO





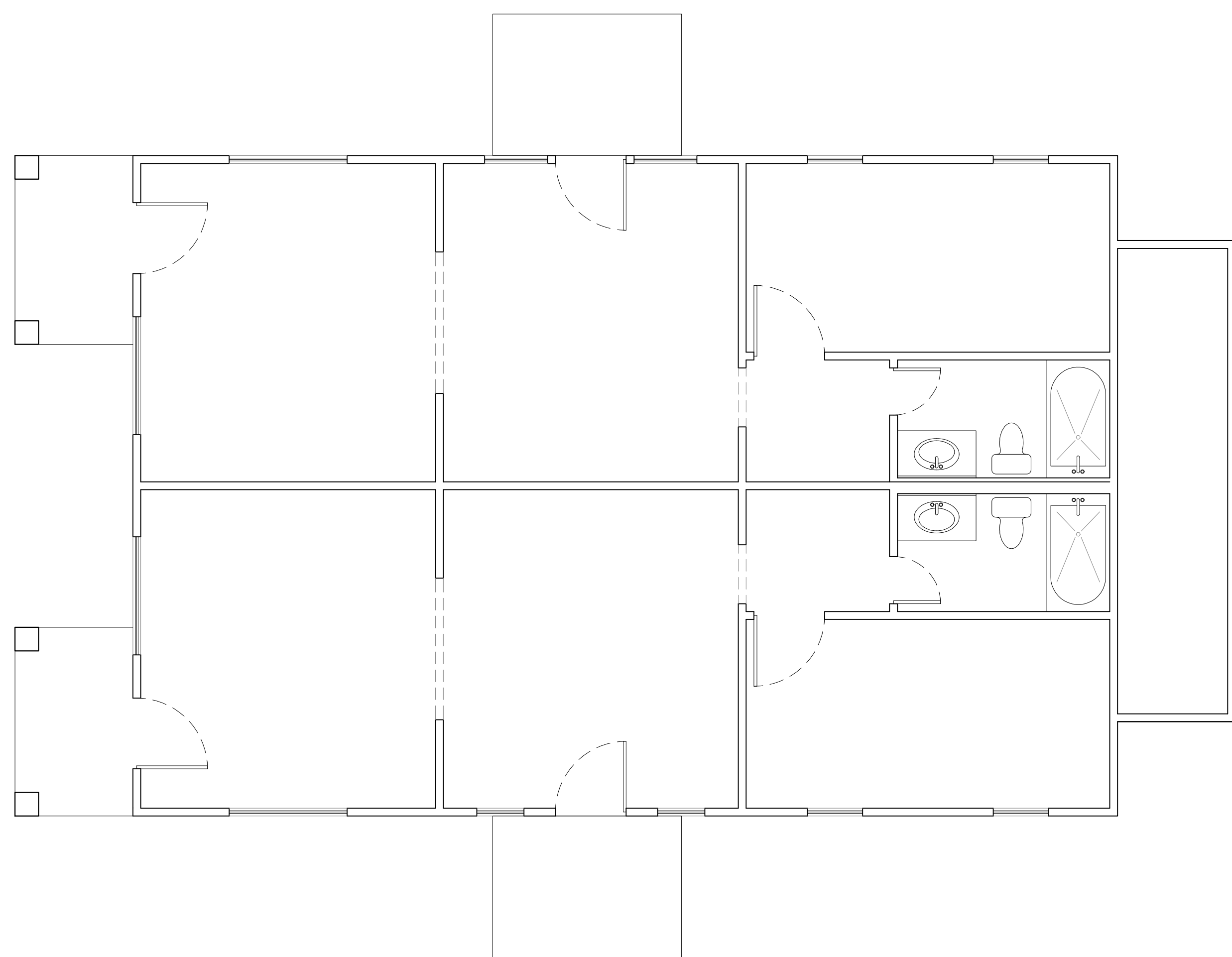
*Figure 1 - Current Google Streetview*

DRAFT

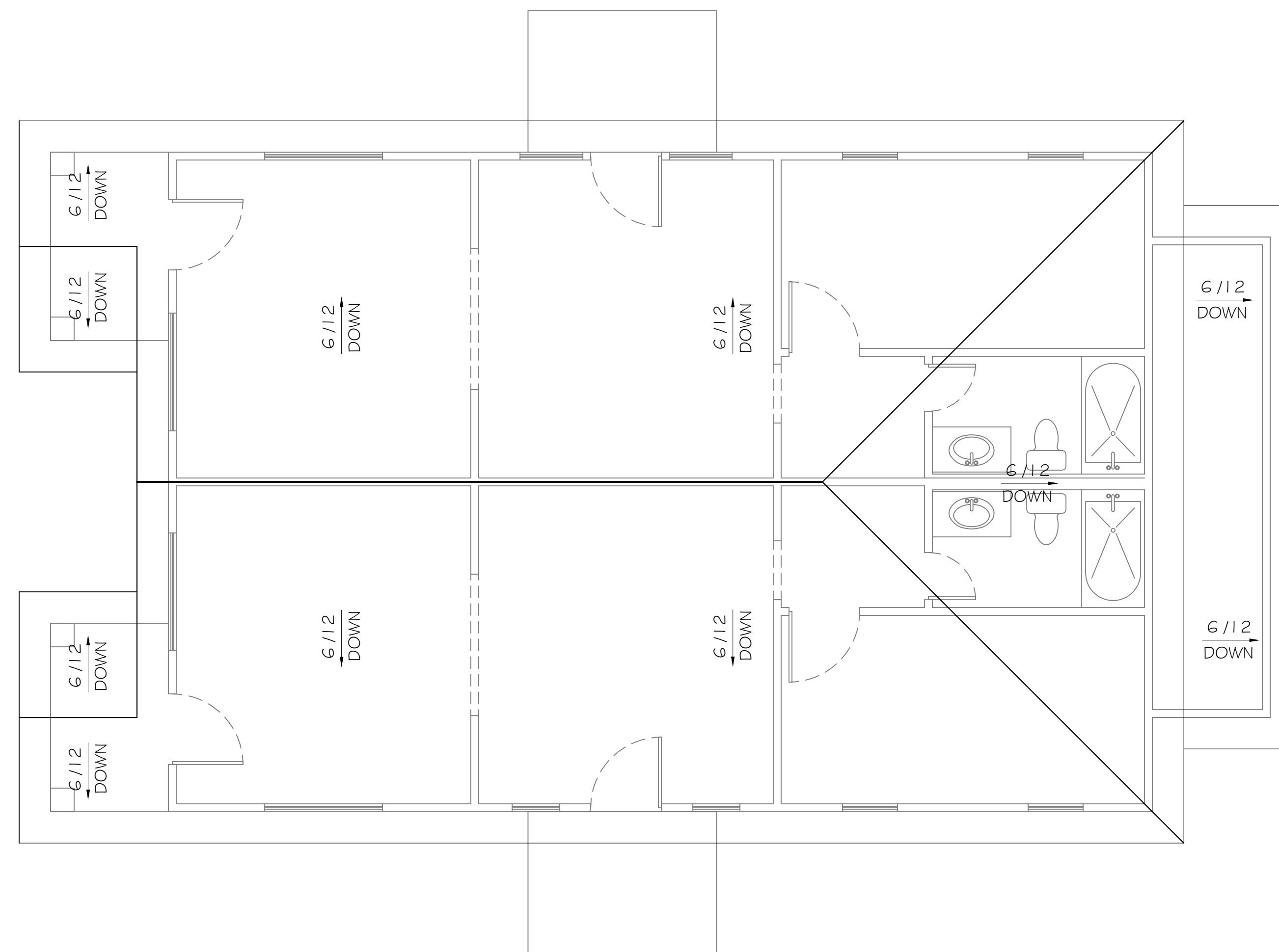
project:

NEW REMODEL  
& ADDITION

1206 STUDEWOOD ST.  
HOUSTON, TX. 77008



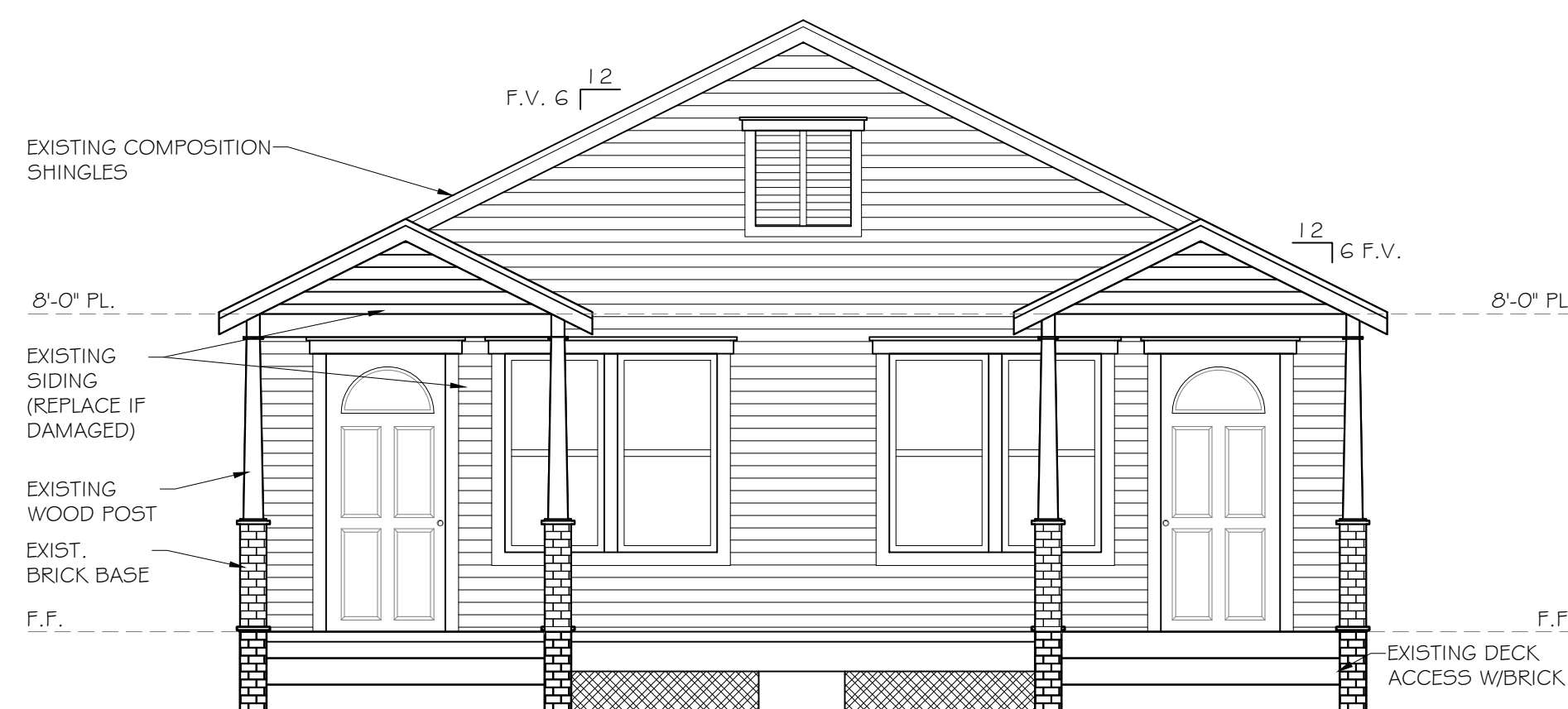
1 EXISTING FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 EXISTING ROOF PLAN  
SCALE: 1/4"=1'-0"

TABULATIONS

EXIST. LIV' AREA:	1,256 SQ.FT
EXIST. PORCH:	80 SQ.FT
EXIST. 2 DECK:	96 SQ.FT
EXIST. COVD AREA:	2972 SQ.FT



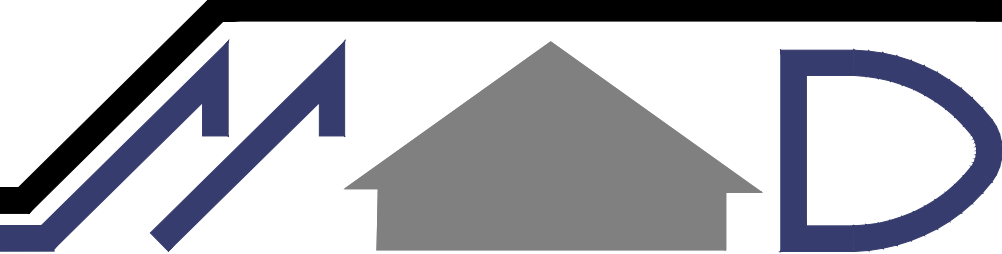
3 EXIST. FRONT ELEVATION  
SCALE: 1/4"=1'-0"



4 EXIST. RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

EXISTING  
CONDITIONS

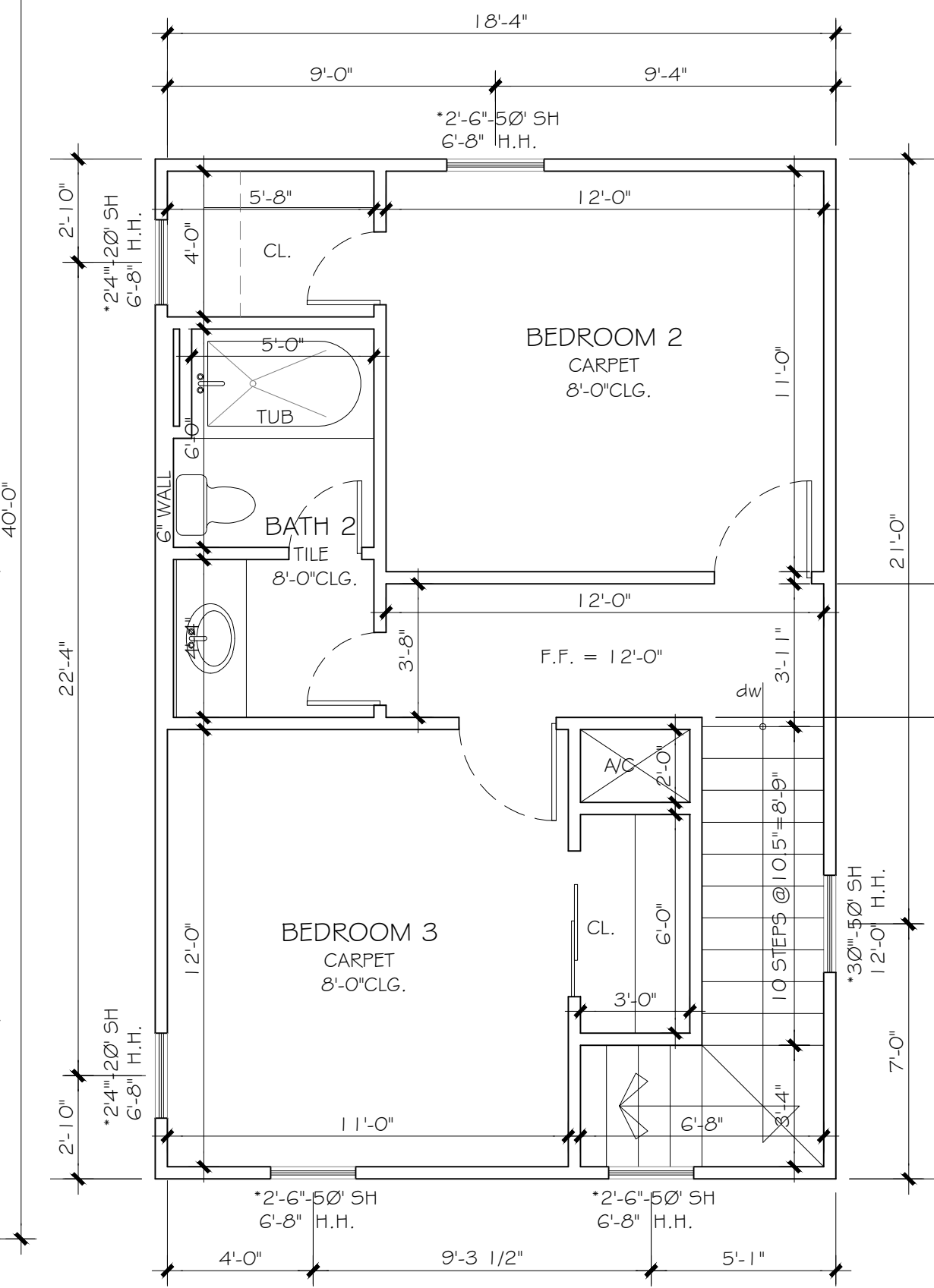
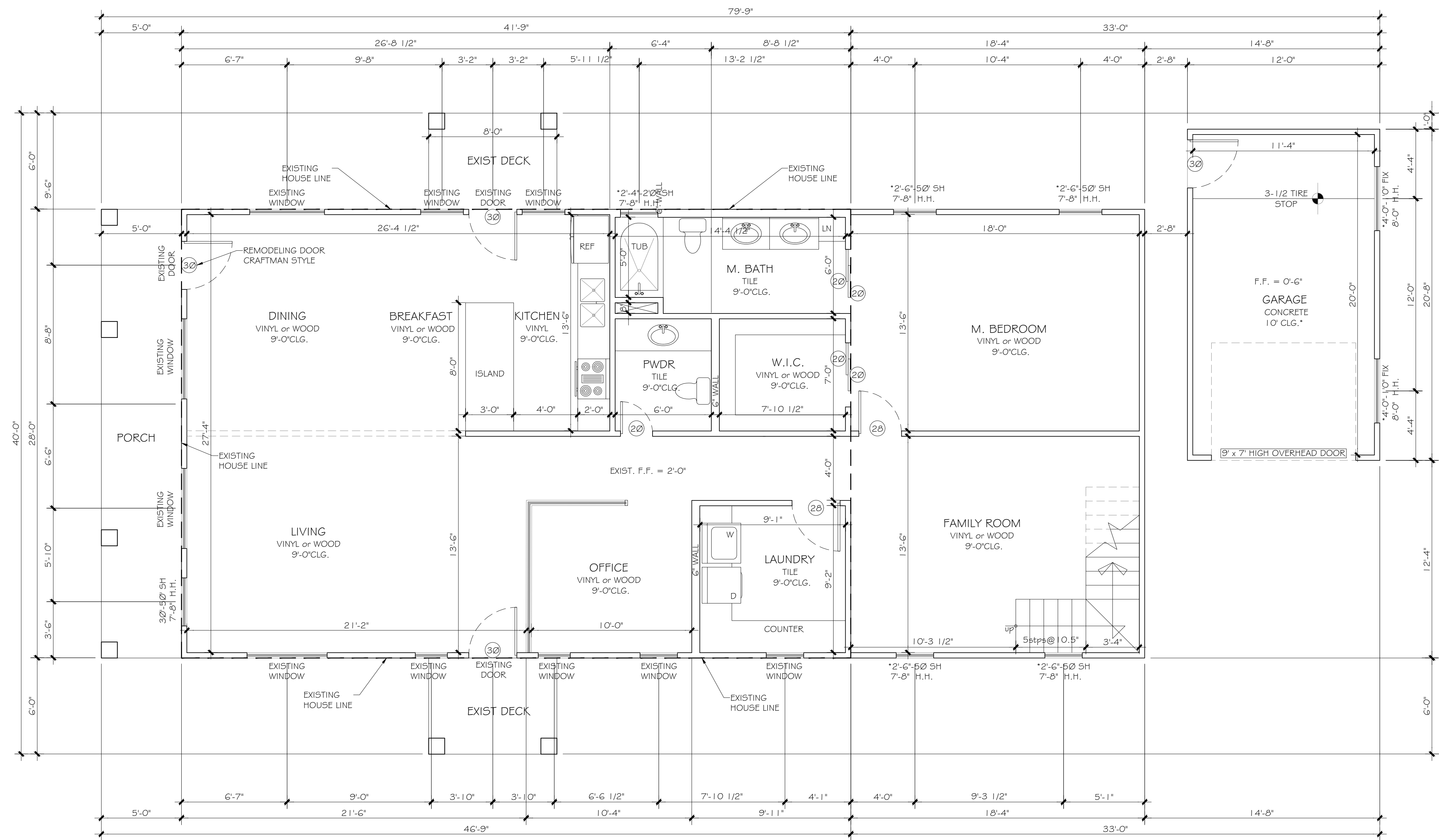
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project:

# NEW REMODEL & ADDITION

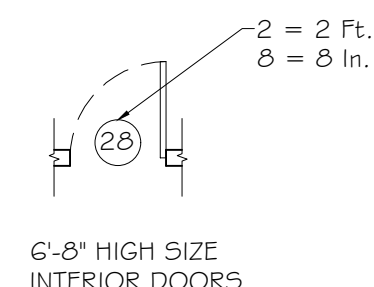
1206 STUDEWOOD ST.  
HOUSTON, TX. 77008



NOTE:  
DO NOT SCALE-OFF DIRECTLY FROM DRAWING.  
CONTRACTOR SHALL FIELD VERIFY DIMENSIONS.

ALL CONSTRUCTION SHALL BE COMPLIANCE WITH THE 2015 IECC

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, INCLUDING THE INTERNATIONAL RESIDENTIAL CODE AND CITY OF HOUSTON CODES. THE DRAWINGS AND SPECIFICATIONS ARE AN OUTLINE OF THE MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL PERFORM A SURVEY OF EXISTING CONDITIONS IN ORDER TO VERIFY ACCURACY OF DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING WITH ACTUAL CONDITIONS. CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY PROBLEMS FOUND THAT MAY AFFECT THE WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR THAT CONDITIONS ARE CORRECT AND THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR CONDITIONS.
- ALL CONSTRUCTION SHALL BE COMPLETE, FINISHED, AND OF THE HIGHEST WORKMANSHIP. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE OWNER AND DESIGNER.
- APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE MODIFIED NOR CHANGED WITHOUT AUTHORIZATIONS FROM THE BUILDING OFFICIAL.



**2 DOOR LEGEND**  
SCALE: 1/4" = 1'-0"

### TABULATIONS

EXIST. LIV' AREA:	1,256 SQ.FT
NEW ADD 1st LEVEL:	427 SQ.FT
NEW ADD 2nd LEVEL:	472 SQ.FT
TOTAL NEW LIV':	2,155 SQ.FT
NEW GARAGE:	248 SQ.FT
EXIST. PORCH:	80 SQ.FT
NEW ADD. PORCH:	60 SQ.FT
EXIST. 2 DECK:	96 SQ.FT
TOTAL COVD:	2,639 SQ.FT

- THE CONSTRUCTION OF THIS DWELLING MUST COMPLY WITH INTERNATIONAL RESIDENTIAL CODE
- DO NOT SCALE-OFF DIRECTLY FROM DRAWING. CONTRACTOR SHALL VERIFY AND WORK WITH DIMENSIONS SHOWN. ALL DIMENSION SHALL BE VERIFY IN SITE.
- SINGLE HUNG ALUMINUM WINDOWS UNO 3'-8" HEADER HT. AT 10" - 0" PLATE 7'-8" HEADER HT. AT 9" - 0" PLATE 6'-8" HEADER HT. AT 8" - 0" PLATE
- CHIMNEYS TO BE 2'-0" (MIN.) ABV. ANY ROOF LINE WITHIN A 10'-0" RADIUS.
- THE ATTIC ACCESS STAIRWAY SHALL COMPLY WITH SECTION M 1305.1.3 AS AMENDED. ACCESS SHALL BE PROVIDED WITH A FULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22 INCHES IN WIDTH AND LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 OF THE IRC. AND NO LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDE OF THE APPLIANCE. WHERE ACCESS IS REQUIRED, THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE MINIMUM OF 20 INCHES BY 30 INCHES, WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
- 6'-8" INTERIOR DOORS AT FIRST FLOOR
- WHERE WOOD FRAMING IS EXPOSED TO WATER SPLASHING, PROVIDE WATERPROOF PAPER FLASHING AND COUNTER FLASHING.
- SEE OWNER/CONTRACTOR FOR WINDOW MANUFACTURER AND STYLES. WINDOW SUPPLIER TO LOCATE SAFETY GLASS AS REQUIRED & CERTIFY ALL WINDOW TO COMPLY WITH I.B.C. I.R.C. AND 2015 ENERGY CODE. PROVIDE MASTIC WRAP, WATERPROOFING AND CAULK SURROUND FLASHING ABOVE WINDOWS AND COUNTER-FLASH AS REQUIRED
- ALL GLAZING LOCATED IN DOORS TO BE SAFETY GLAZING
- HOUSEHOLD VENTING SHALL BE OUTSIDE DWELLING. PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS VIA NATURAL OR MECHANICAL MEANS CAPABLE OF FIVE AIR CHANGES PER HOUR AND IS VENTED DIRECTLY OUTSIDE WITH A POINT OF DISCHARGE MIN.
- HVAC INSTALLATION, SIZING, LOCATION IS THE RESPONSIBILITY OF A/C CONTRACTORS
- ALL LAVATORIES 2'-8" HIGH U.N.O.
- ALL SHEETROCK CORNER TO BE ROUNDED, EXCLUDING CORNERS AT WINDOW.
- CROSS VENTILATION AT ENCLOSED ATTICS, SIZE PER CODE CALCULATION.

### FLOOR PLAN

sheet: **A1.0**

### 3 GENERAL NOTES

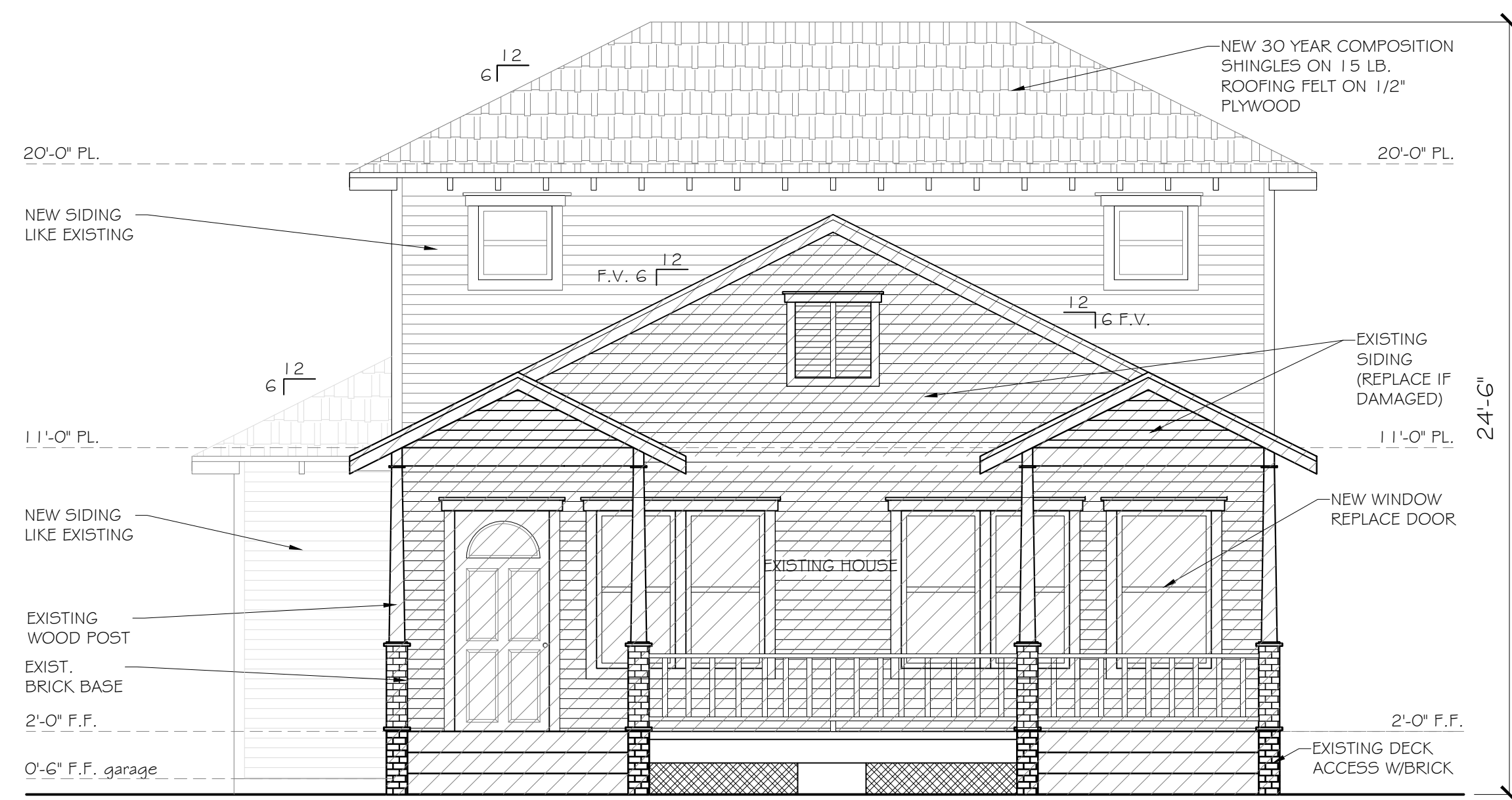
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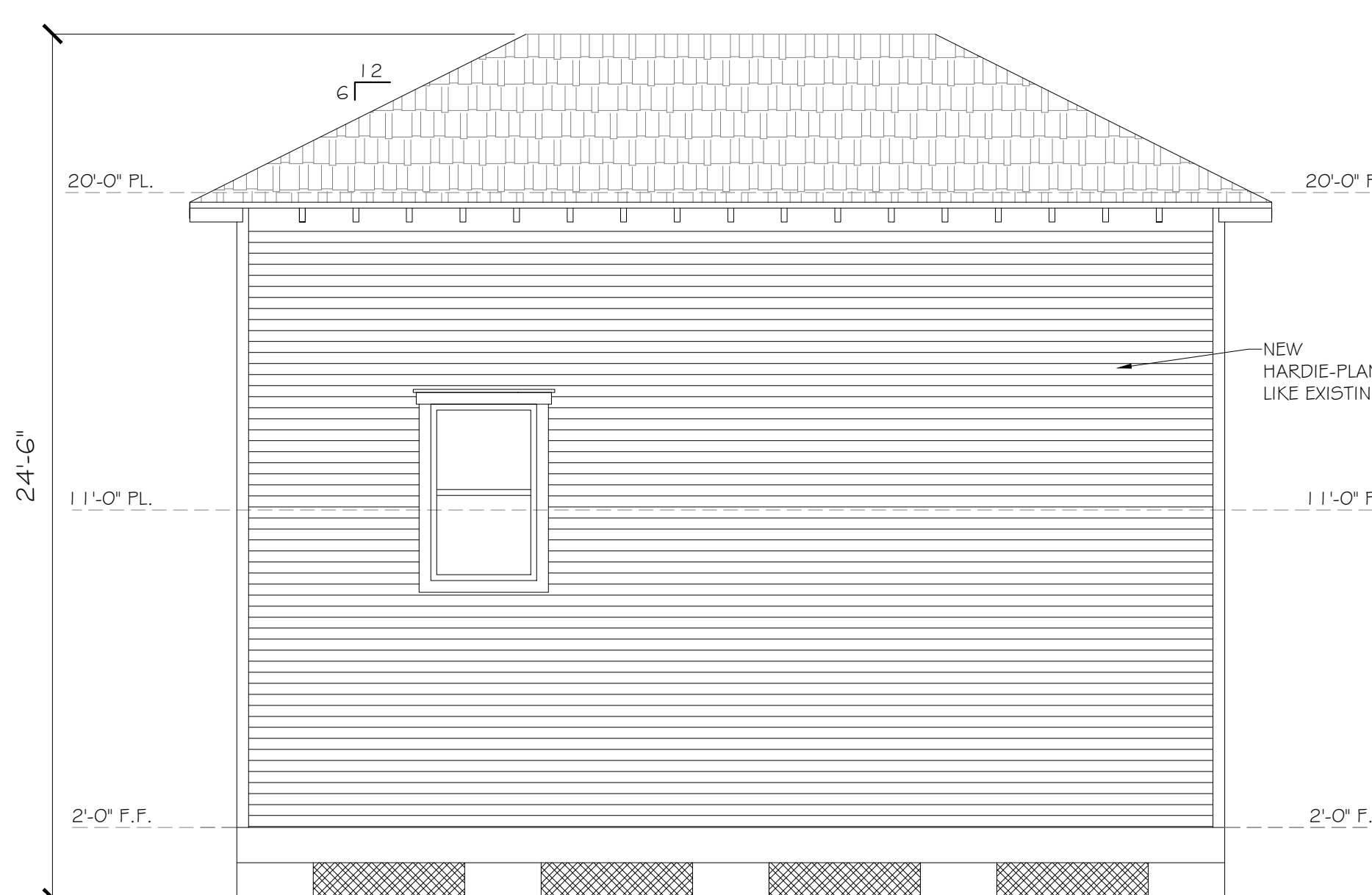
project:

# NEW REMODEL & ADDITION

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HOUSTON, TX. 77008



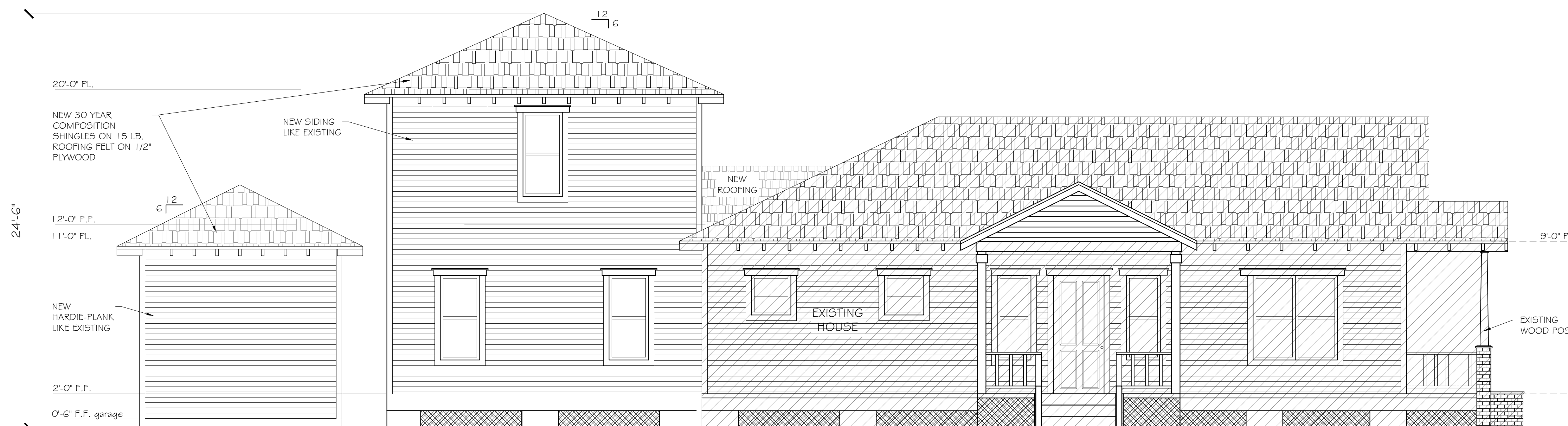
**1 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**2 REAR ELEVATION (WITHOUT GARAGE)**  
SCALE: 1/4"=1'-0"

1. ALL EXTERIOR FINISHES, ROOFING, AND DETAILS SHALL BE INSTALLED PER MANUFACTURED SPECIFICATION AND COMPLY WITH U.L. AND A.S.T.M. STANDARDS. BUILDERS/OWNERS WILL HIRE ONLY PROFESSIONAL CONTRACTORS TO PERFORM ANY CONSTRUCTION FOR THIS DWELLING. CONSTRUCTION WILL BE SUPERVISED BY THE BUILDER WHO WILL DETERMINE, GUIDE, REVIEW, INSPECT, APPROVE AND THEN CERTIFY ALL WORKMANSHIP OF SUBCONTRACTORS. DESIGNER IS NOT RESPONSIBLE FOR POOR, INCOMPLETE OR SUBSTANDARD WORKMANSHIP. ALL CONTRACTORS HIRED BY BUILDER MUST HAVE THE EXPERIENCE AND KNOWLEDGE TO PERFORM ACCORDING TO A.S.T.M. AND U.L. GENERAL INDUSTRY STANDARDS AND PRACTICES. WORK SHALL COMPLY WITH THE 2012 I.R.C. BOOK OF STANDARDS WHICH IS TO BE PROVIDED BY THE BUILDER TO SUBCONTRACTORS AND KEEP ON SITE THROUGH THE DURATION OF CONSTRUCTION. DESIGNER DOES NOT CERTIFY OR APPROVE THE QUALIFICATIONS OF ANY BUILDER, HIS ASSIGNS, OR SUBCONTRACTORS. ON SITE SUPERVISION IS NOT PART OF DESIGNER GENERAL SERVICES.
2. SEE ELEVATION AND DETAIL SHEET FOR TYPICAL FASCIA AND SOFFIT CORNICE DESIGN. REFER TO BUILDER FOR EXACT MATERIAL SPECIFICATION AND EXACT CONSTRUCTION ASSEMBLY.
3. VERTICAL & HORIZONTAL EXPANSION JOINTS, WEEP HOLES, AND BRICK TIES AS REQD. LOCATED BY BLDG./CONTRACTORS AS PER B.I.A. AND ASTM MASONRY STANDARDS.
4. INSULATION PER OWNER/BLDR. SELECTION, MIN. R-13 WALL, R-19 SLOPE ROOF AND KNEE WALL, R-30 @ ATTIC.
5. BUILDER WILL USE MINIMUM (CLASS B SHINGLES) WITH A 30 YR. MANUF. WARRANTY FOR COMPOSITION ROOF OVER 30 LB. FELT PAPER UNDERLAY, MINIMUM 7/16 OSB ROOF DECKING WITH TECH SHIELD IF REQUESTED. BUILDER SHALL INSTALL PASSIVE DESIGNED CONTINUOUS SOFFIT AND RIDGE VENTS PER MANUFACTURER SPECIFICATIONS AND A.S.T.M. STANDARDS, POWER VENTS IF REQUIRED.
6. ALL STONE TO BE CULTURED UNLESS NOTED OTHERWISE.
7. ALL CHIMNEY STACKS TO RISE MINIMUM 2'-0" ABOVE ANY ROOF OR STRUCTURED WITHIN A 10'-0" RADIUS AND BE FITTED WITH A U.L. APPROVE SPARK ARRESTOR IF REQUIRED. FLASH AND CRICKET AROUND CHIMNEY AS REQUIRED. ANY DECORATIVE CHIMNEY CAP OR COVERS TO BE FABRICATED FROM NON-COMBUSTIBLE METAL MATERIAL, ALLOW FOR FULL UNOBSTRUCTED VENTILATION. SEE MANF. SHOP DRAWINGS FOR ALL DETAILS.
8. PLUMBER TO SIZE AND LOCATE VENT STACKS TO EXTEND THROUGH ROOF DECK AND TERMINATED NOT LESS THAN 12" AWAY FROM ANY STRUCTURE. ALL PENETRATIONS TO BE SEALED AND FLASHED AS REQUIRED. LOCATE VENT STACKS ON REAR SIDE OF MAIN RIDGE IF POSSIBLE OR OUT OF VIEW FROM FRONT ELEVATION. PAINT STACKS TO MATCH ROOF COLOR.
9. ALL VENTING FOR APPLIANCE, MECHANICAL EQUIPMENT, OR COMBUSTION PRODUCING MACHINERY SHALL HAVE CONTINUOUS PIPING FROM SOURCE TO OUTSIDE. PIPES OR DUCTS SHALL BE FABRICATED FROM MATERIALS WITH SPECIFIC SIZE AND TERMINATED TO OUTSIDE AT A DISTANCE SPECIFIED BY MANUFACTURER. ALL OPENINGS OR PENETRATIONS FOR SUCH EQUIPMENT, A/C COILS, APPLIANCE, PLUMBING, AND ELECTRICAL SHALL HAVE GALV. METAL COVERS WILL BE SEALED TO PREVENT WATER OR MOISTURE FROM ENTERING INTO WALL OR CEILING CAVITY. SEE MANUFACTURER SPECS. FOR DIRECT VENT AND GAS LOG FIRE BOX ASSEMBLY AND TERMINATION INCLUDING PROTECTIVE SAFETY SHIELD AND MINIMAL SURROUND CLEARANCE FOR HOT VENT PIPES. ALL SIZING FOR PIPES OR DUCTS TO BE DETERMINED BY MANUFACTURER AND SHALL COMPLY WITH U.L. AND A.S.T.M. STANDARDS OR GUIDELINES. DUCTWORK SHALL INCLUDE DEVICE TO PREVENT BACK DRAFT AND EXHAUST FROM RE-ENTERING BUILDING. TERMINATION SHALL BE LOCATED NOT CLOSER THAN 36" MINIMUM FROM ANY OPENING SUCH AS A DOOR OR A WINDOW LEADING DIRECTLY INTO THE BUILDING. ABSOLUTELY NO VENTING OF ANY KIND INTO ATTIC, GARAGE, WALL, OR CEILING CAVITIES.
10. ALL A/C COILS & ELEC. PENETRATION TO BE PLACED THROUGH GALV. COUNTER FLASH DUCT AND SEALED W/ NON-COMBUSTIBLE PERM.FOAM INSULATION.
11. OWNER / BUILDER TO APPROVED AND LOCATE ALL GUTTERS AND DOWN SPOUTS W/ CONTRACTOR AND TIE INTO LANDSCAPE DRAIN AS REQUIRED.
12. TYPICAL VERTICAL ELEVATION DIMENSION TAKEN FROM TOP OF SLABS. ALL DIMENSION ARE NOMINAL NOT ACTUAL, ADJUST ACTUAL SIZES ACCORDINGLY.
13. F.V. (FIELD VERIFY)

**3 GENERAL NOTES**  
SCALE: N.T.S.



**3 LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

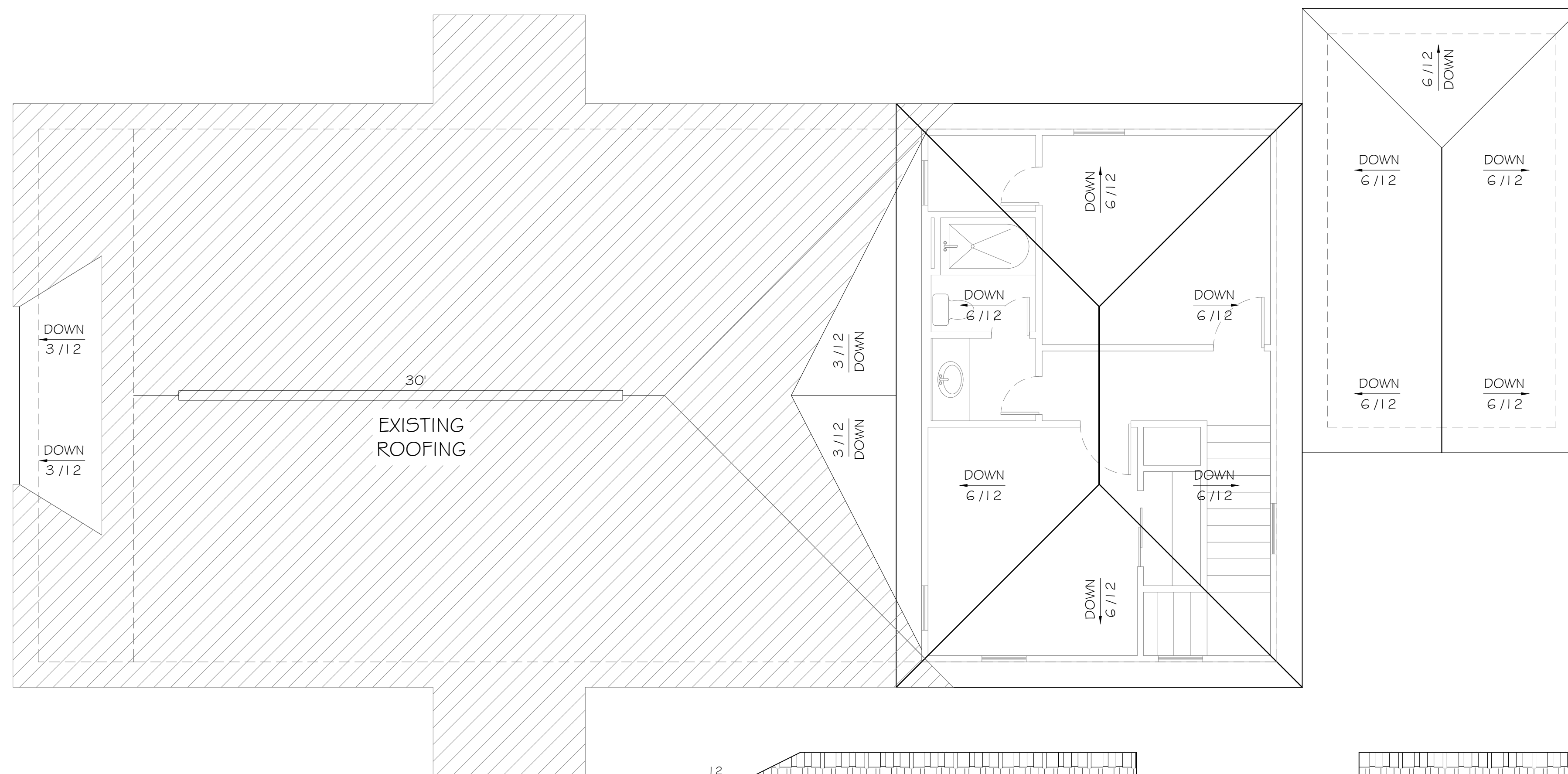
ELEVATIONS

sheet: **A2.0**

project:

# NEW REMODEL & ADDITION

1206 STUDEWOOD ST.  
HOUSTON, TX. 77008

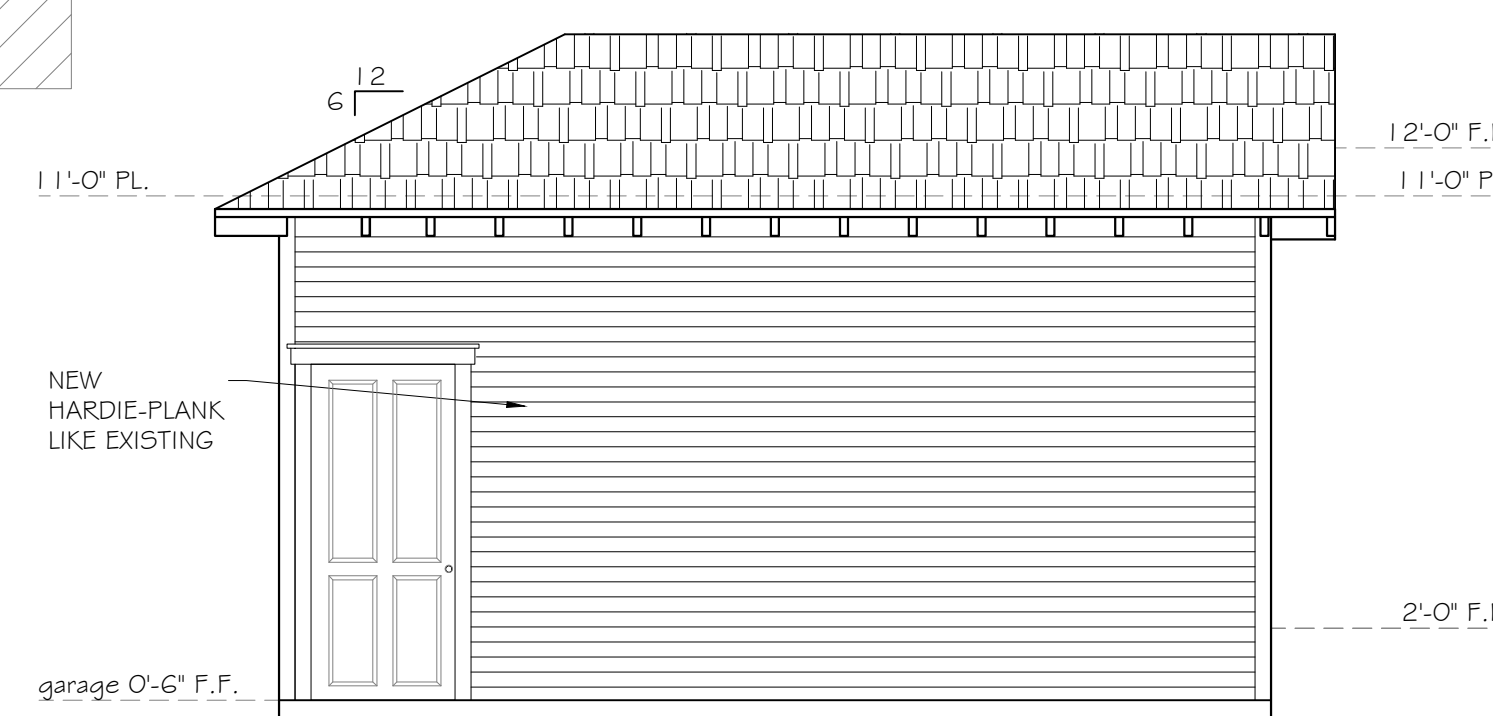


### VENT CALCULATION:

ROOF FLOOR AREA (SQ. FT.) =  $2,455/300=8.18 \times 144=1,178/2= 589$  SQ. IN.  
 PROVIDE  
 AIR HAWK (1) = 225 SQ. IN.  
 LINEAR VENT (35 x 18)= 630 SQ. IN.  
 TOTAL ATTIC VENTING = 855 > 589 SQ. IN.  
 NOTE : MIN. SOFFIT VENT AREA MUST EQUAL OR EXCEED UPPER VENT AREA REQUIRED

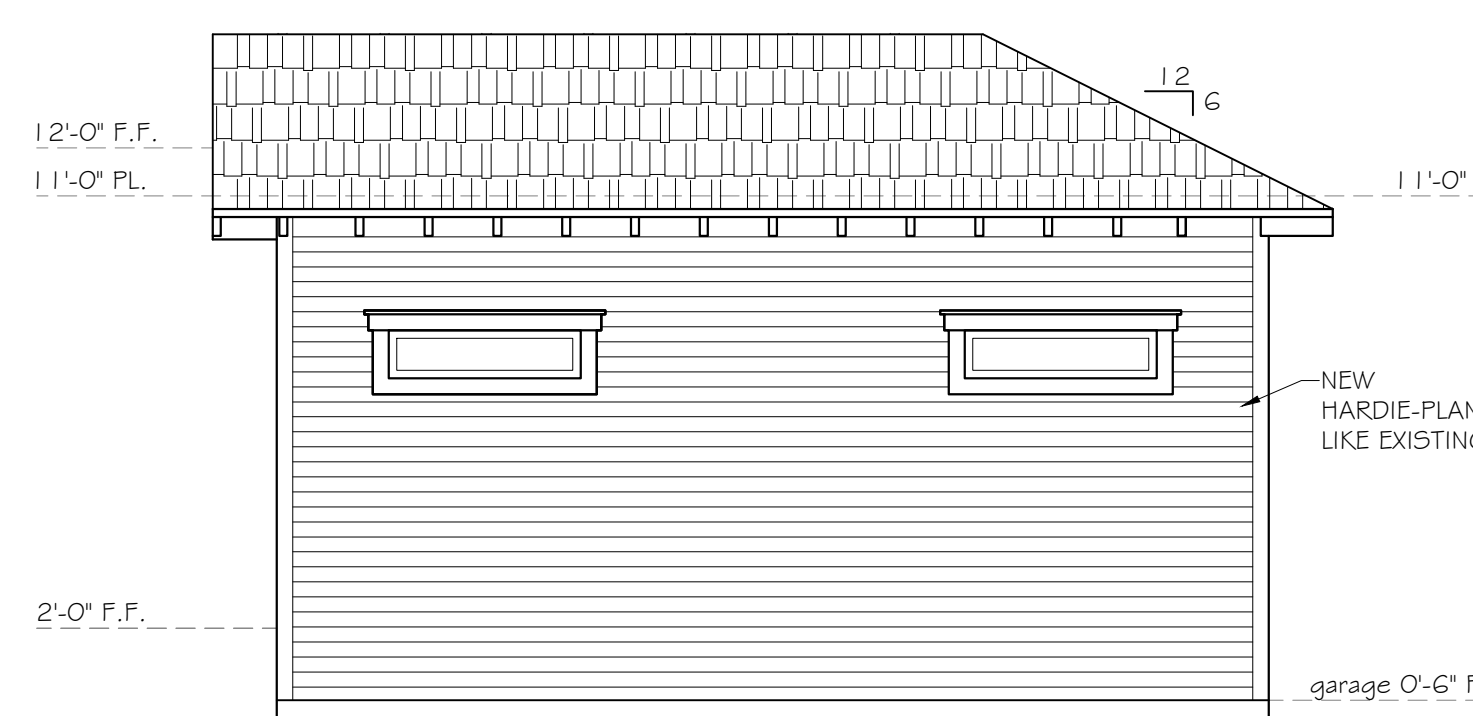
## 1 ROOF PLAN

SCALE: 1/4"=1'-0"



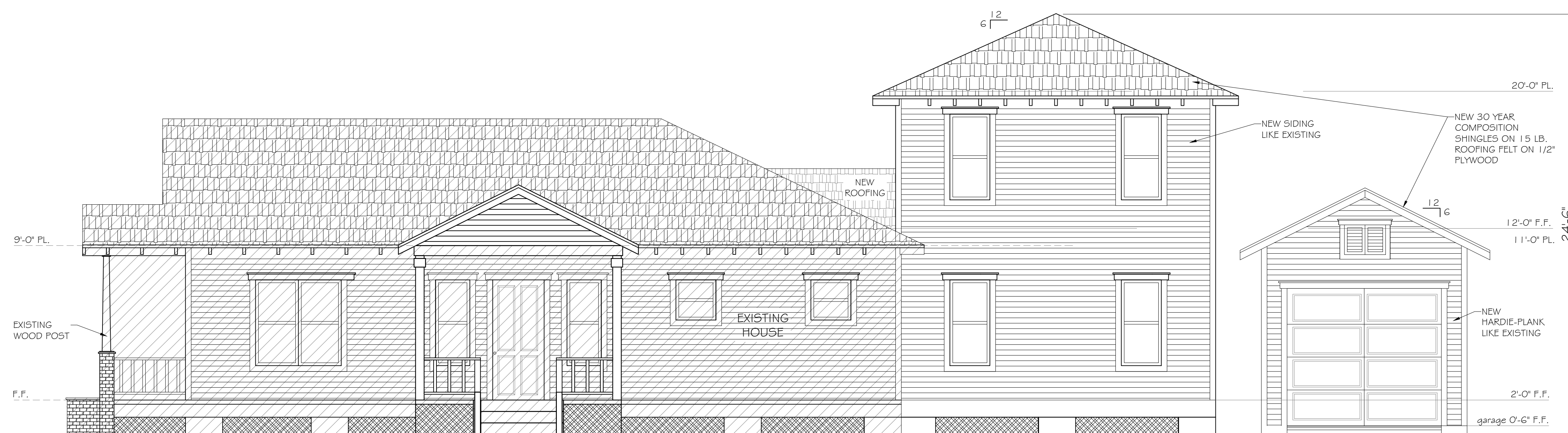
## 2 GARAGE FRONT ELEVATION

SCALE: 1/4"=1'-0"



## 3 GARAGE REAR ELEVATION

SCALE: 1/4"=1'-0"



## 4 RIGHT ELEVATION

SCALE: 1/4"=1'-0"

## 5 GENERAL NOTES

SCALE: N.T.S.

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- SEE ELEVATION AND DETAIL SHEET FOR TYPICAL FASCIA AND SOFFIT CORNICE DESIGN. REFER TO BUILDER FOR EXACT MATERIAL SPECIFICATION AND EXACT CONSTRUCTION ASSEMBLY.
- VERTICAL & HORIZONTAL EXPANSION JOINTS, WEEP HOLES, AND BRICK TIES AS REQ'D. LOCATED BY BLDG./CONTRACTORS AS PER B.I.A. AND ASTM MASONRY STANDARDS.
- INSULATION PER OWNER/BLDR. SELECTION, MIN. R-13 WALL, R-19 SLOPE ROOF AND KNEE WALL, R-30 @ ATTIC.
- BUILDER WILL USE MINIMUM (CLASS B SHINGLES) WITH A 30 YR. MANUF. WARRANTY FOR COMPOSITION ROOF OVER 30 LB., FELT PAPER UNDERLAY, MINIMUM 7/16 OSB ROOF DECKING WITH TECH SHIELD IF REQUESTED. BUILDER SHALL INSTALL PASSIVE DESIGNED CONTINUOUS SOFFIT AND RIDGE VENTS PER MANUFACTURER SPECIFICATIONS AND A.S.T.M. STANDARDS. POWER VENTS IF REQUIRED.
- ALL STONE TO BE CULTURED UNLESS NOTED OTHERWISE.
- ALL CHIMNEY STACKS TO RISE MINIMUM 2'-0" ABOVE ANY ROOF OR STRUCTURED WITHIN A 1'-0" RADIUS AND BE FITTED WITH A U.L. APPROVE SPARK ARRESTOR IF REQUIRED. FLASH AND CRICKET AROUND CHIMNEY AS REQUIRED. ANY DECORATIVE CHIMNEY CAP OR COVERS TO BE FABRICATED FROM NON COMBUSTIBLE METAL MATERIAL. ALLOW FOR FULL UNOBSTRUCTED VENTILATION. SEE MANF. SHOP DRAWINGS FOR ALL DETAILS.
- FUMBER TO SIZE AND LOCATE VENT STACKS TO EXTEND THROUGH ROOF DECK AND TERMINATED NOT LESS THAN 12" AWAY FROM ANY STRUCTURE. ALL PENETRATIONS TO BE SEALED AND FLASHED AS REQUIRED. LOCATE VENT STACKS ON REAR SIDE OF MAIN RIDGE IF POSSIBLE OR OUT OF VIEW FROM FRONT ELEVATION. PAINT STACKS TO MATCH ROOF COLOR.
- ALL VENTING FOR APPLIANCE, MECHANICAL EQUIPMENT, OR COMBUSTION PRODUCING MACHINERY SHALL HAVE CONTINUOUS PIPING FROM SOURCE TO OUTSIDE. PIPES OR DUCTS SHALL BE FABRICATED FROM MATERIALS WITH SPECIFIC SIZE AND TERMINATED TO OUTSIDE AT A DISTANCE SPECIFIED BY MANUFACTURER. ALL OPENINGS OR PENETRATIONS FOR SUCH EQUIPMENT, A/C COILS, APPLIANCE, PLUMBING, AND ELECTRICAL SHALL HAVE GALV. METAL COVERS WILL BE SEALED TO PREVENT WATER OR MOISTURE FROM ENTERING INTO WALL OR CEILING CAVITY. SEE MANUFACTURER SPECS. FOR DIRECT VENT AND GAS LOG FIRE BOX ASSEMBLY AND TERMINATION INCLUDING PROTECTIVE SAFETY SHIELD AND MINIMAL SURROUND CLEARANCE FOR HOT VENT PIPES. ALL SIZING FOR PIPES OR DUCTS TO BE DETERMINED BY MANUFACTURER AND SHALL COMPLY WITH U.L. AND A.S.T.M. STANDARDS OR GUIDELINES. DUCTWORK SHALL INCLUDE DEVICE TO PREVENT BACK DRAFT AND EXHAUST FROM RE-ENTERING BUILDING. TERMINATION SHALL BE LOCATED NOT CLOSER THAN 36" MINIMUM FROM ANY OPENING SUCH AS A DOOR OR A WINDOW LEADING DIRECTLY INTO THE BUILDING. ABSOLUTELY NO VENTING OF ANY KIND INTO ATTIC, GARAGE, WALL, OR CEILING CAVITIES.
- ALL A/C COILS & ELEC. PENETRATION TO BE PLACED THROUGH GALV. COUNTER FLASH DUCT AND SEALED W/ NON-COMBUSTIBLE PERM. FOAM INSULATION.
- OWNER / BUILDER TO APPROVED AND LOCATE ALL GUTTERS AND DOWN SPOUTS W/ CONTRACTOR AND TIE INTO LANDSCAPE DRAIN AS REQUIRED.
- TYPICAL VERTICAL ELEVATION DIMENSION TAKEN FROM TOP OF SLABS. ALL DIMENSION ARE NOMINAL NOT ACTUAL, ADJUST ACTUAL SIZES ACCORDINGLY.
- F.V. (FIELD VERIFY)

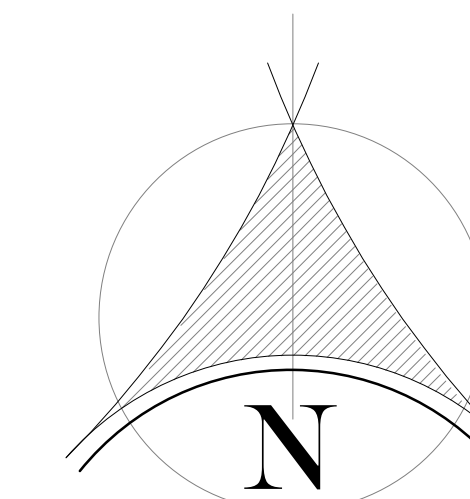
ROOF & ELEV'S

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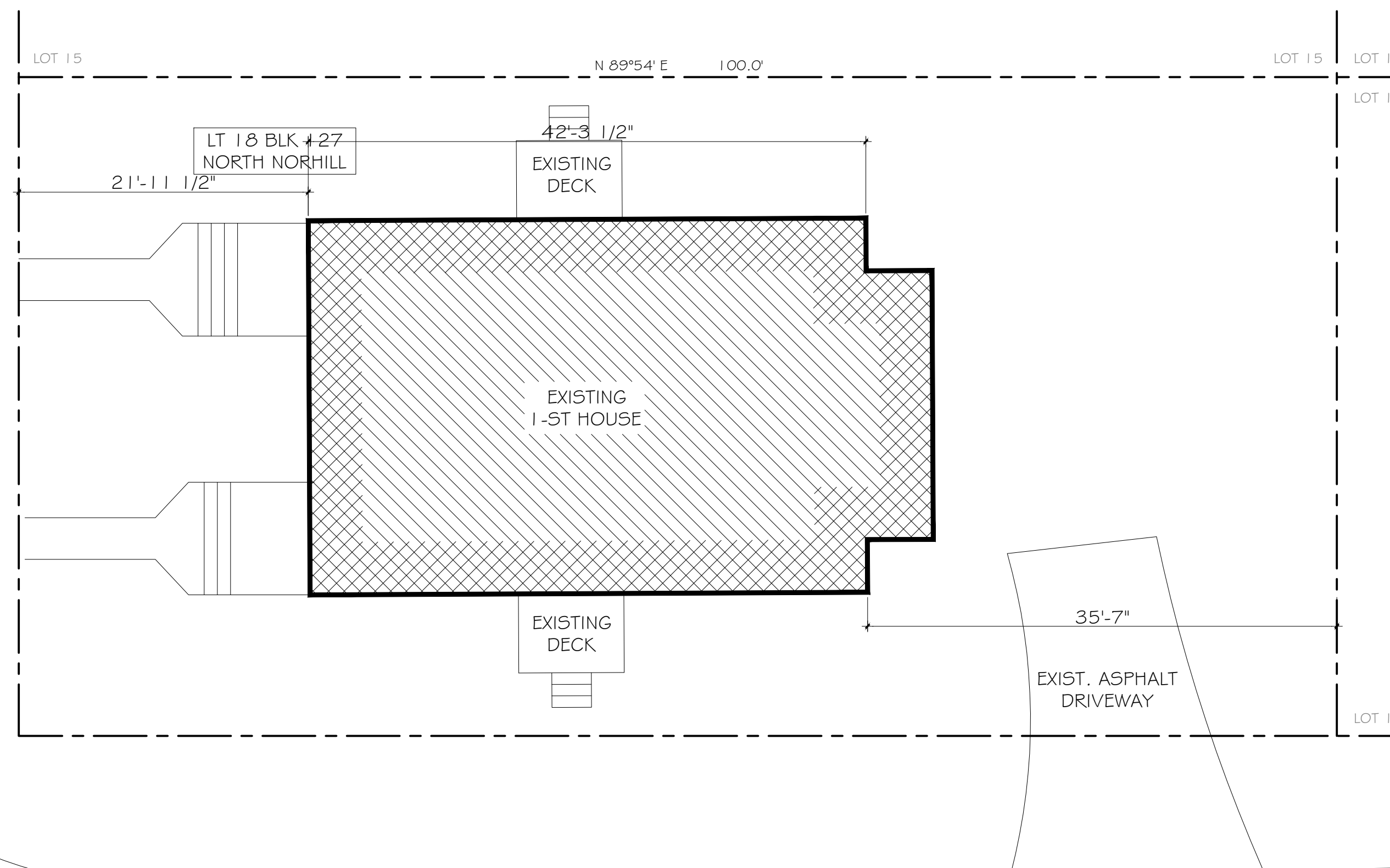
project:

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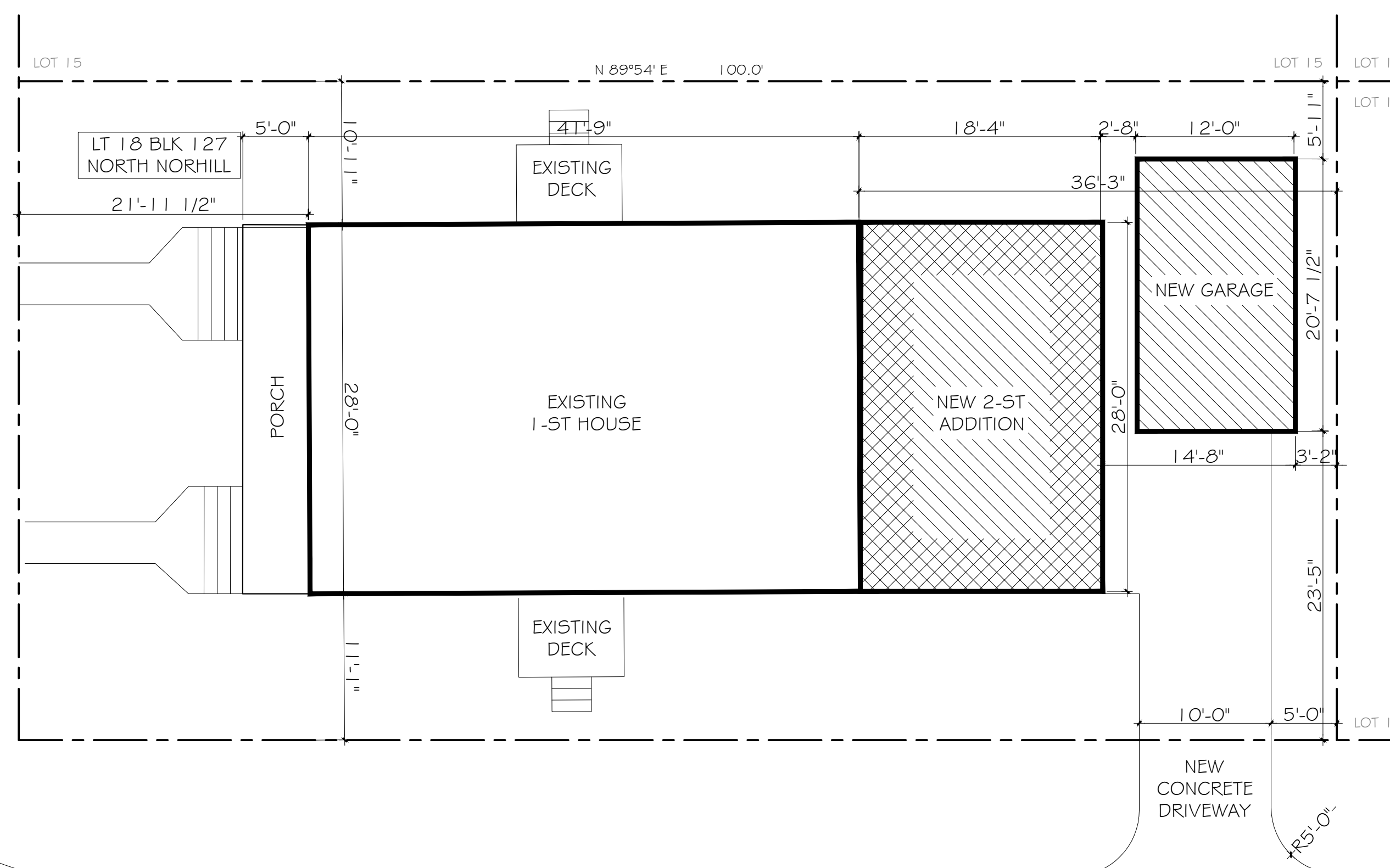
STUDEWOOD ST.  
(50' R.O.W.)



**1** SITE PLAN "EXISTING"  
SCALE: 1/8"=1'-0"

TEMPLE AVE.  
(50' R.O.W.)

STUDEWOOD ST.  
(50' R.O.W.)



**2** SITE PLAN "PROPOSED"  
SCALE: 1/8"=1'-0"

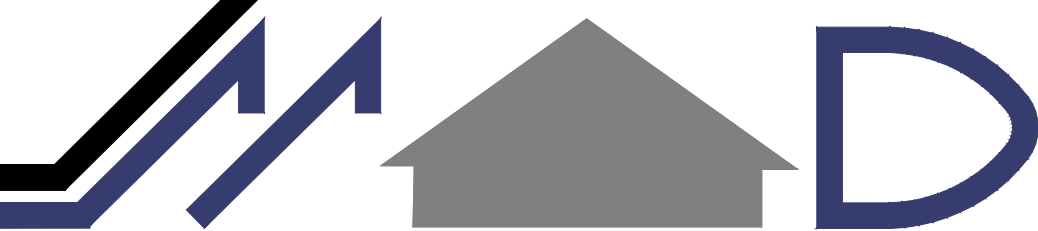
TEMPLE AVE.  
(50' R.O.W.)

1. DO NOT SCALE THESE DRAWINGS-USE DIMENSIONS SHOWN & ALL LOCATIONS (FIELD VERIFY ALL DIMS. PRIOR TO CONSTRUCTION).
2. CONTRACTOR SHALL FIELD VERIFY PROPOSED BUILDING LAYOUT WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
3. GENERAL CONTRACTOR SHALL EXCAVATE A MINIMUM OF 6" OF EXISTING SOIL IN THE AREA OF THE NEW BUILDING AND STOCKPILE FOR REUSE AS BACKFILL AROUND THE BUILDING.
4. COMPACT THE SUBGRADE TO A MINIMUM OF NINETY FIVE (95) PERCENT OF ITS MAX. DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D 698).
5. FILL MATERIAL SHOULD BE A SILTY OR SANDY CLAY HAVING A PLASTICITY INDEX (PI) OF TEN (10) TO TWENTY (20) AND A LIQUID LIMIT OF 25 OR MORE. FILL MATERIALS SHOULD BE PLACED IN SIX (6) TO EIGHT (8) INCH LOOSE LIFTS AND COMPACTED AT OPTIMUM MOISTURE CONTENT TO NINETY-FIVE (95) PERCENT OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST.
6. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING PERMITS AND FOR NOTIFICATION OF ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE OR PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
8. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.

**3** GENERAL NOTES  
SCALE: N.T.S.

SITE PLAN

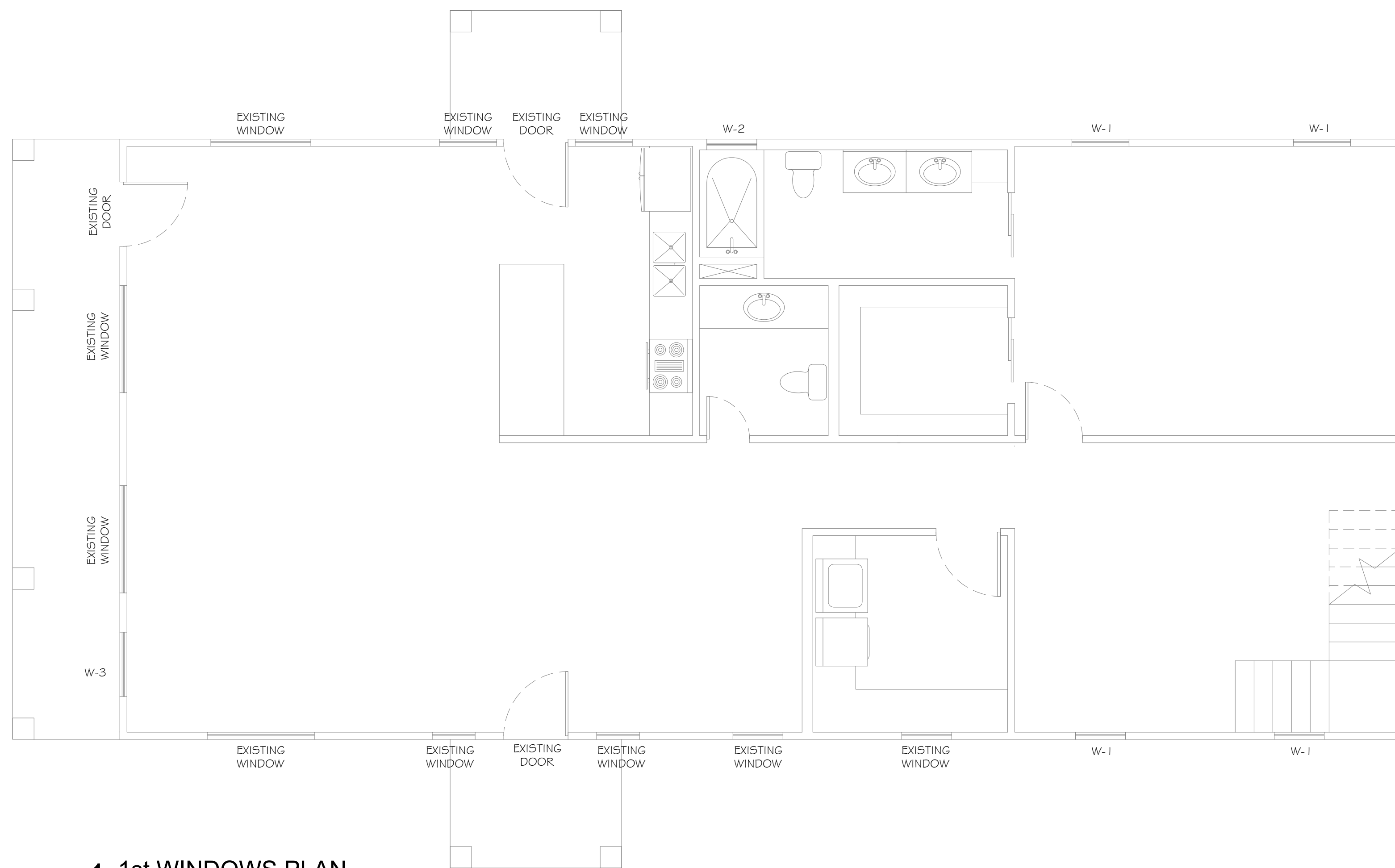
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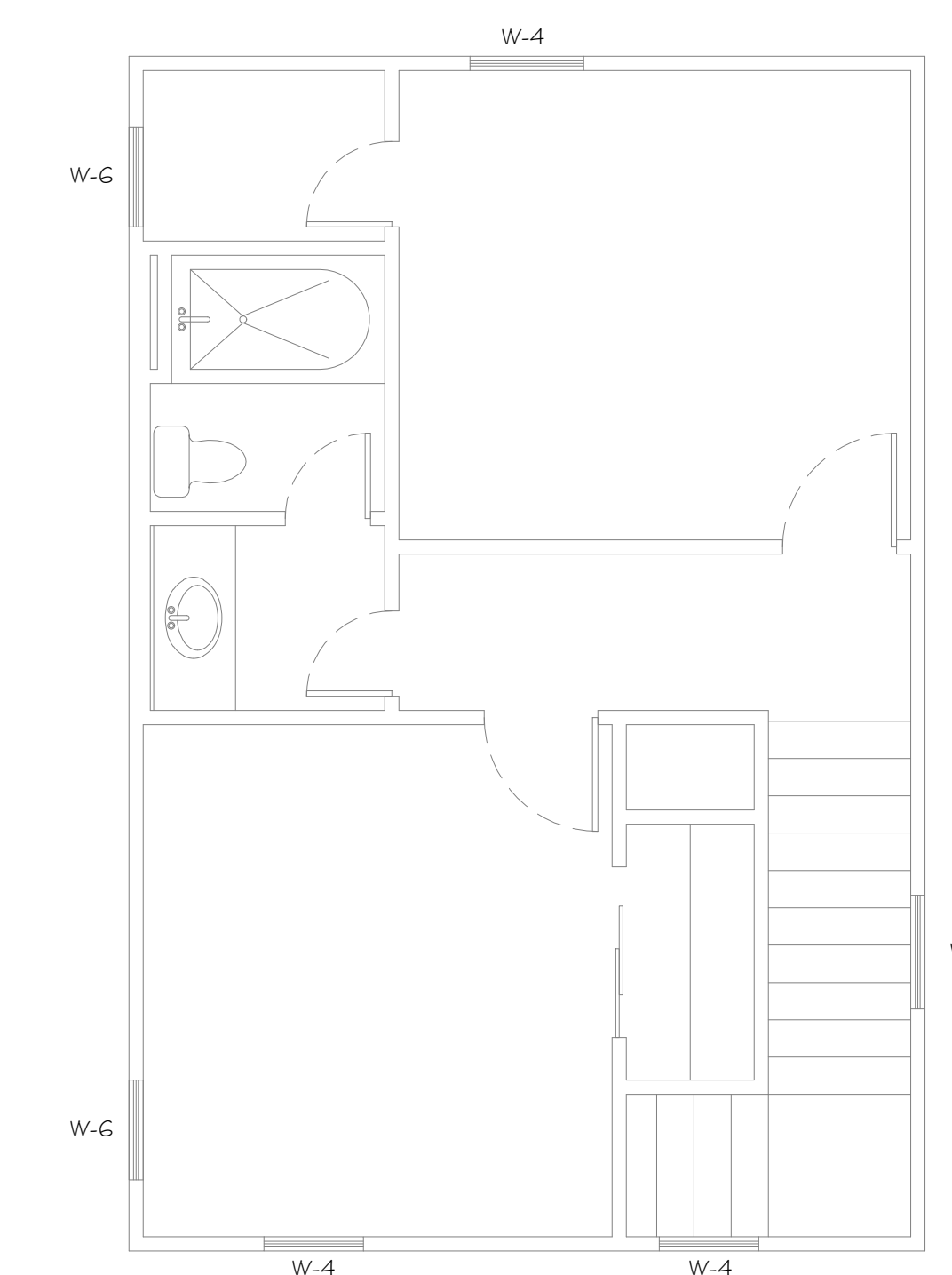
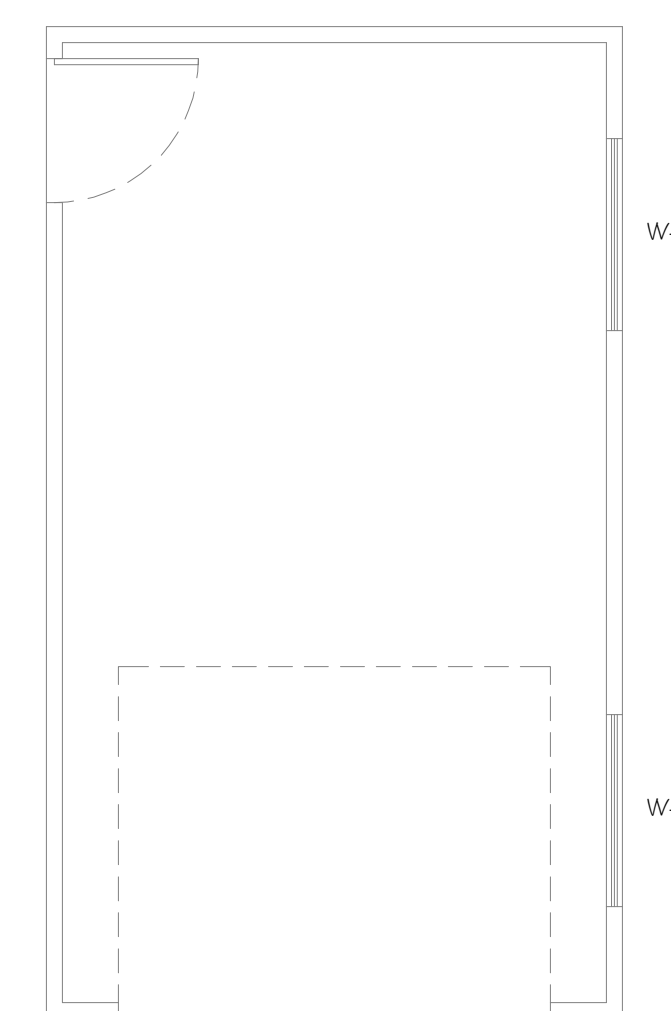
project:

NEW REMODEL  
& ADDITION

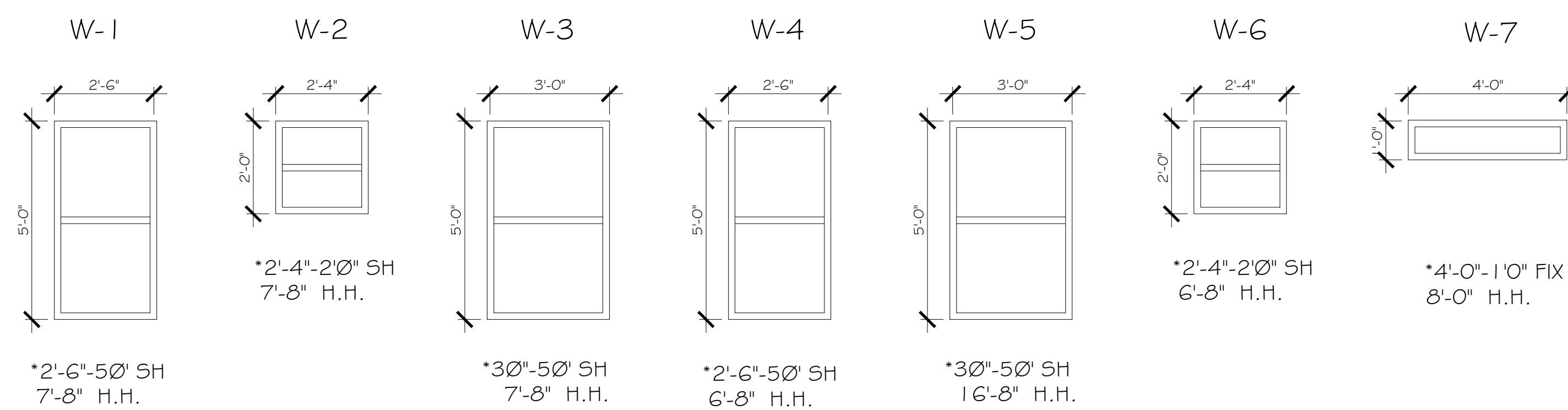
1206 STUDEWOOD ST.  
HOUSTON, TX. 77008



1 1st. WINDOWS PLAN  
SCALE: 1/4"=1'-0"



2 2nd. WINDOWS PLAN  
SCALE: 1/4"=1'-0"



3 WINDOWS DETAILS  
SCALE: 3/8"=1'-0"

No	SIZE	H.H.	TYPE	#	LOCATION
W-1	2'-6" x 5'-0"	7' - 8"	SH	4	(2)M. BEDROOM & (2)FAMILY ROOM
W-2	2'-4" x 2'-0"	7' - 8"	SH	1	MASTER BATH
W-3	3'-0" x 5'-0"	7' - 8"	SH	1	LIVING ROOM (EXIST. FRONT)
W-4	2'-6" x 5'-0"	6' - 8"	SH	2	BEDROOM 2 (ADDED AREA)
W-5	3'-0" x 5'-0"	6' - 8"	SH	1	STAIRS (SIDE MID HIGH)
W-6	2'-4" x 2'-0"	6' - 8"	SH	2	BEDROOM 3 & CL BDR 2
W-7	4'-0" x 1'-0"	8' - 0"	FIX	2	GARAGE (TO REAR SIDE)

4 WINDOWS SCHEDULE  
SCALE: N.T.S.

WINDOWS PLAN

sheet: W1.0