

CERTIFICATE OF APPROPRIATENESS

Application Date: May 20, 2024

Applicant: Christina Perpich, owner

Property: 3107 Eunice Street (aka 131 North St), Lot 1, Osceola Neighborhood Subdivision. The property includes a historic 1,544 square foot, one-story wood single-family residence and detached garage situated on a 7,527 square foot (75.27' x 100') corner lot.

Significance: Contributing Craftsman Duplex style residence, constructed circa 1930, located in the Germantown Historic District.

Proposal: Alteration: Addition

- Convert existing first floor from a duplex into a single-family residential
- Add a second floor addition totaling 520 sq. ft.
 - Total square footage to be 2,064
- 3:12 and 6:12 roof pitch with composition shingles
- Smooth, cementitious siding with a 7" reveal
- Wood and/or clad, inset & recessed, 1-over-1 lite pattern, single-hung windows for second-story addition

Alteration: Existing Structure

- Remove existing, middle door on right (East) elevation and replace with matching brick
- Replace existing, rear door on right (East) elevation and replace with a Craftsman door
- Remove existing, middle door and small window on left (West) elevation and replace with matching brick
- Replace existing, rear door on left (West) elevation and replace with a Craftsman door
- Remove two small windows on rear (North) elevation
 - Small window nearest Eunice Street to be replaced with match brick
 - Small window furthest from Eunice Street to be replaced with a Craftsman door
- All remaining historic, wood windows are to remain and be restored

Information Subject To Change Before Final Staff Report

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: -
HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

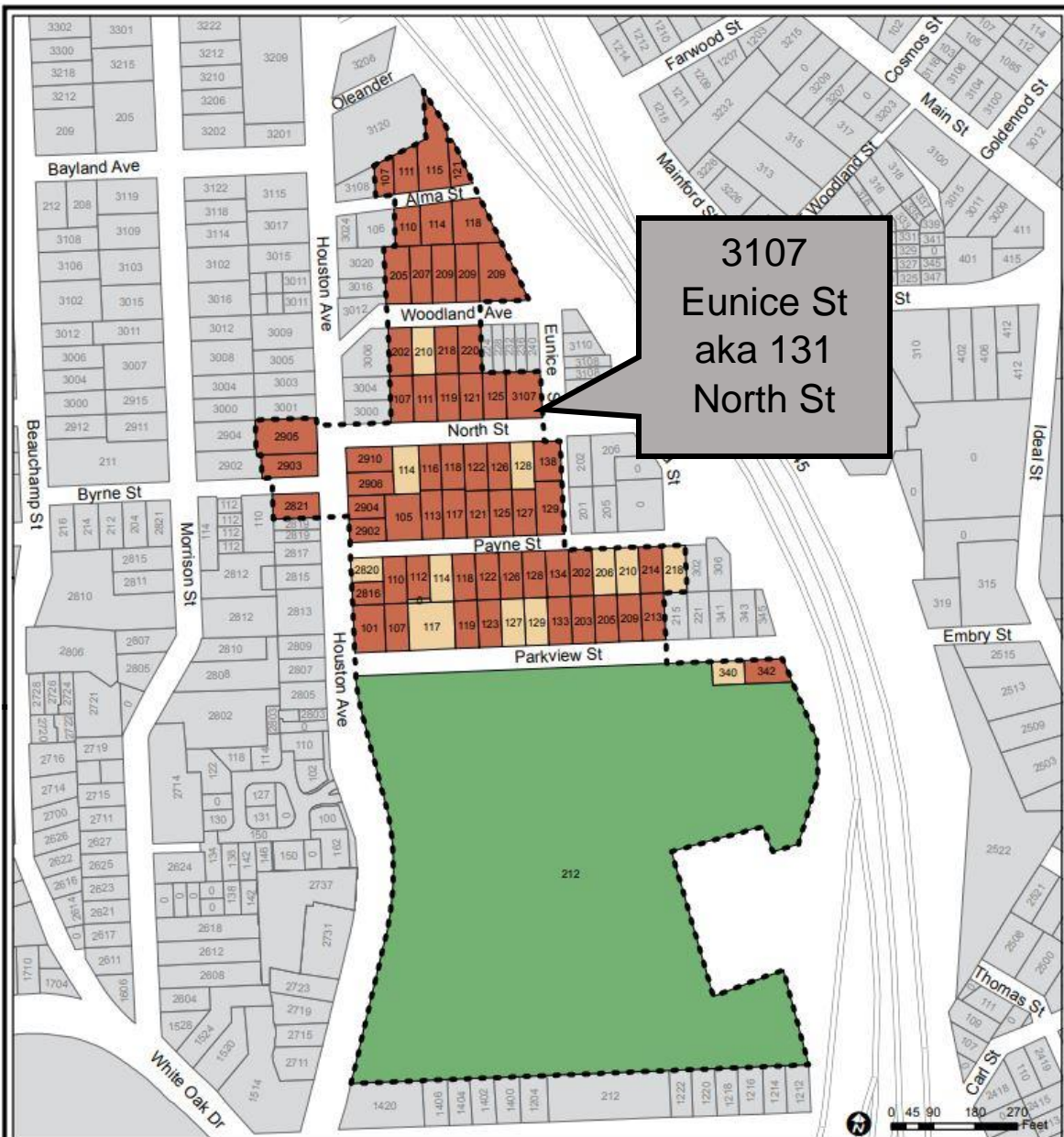
S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

GERMANTOWN DESIGN GUIDELINES

- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

District Map






Germantown Historic District

Historic District Boundary



Building Classification

-  Contributing
-  Non-Contributing
-  Park

Established: December 5, 2012

Source: GIS Services Division

Date: May 1, 2013

Reference: pj17025_Germantown

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING & DEVELOPMENT DEPARTMENT

Inventory Photo



Current Photo



Current Photos Taken By Staff (5-20-2024)



Left (West)
Elevation



Left (West)
Elevation
Middle Door
& Window

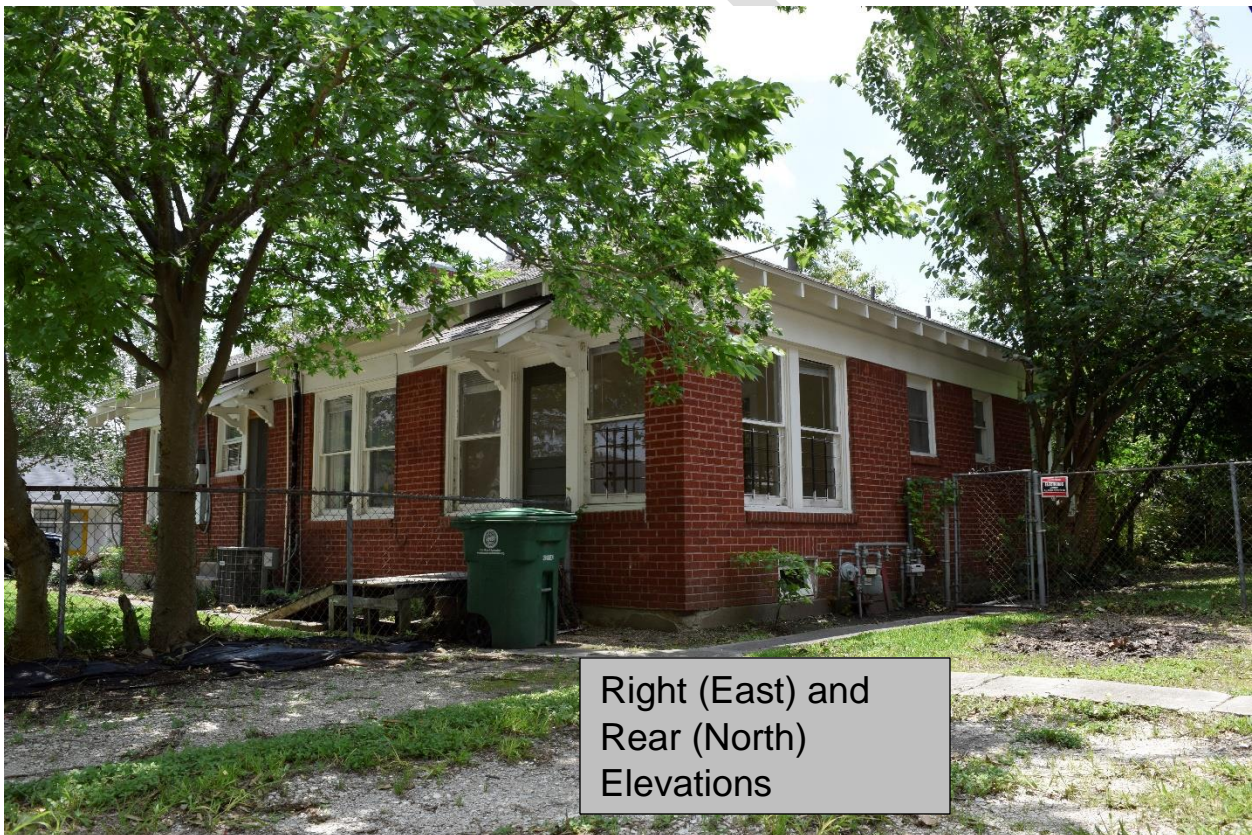


Right (East)
Elevation

Current Photos Taken By Staff (5-20-2024)

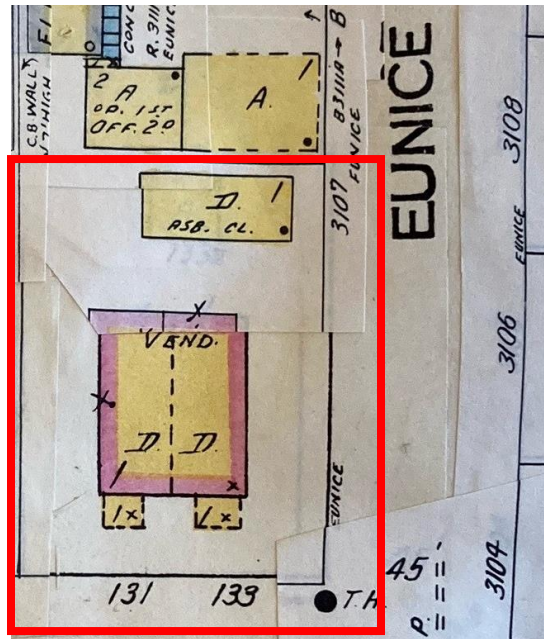


Right (East)
Elevation

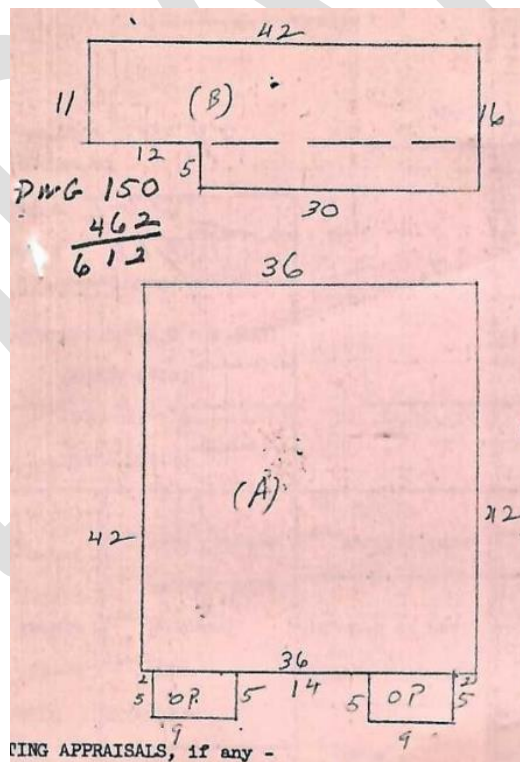


Right (East) and
Rear (North)
Elevations

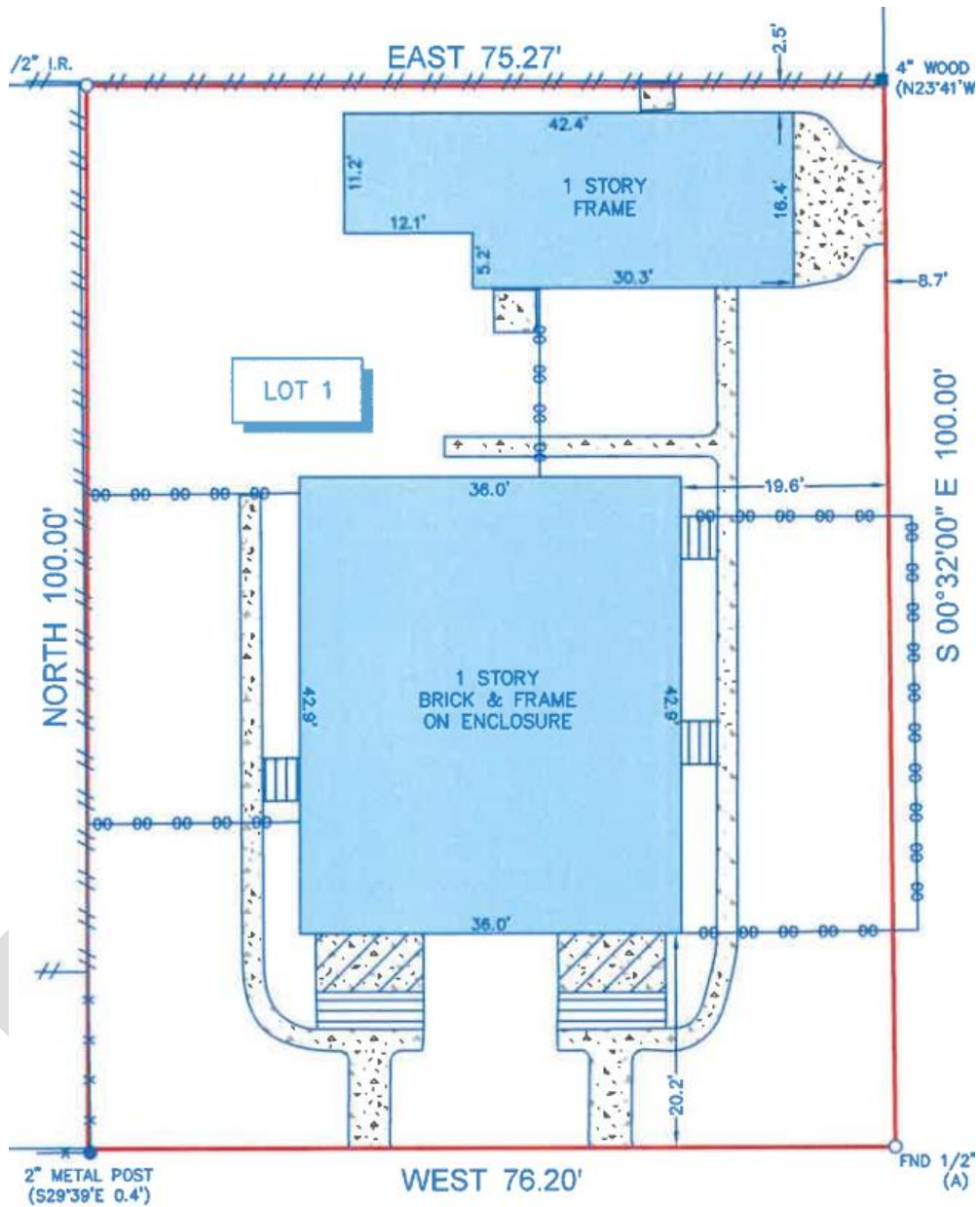
Sanborn



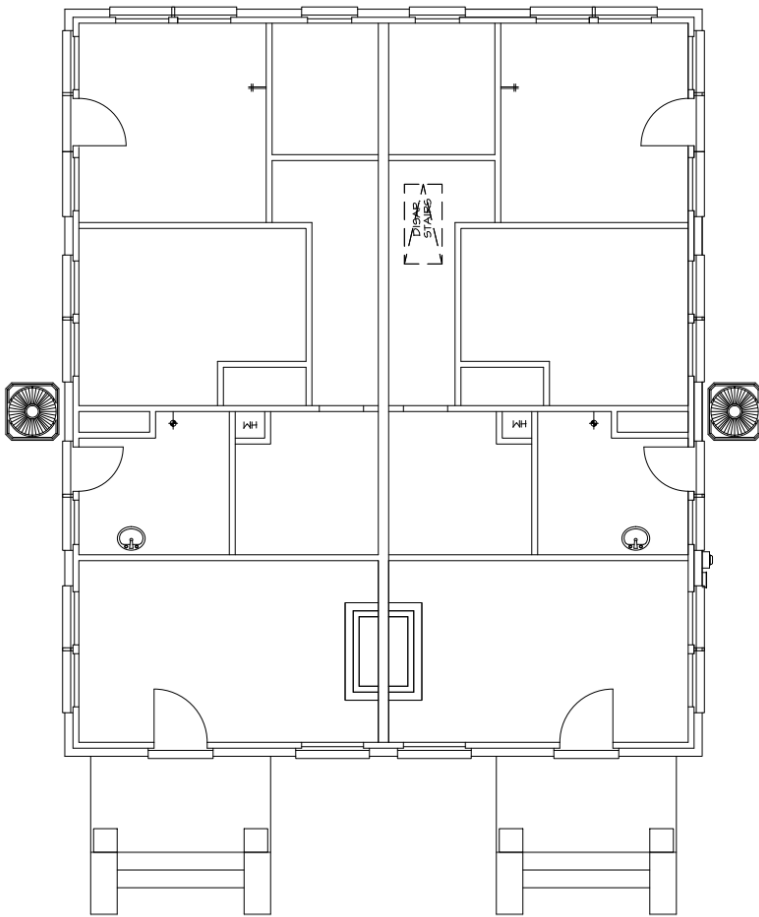
Harris County Building Land Assessment Survey – March 2, 1965



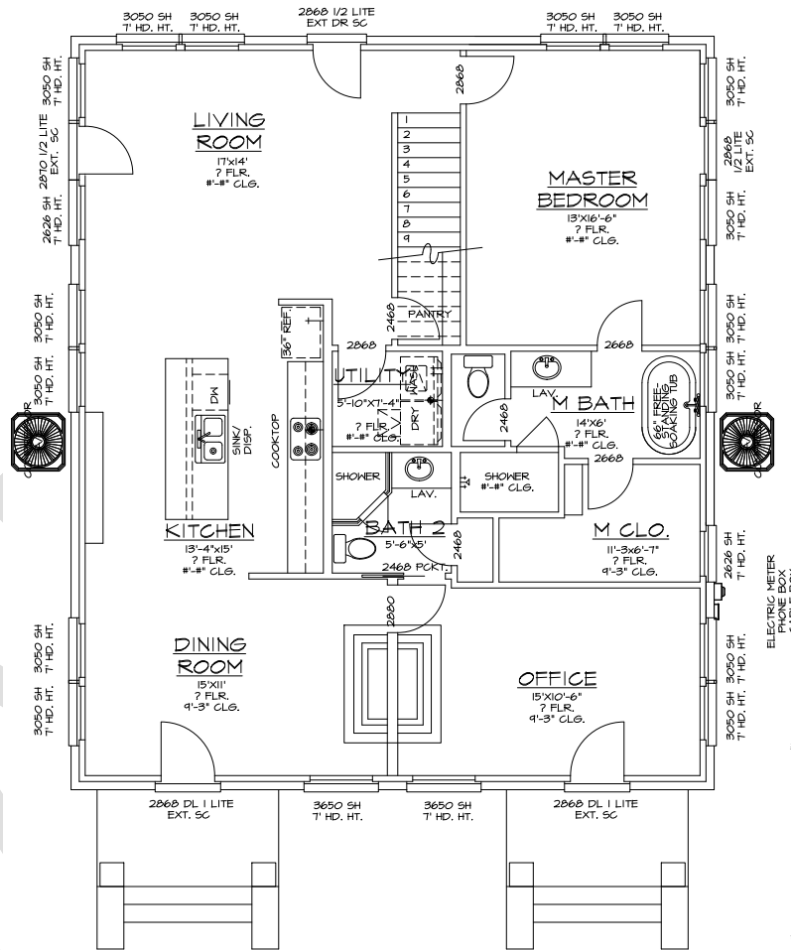
Existing Survey



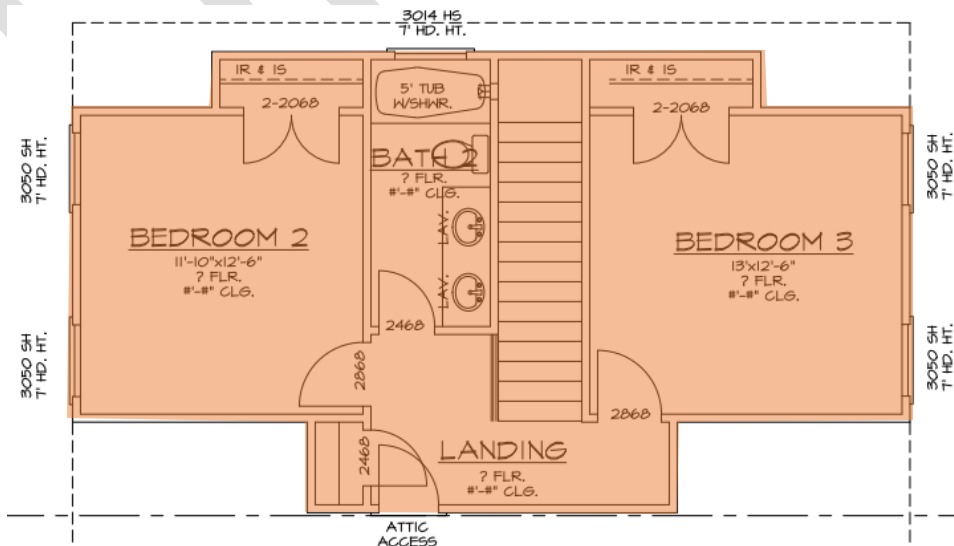
Existing Floor Plan



Proposed First Floor Plan



Proposed Second Floor Plan



WOOD OR CLAD WINDOWS
 WINDOWS TO BE INSET AND RECESSED PROFILE

Existing Front (South) Elevation



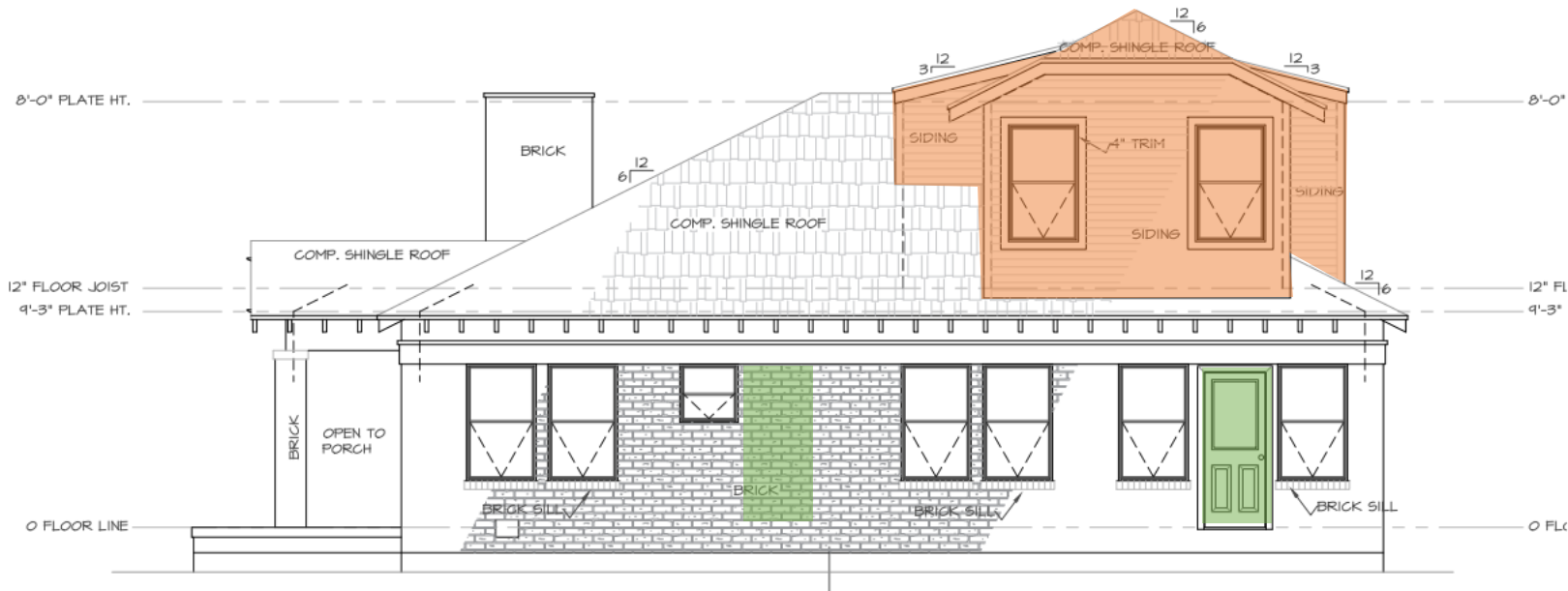
Proposed Front (South) Elevation



Existing Right (East) Elevation



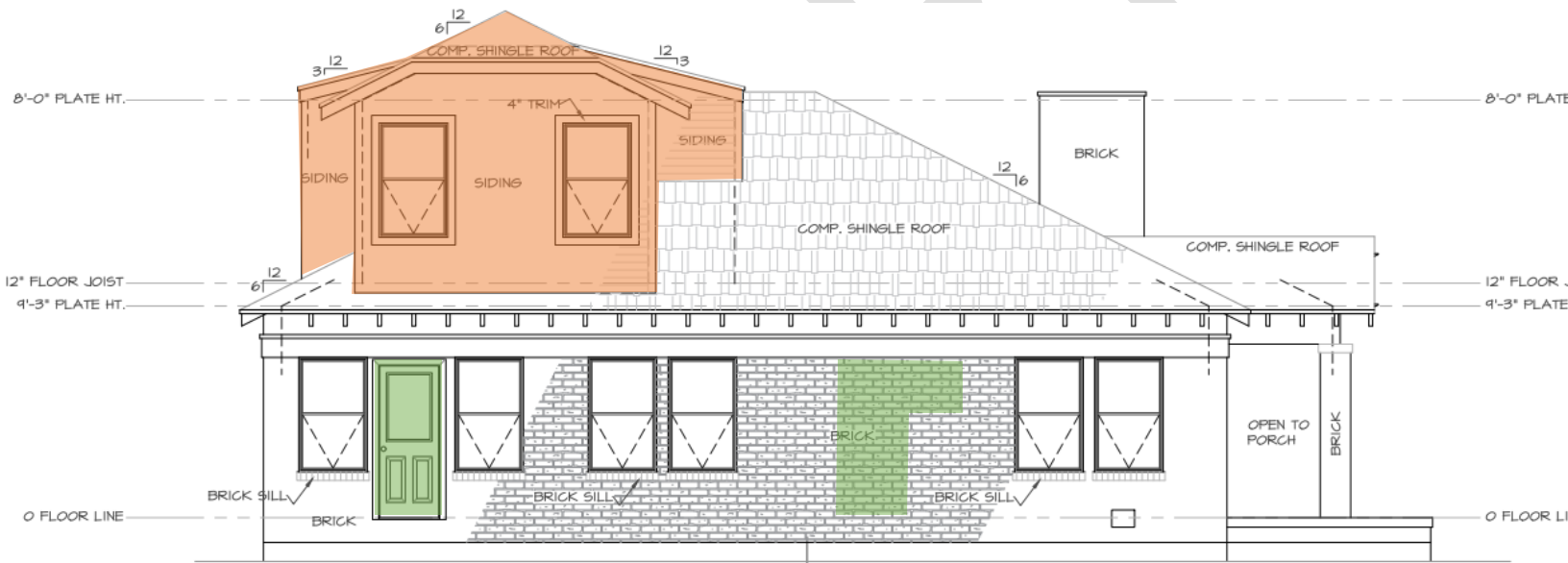
Proposed Right (East) Elevation



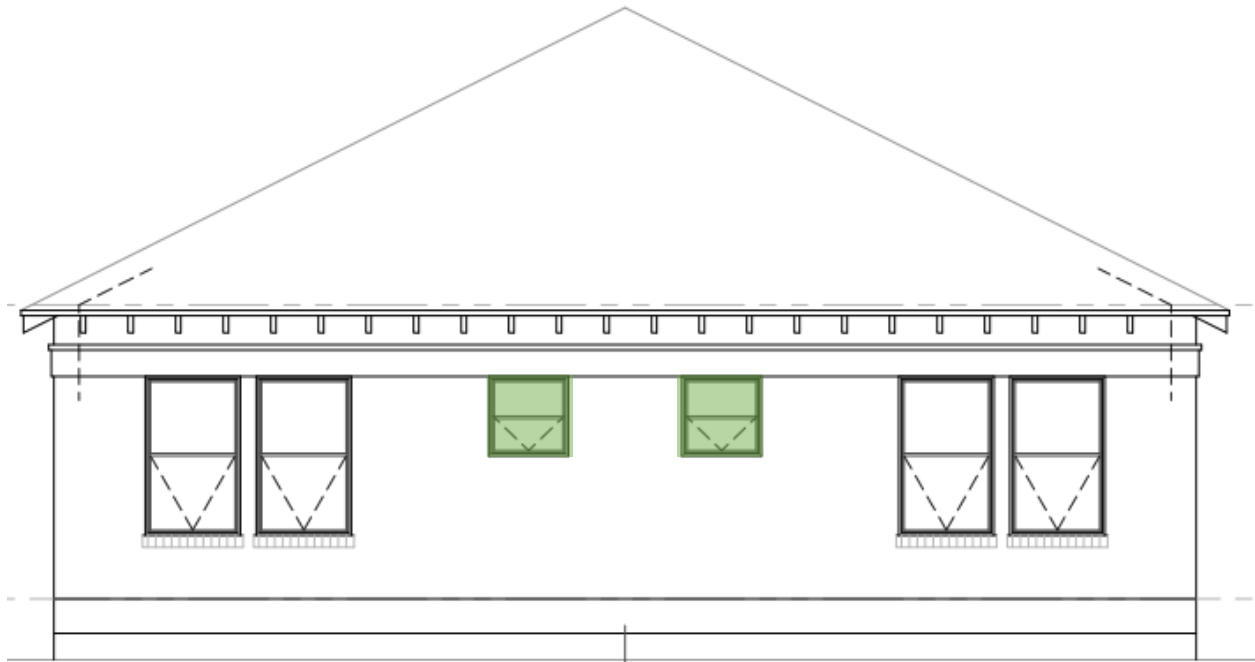
Existing Left (West) Elevation



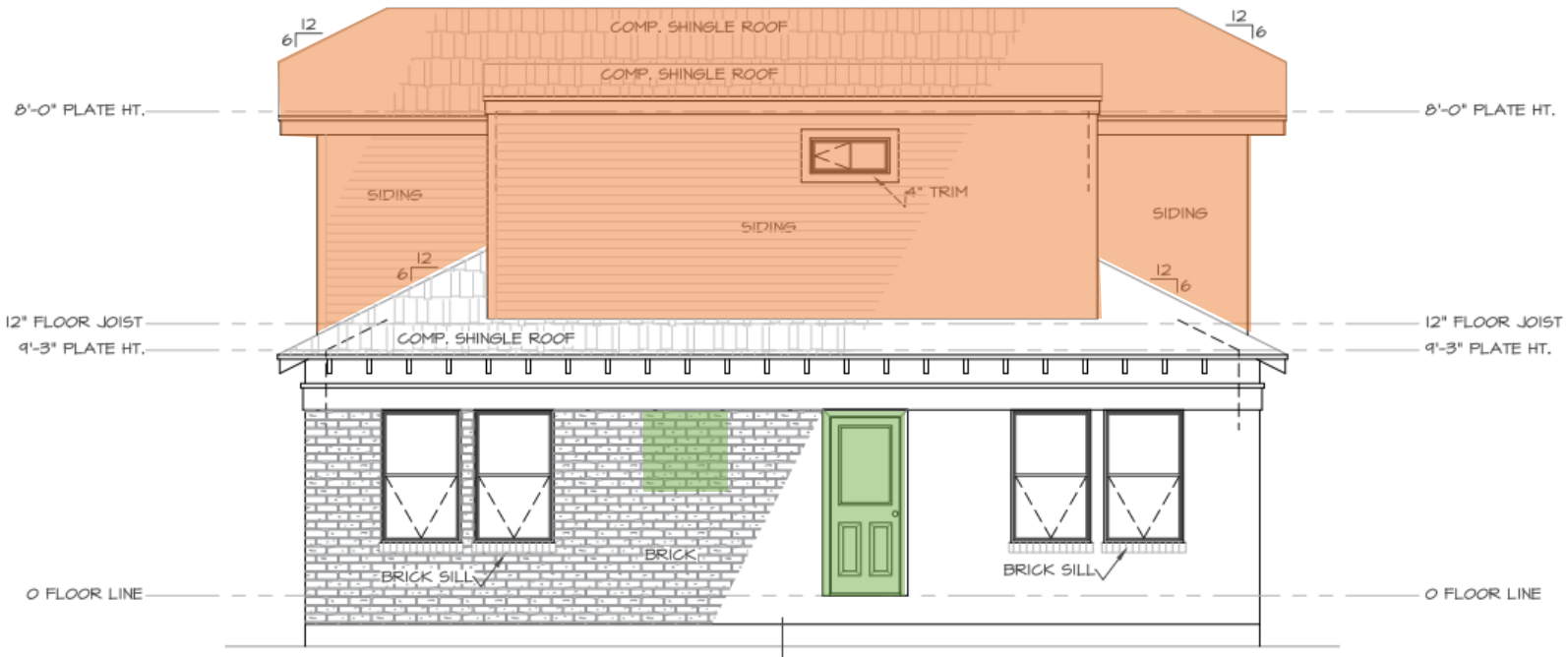
Proposed Left (West) Elevation



Existing Rear (North) Elevation



Proposed Rear (North) Elevation



Proposed Roof Plan

