

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** May 20, 2024

**Applicant:** Alia De Anda, agent for, Tracy Boulware, owner

**Property:** 425 Columbia Street, Lot 5 & 6, Block 304, Houston Heights Neighborhood Subdivision. The property includes a one-story wood single-family residence attached to warehouse studio by a hyphen on lot 5 and a secondary, detached structure at the rear of lot 6 situated on a 13,200 square foot (100' x 132') interior lot.

**Significance:** Non-contributing modern residence, constructed circa 1965, located in the Houston Heights South Historic District. Attached warehouse built circa 1991 according to permit records. **Lot to be replatted into two separate lots, each measuring 50' x 132'. This proposed new construction to be on lot 6. Existing structure at the rear will be demolished.**

**Proposal:** New Construction – Single Family Residential

- Two-story structure (2,869 total sq. ft.) with a 28' 6" max ridge height
  - First floor 1,385 sq. ft.
  - Second floor 1,484 sq. ft.
- Composition shingles with a 6:12 roof pitch
- Pier & beam foundation using concrete/brick materials with brick skirting and wood lattices at crawlspaces
- Mix of smooth, cementitious siding with a 6" reveal and board and batten in the porch gables
- Mix of fixed and double-hung windows with mix of single and 3-over-1 lite patterns, all windows to be inset and recessed.
  - Wood windows except for bathrooms to be vinyl

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation: Approval with conditions: Remove section of proposed porch that wraps around to the side (North) elevation so that front porch is no wider than the front wall.**

**HAHC Action:** -

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

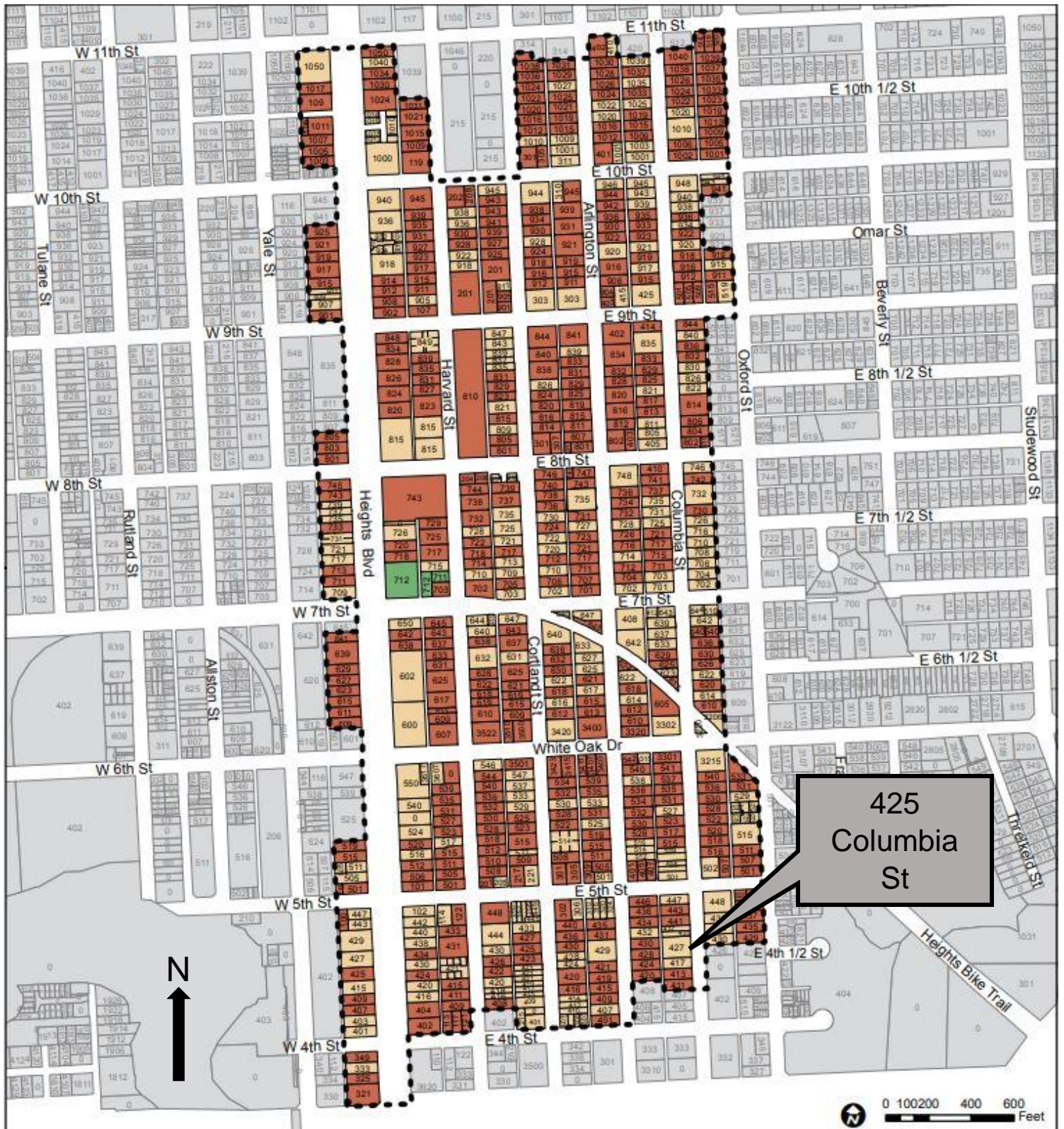
S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;
(2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;
(3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions; The scale and proportion of the proposed porch is incompatible to the front porches of contributing structures in the context area.
(4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;
(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and
(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

HEIGHTS DESIGN GUIDELINES

- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines. The scale and proportion of the proposed porch is incompatible to the front porches of contributing structures in the context area. (Sec. 7.7, page 7-6)

District Map





Context Area As of March 2024 – Google Aerial View



Area bordered in red is existing historic district boundary for the context area

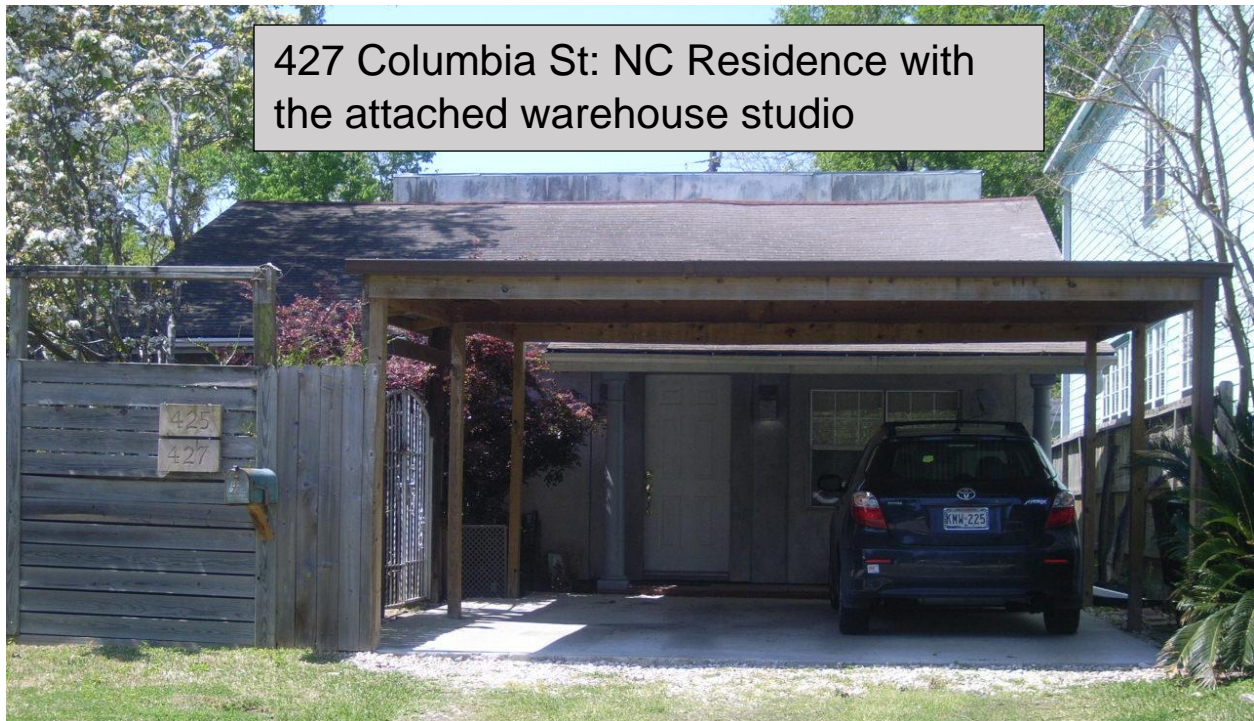
427  
Columbia

425  
Columbia

Area shaded in orange is existing boundary of lots 5 & 6.  
Red arrow indicates the structure to be demolished.  
Green line is approximate replat of existing lot into two lots.

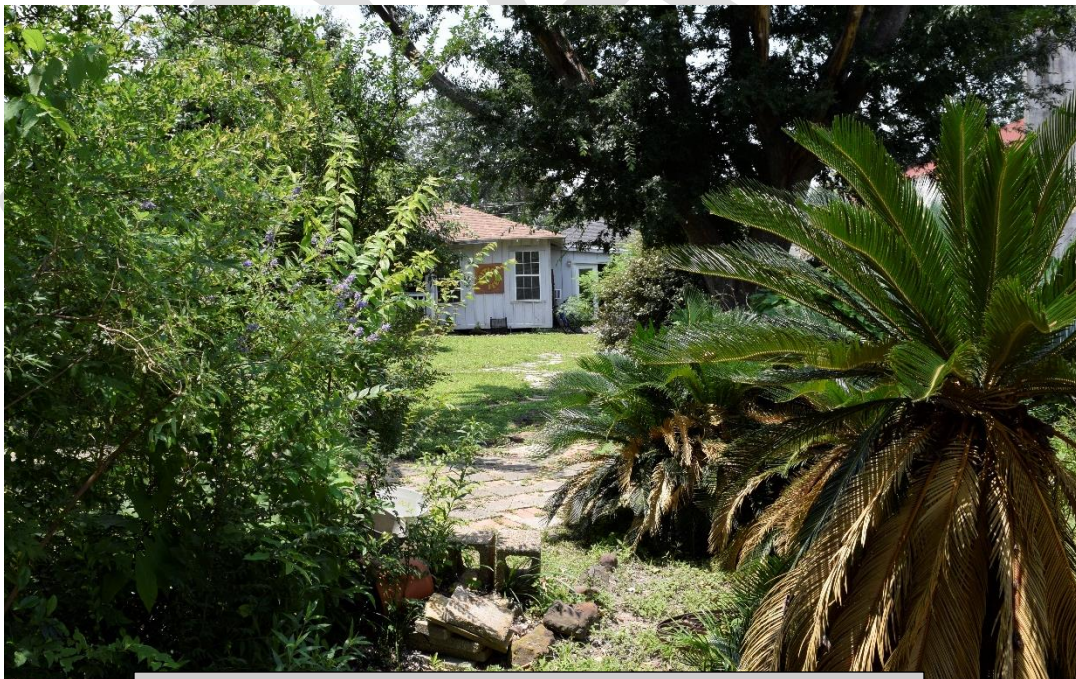


Inventory Photo



427 Columbia St: NC Residence with the attached warehouse studio

Current Photos Taken By Staff, 5-23-2024



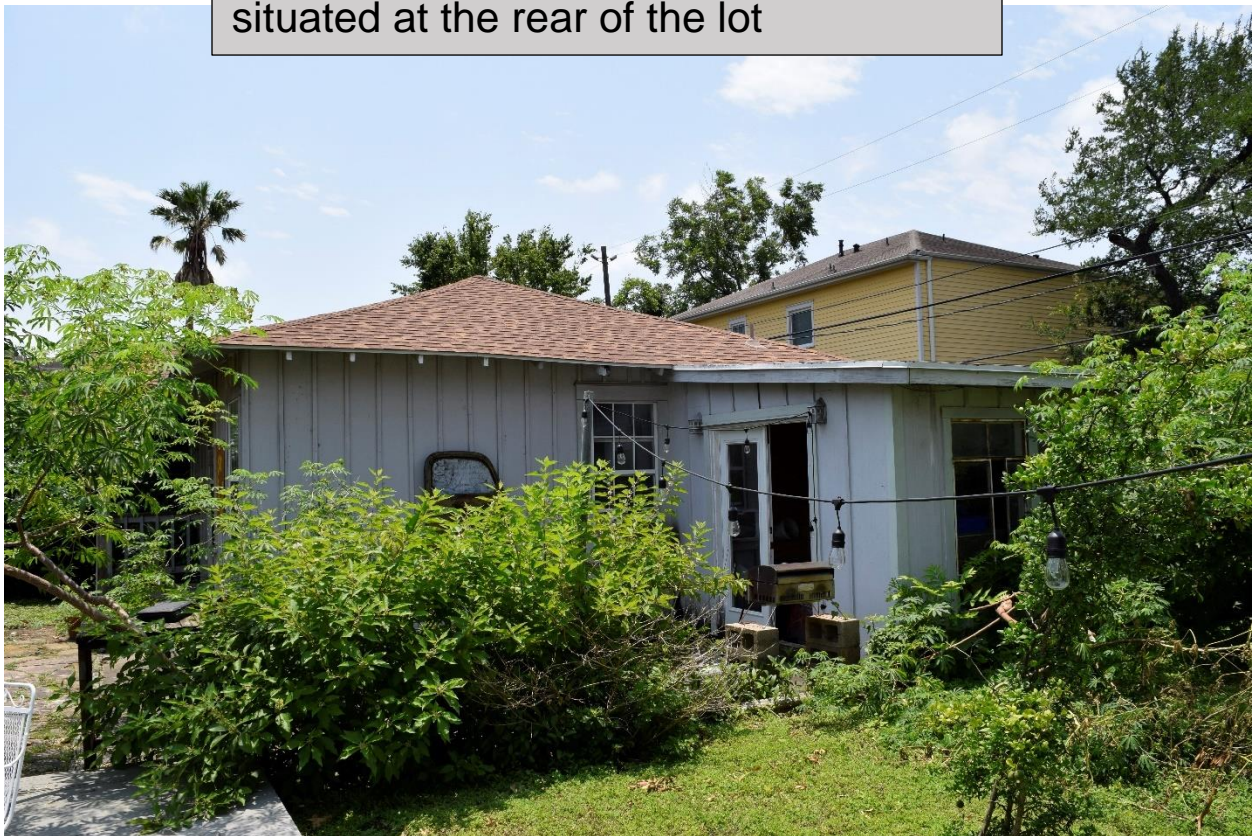
425 Columbia St: NC Residence situated at the rear of the lot



Current Photos Taken By Staff, 5-23-2024



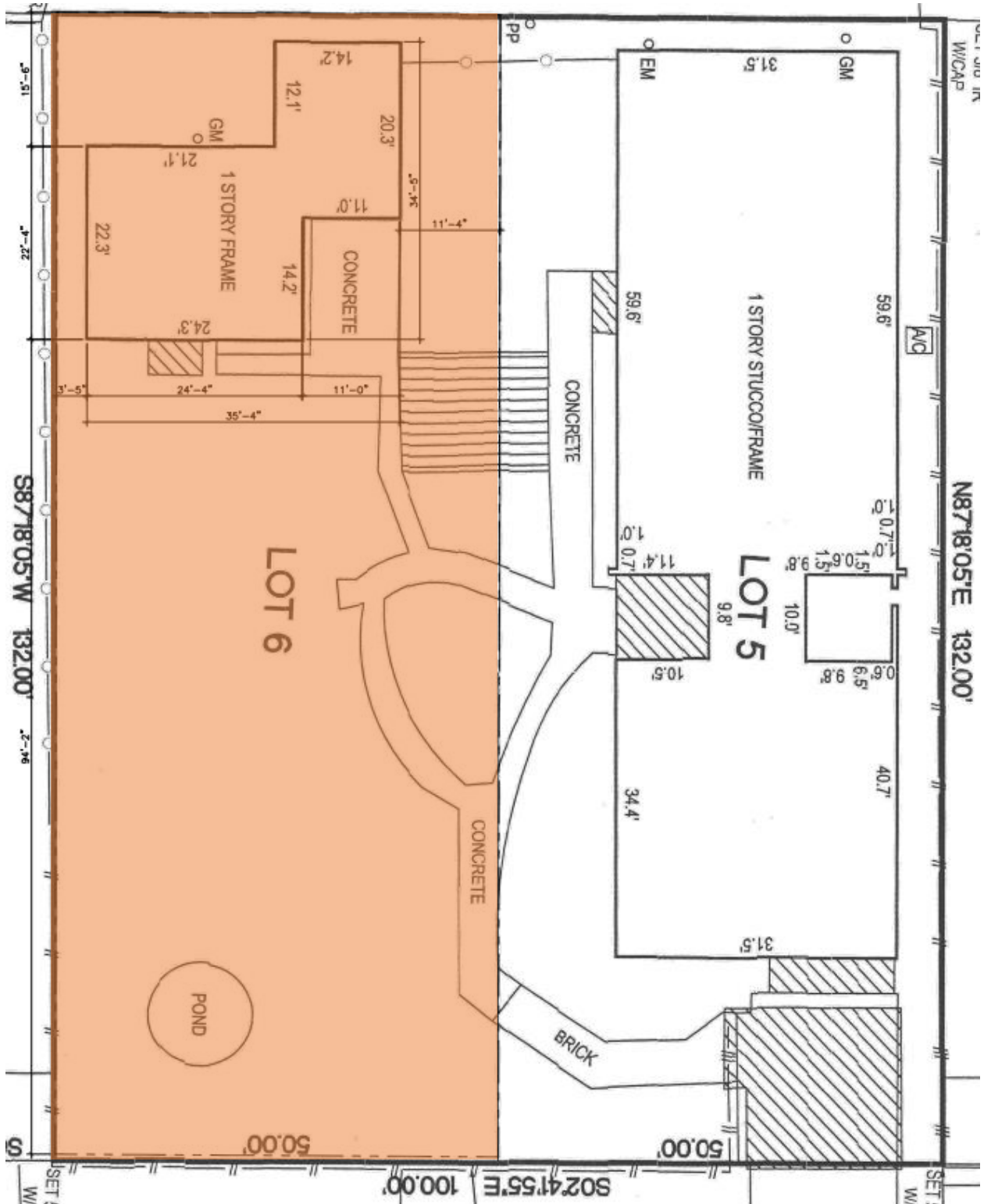
425 Columbia St: NC Residence situated at the rear of the lot



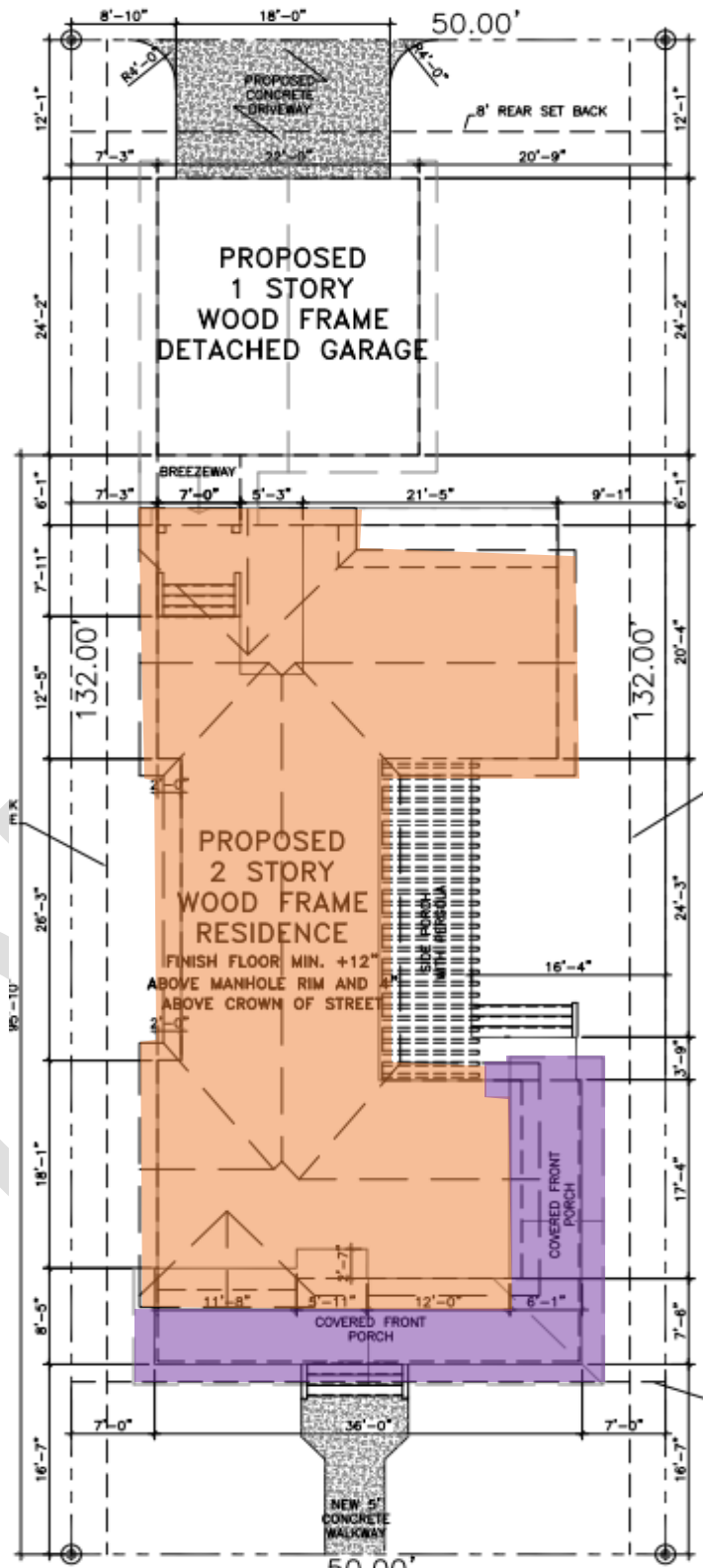


Existing Site Plan

(Orange Shaded Area Location of Proposed New Construction)



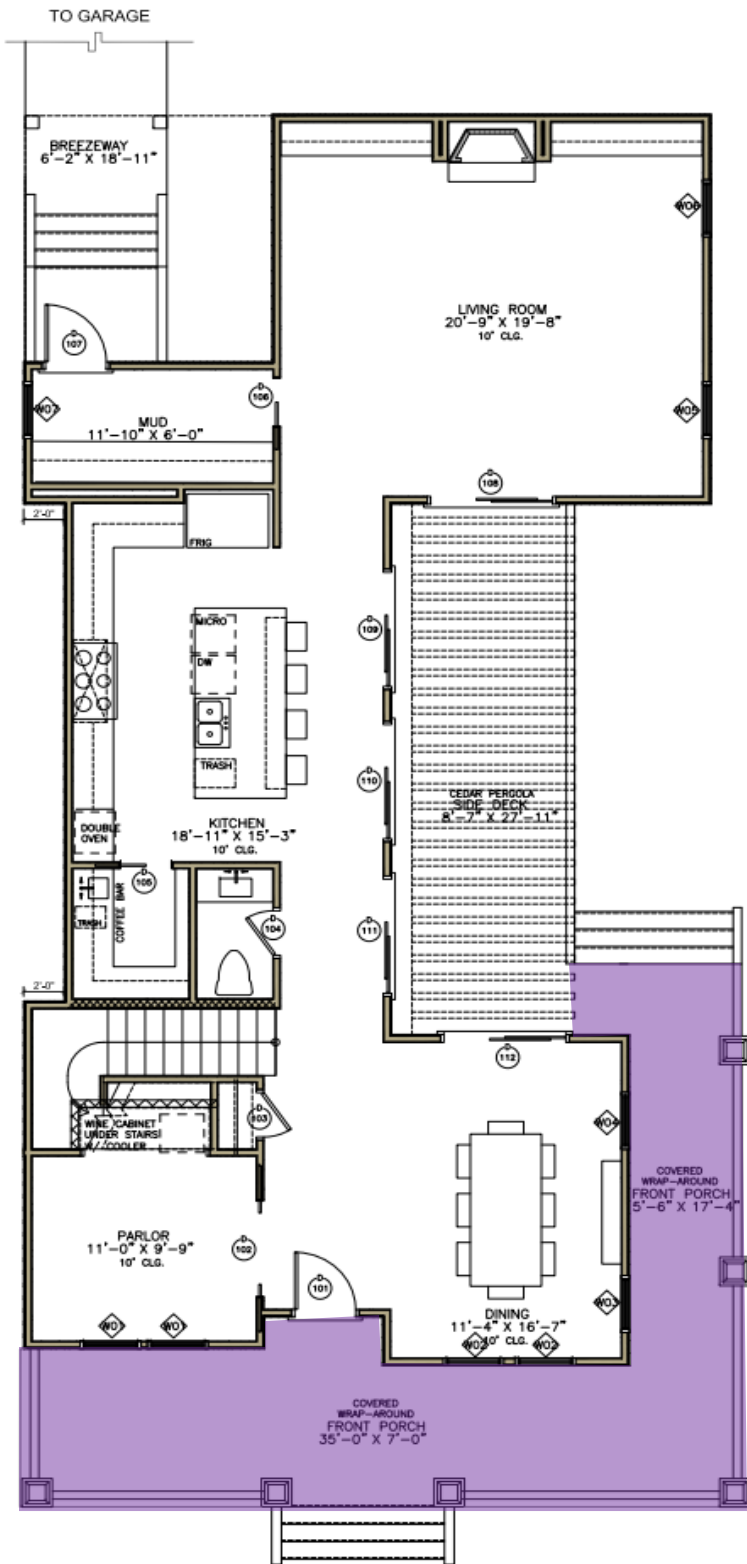
Proposed Site Plan



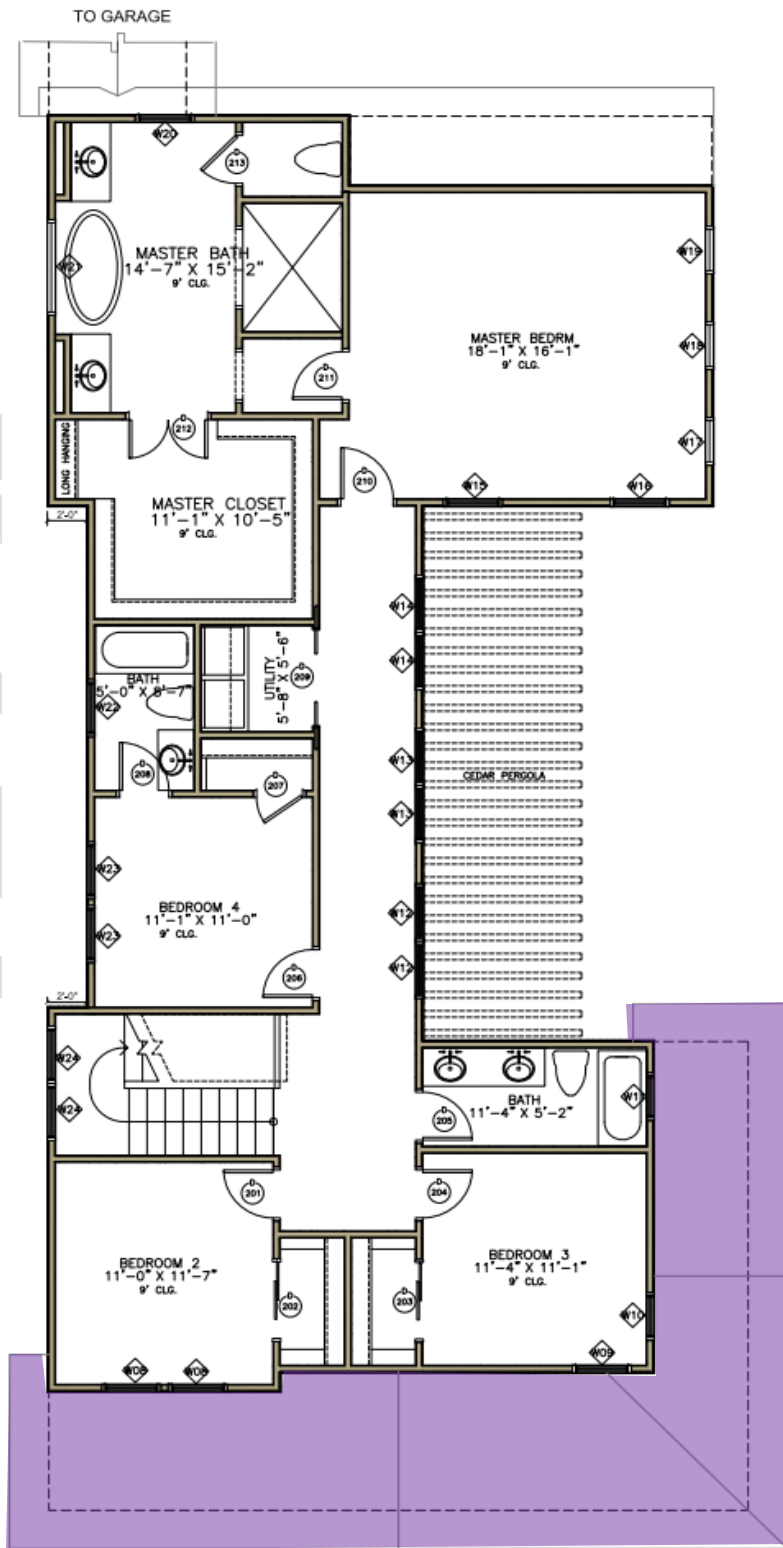
Area shaded in purple is proposed wraparound porch



Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Front (East) Elevation



- (A) COMPOSITION SHINGLE ROOF
- (B) 6" SMOOTH CEMENTITIOUS SIDING
- (C) 12" SMOOTH CEMENTITIOUS SIDING
- (D) 36" GUARD RAIL, RE: A4.1
- (E) PROPOSED WOOD LATTICE AT CRAWLSPACE. PROVIDE 18"X24" MIN. ACCESS OPENING.
- (F) PROPOSED COLUMN
- (G) BOARD & BATTEN.



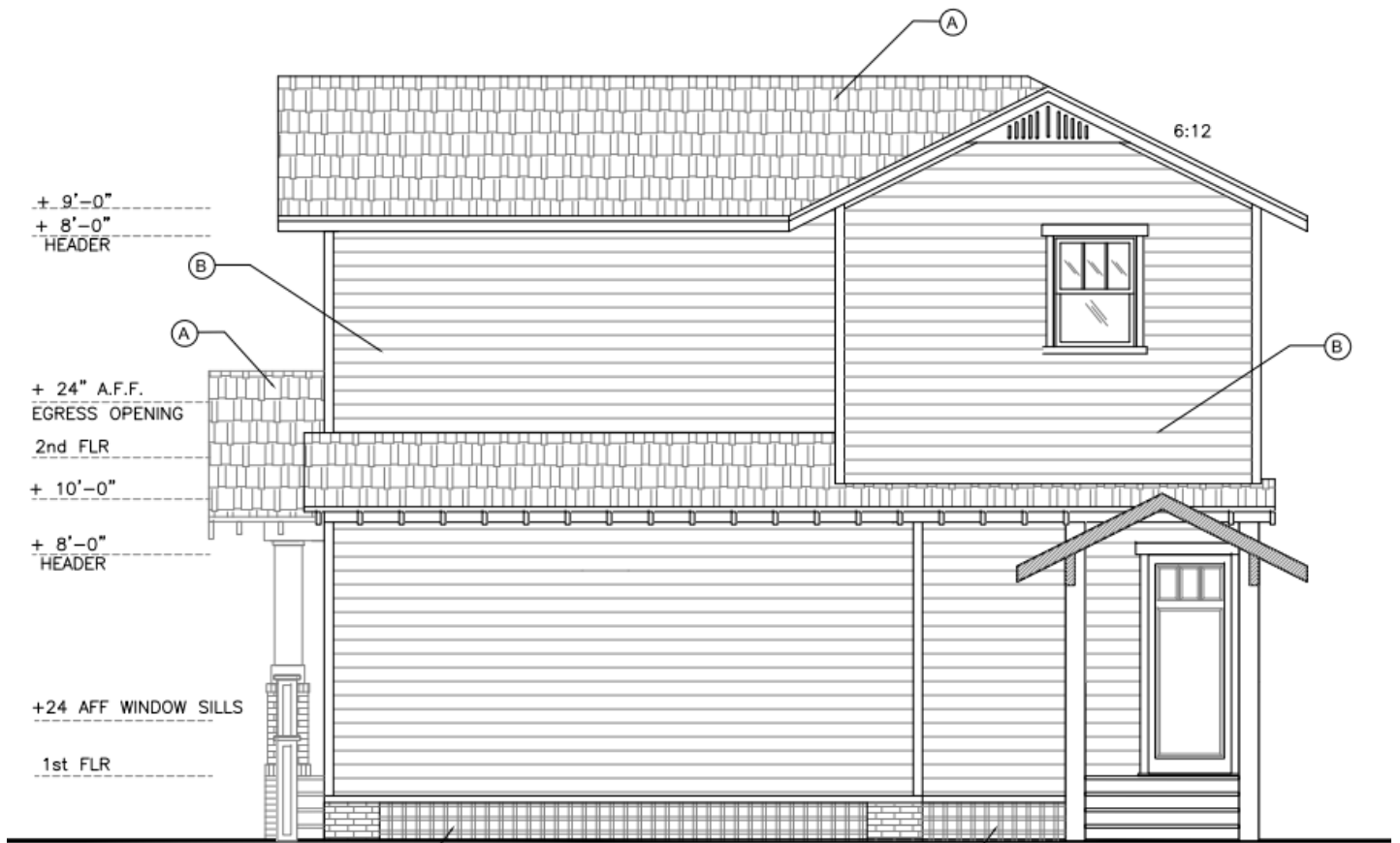
Proposed Left (South) Elevation



Proposed Right (North) Elevation



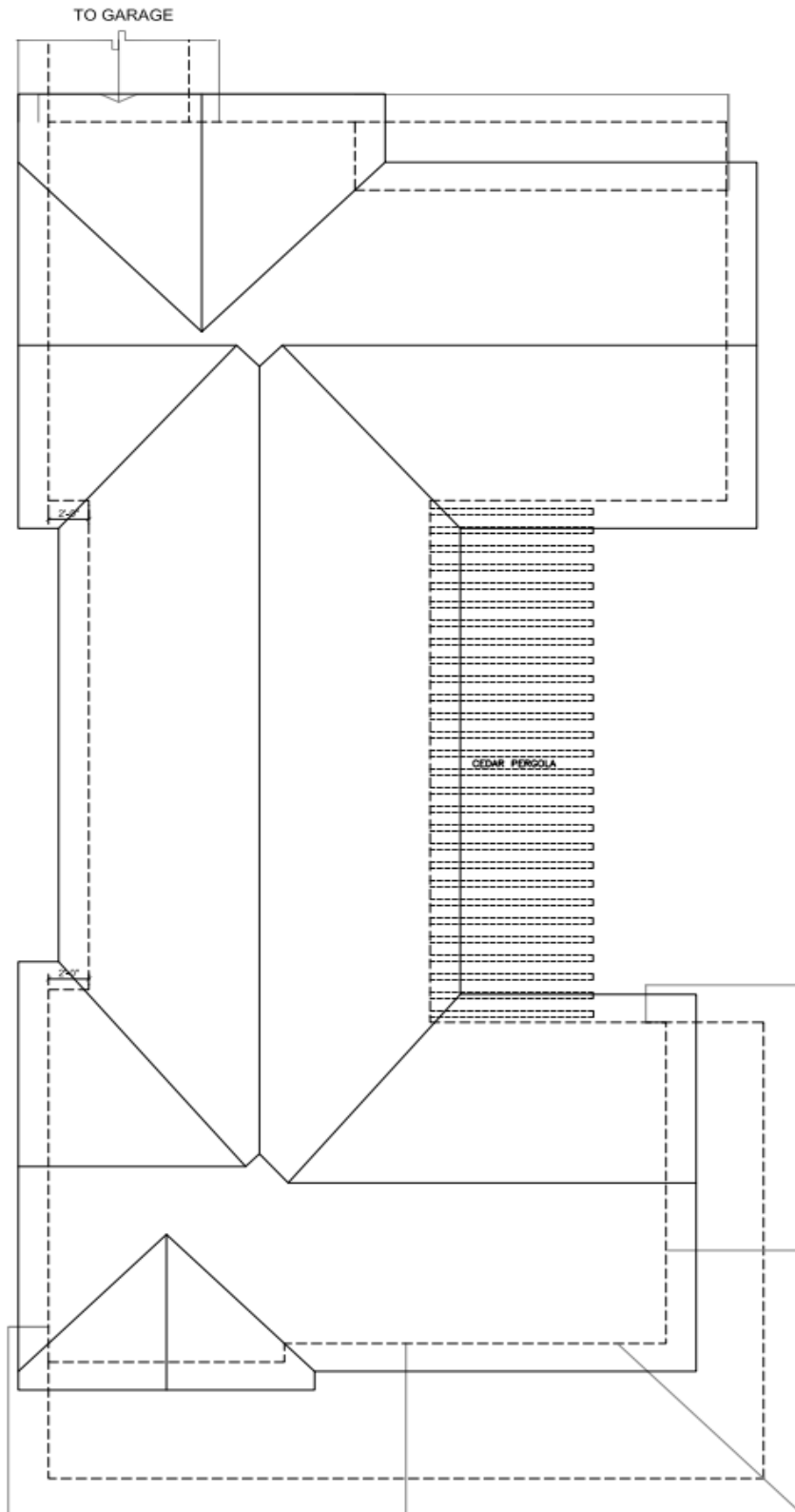
Proposed Rear (West) Elevation



- (A) COMPOSITION SHINGLE ROOF
- (B) 6" SMOOTH CEMENTITIOUS SIDING
- (C) 12" SMOOTH CEMENTITIOUS SIDING
- (D) 36" GUARD RAIL, RE: A4.1
- (E) PROPOSED WOOD LATTICE AT CRAWLSPACE. PROVIDE 18"X24" MIN. ACCESS OPENING.
- (F) PROPOSED COLUMN
- (G) BOARD & BATTEN.



Proposed Roof Plan



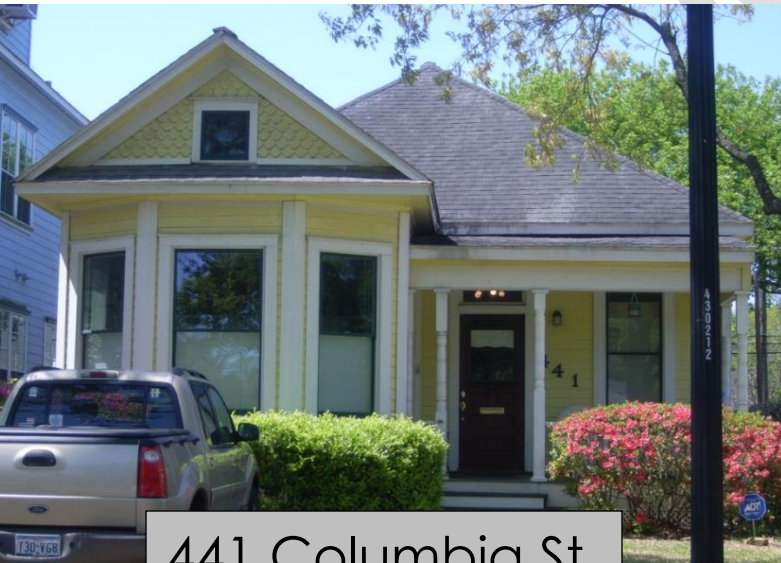
Context Area – Contributing Structures



411 Columbia St



413 Columbia St



441 Columbia St



443 Columbia St



HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600  
 Max. Allowed: 2,640  
 Proposed Lot Coverage: 1,389  
 Remaining Amount: 1,251

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

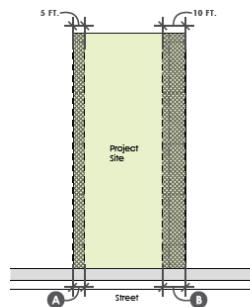
Existing Lot Size: 6,600  
 Max. FAR Allowed: 2,904  
 Proposed FAR: 2,873  
 Remaining Amount: 31

Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

South Side Wall Length: 18' 1"  
 South Inset Length: 26' 3"  
 Inset on South side: 2'  
 Inset on North side: 12'

Side Setbacks (Addition and New Construction)



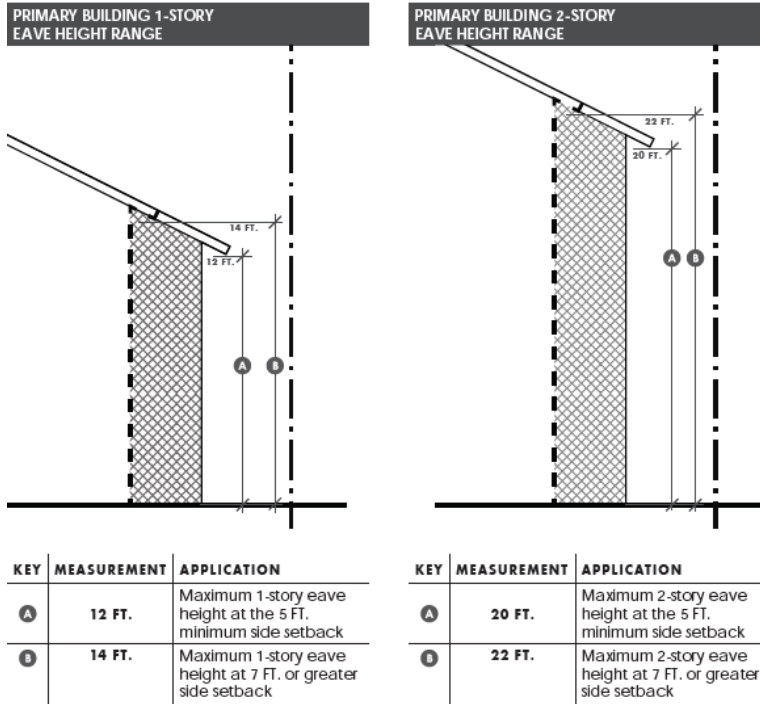
Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed South side setback (1): 7'-0"  
Proposed North side setback (2): 9' 1"  
Cumulative side setback: 16' 1"



Eave Height (Addition and New Construction)



Proposed eave height: 22'

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 36' 3"

Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed porch eave height: 11'

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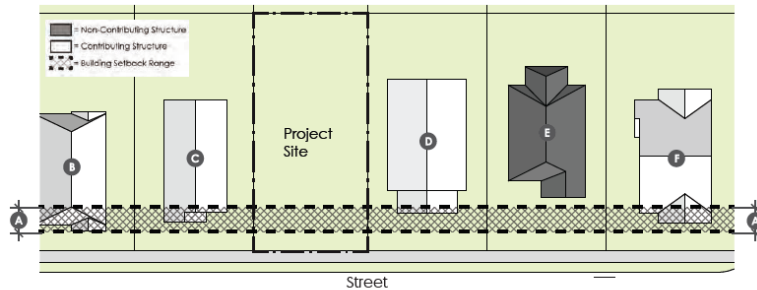
Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 3'  
 Proposed first floor plate height: 10'  
 Proposed second floor plate height: 9'

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Front Setbacks (New Construction) The setback is the distance from the property line to the front wall, porch, or exterior feature.



KEY	MEASUREMENT	APPLICATION
A	RANGE	Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area.

Proposed front setback: 16' 7" (to porch) 24' 1" (to front wall)

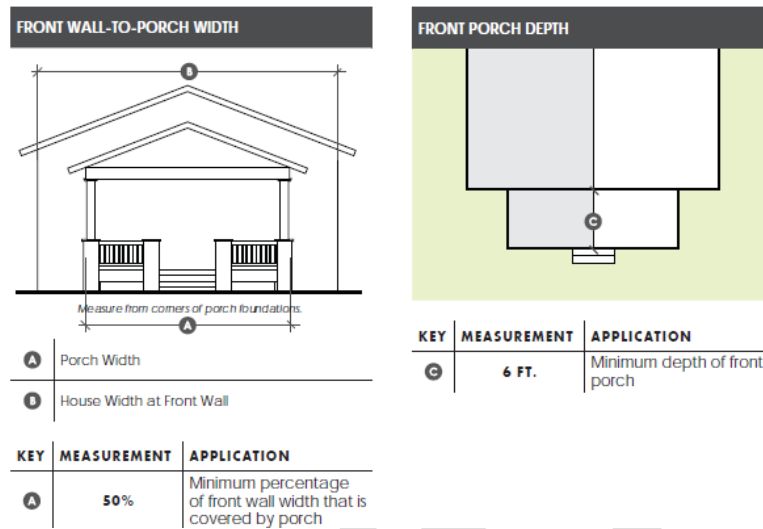


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Front Porch Width and Depth (Addition and New Construction)

A front porch must be at least 6' deep.

Proposed front porch depth: 7' 6" – 8' 5"



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The width of a porch is measured between the corners of the porch foundation at the front of the porch.

Design a new residential bldg. with a one-story front porch that is at least half as wide as the front wall of the house.

Two-story front porch may not be more than half as wide as the front of the house (sec. 5-19)

Proposed front porch width: 36' 0"

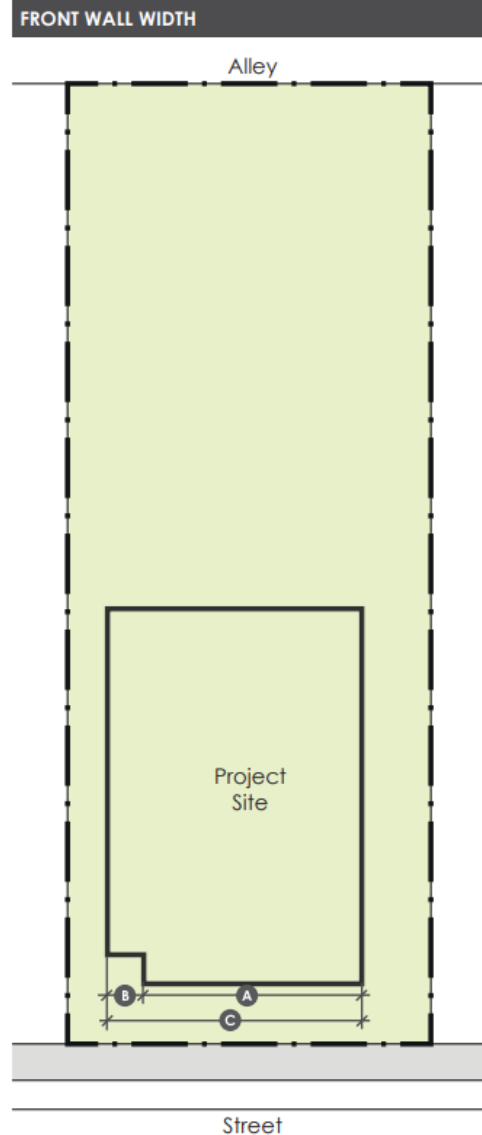
**Front Wall Width and Insets**

The following maximum overall widths have been established for front walls. In addition, these design standards establish how wide a wall can be before it must be inset, with a portion of a wall set farther in relative to the rest of the wall. These measurements apply to both one-story and two-story buildings.

Overall building widths are dependent on the width of the lot. The maximum width of a one-story building on a 50-foot-wide lot with a 10-foot minimum cumulative side setback is 40 feet. As a lot gets wider, the building can be wider, to a point; for every two feet of additional lot width, the building can be one foot wider. Smaller increases in lot width qualify for the equivalent increase in building width, using a 2:1 ratio; for example, a 60-foot-wide lot could have a maximum 50-foot-wide building.

*Note; Use this standard when designing new construction or if you are proposing to widen a noncontributing house. Widening the front wall of a contributing house is not allowed.*

KEY	MEASUREMENT	APPLICATION
A	30 FT.	Maximum front wall width before inset
B	4 FT.	Minimum width of inset section of front wall
C	40 FT.	Maximum width of 1-story building for lots <= 50 ft wide
	35 FT.	Maximum width of 2-story building for lots <= 50 ft wide
	50 FT.	Maximum width of building for lots > 50 ft wide



Proposed front wall width: 29' 11"

The following measurable standards are not applicable to this project:

- Detached Garage Ridge Height