

CERTIFICATE OF APPROPRIATENESS**Application Date:** April 12, 2024**Applicant:** Tim Cisneros, agent for, Sonny BazBaz, owner**Property:** 3400 White Oak Dr, Lots 11 & 12, Block 279, Houston Heights Neighborhood Subdivision. The property includes a historic 9,640 square foot, two-story brick veneer commercial situated on a 13,198 square foot (132' x 100') corner lot.**Significance:** Contributing Storefront brick commercial, constructed circa 1930, located in the Houston Heights South Historic District. Approved COA in Dec. 2022 to remove non-historic brick on south elevation and install doors/windows on east elevation at existing and infilled openings. Approved at Nov. 9, 2023 for alteration to right (East) elevation ONLY.**Proposal:** Alteration: Storefront Front Façade, Side and Rear Elevations**Front (South) Elevation**

1. Propose Acme brick of Ebony color with a Velour texture
2. Propose an Avadek cantilevered awning of a charcoal gray color of aluminum material with a smooth texture extending 5' forward of front elevation
 - a. Cantilevered awning situated above the transom windows
3. Propose sets of **transom windows** beneath proposed awning of varying dimensions ****progressing from left to right****
 - a. Labeled O, 7'8" x 2'-7 1/2" divided into 4 lite patterns
 - b. Labeled B.1, 3'10" x 2'-7 1/2" divided into 2 lite patterns
 - c. Labeled J (above proposed garage door openings),
 - i. 12' x 2'-7 1/2" divided into 4 lite patterns
 - d. Labeled P, 11'4" x 2'-7 1/2" divided into 6 lite patterns
 - e. Labeled H (beginning of arched transom windows)
 - i. **This will be a restored arch window** as indicated by red, cloud outline on sheet A.500 (South Elevation) divided into 3 lite patterns
 - f. Labeled I, (beginning of arched transom windows)
 - i. 4'0" x 2'-7 1/2" divided into 2 lite patterns
 - g. Labeled H (arched transom windows)
 - i. **This will be a restored arch window** as indicated by red, cloud outline on sheet A.500 (South Elevation) divided into 3 lite patterns
 - h. Labeled F.1, (on right-hand side of drawing)
 - i. 8' 0" x 2'-7 1/2" divided into 3 lite patterns mimicking the historic, arched transom windows
 1. This is the location of where the modern-day garage bay opening once existed on the non-historic front facade
 - i. Labeled C.1 (above door on right-hand side of line drawing)
 - i. **This will be a restored arch window** as indicated by red, cloud outline on sheet A.500 (South Elevation) divided into 3 lite patterns

- j. Labeled D, 5' 0" x 2'-7 1/2"
 - i. **This will be a restored arch window** as indicated by red, cloud outline on sheet A.500 (South Elevation) divided into 2 lite patterns
 - k. Labeled E, 6' 0" x 2'-7 1/2" divided into 3 lite patterns mimicking the historic, arched windows
4. Propose fascia, wood trim board in the space between transom windows and storefront windows & doors in a light gray color with a smooth texture
 5. Proposed storefront windows and doors ****progressing from left to right****
 - a. **All proposed storefront windows to be an earl grey color and a one lite pattern**
 - b. Window labeled B, 3'10" x 6'8"
 - c. Door labeled B, 3'6" x 8'8" replicated door matching historic door
 - d. Window labeled B, 3'10" x 6'8"
 - e. Garage openings, 12' W x 8' 9-1/2" H
 - f. Window labeled A, 3' 6" x 6' 8"
 - g. Door labeled C, 4' x 8' 8"
 - h. Window labeled A, 3' 6" x 6' 8"
 - i. Window labeled G, 8' 2" x 6' 8"
 - j. Door labeled A, 4' 0" x 8' 8"
 - k. Same as letter 'i' above
 - l. Windows labeled F, 8' 0" x 6' 8"
 - m. Windows labeled C, 6' 8" x 6' 8"
 - n. Door labeled A, 4' 0" x 8' 8"

Proposed Side and Rear Elevations

1. Right (East) elevation previously approved by HAHC on 11-9-2023
 - a. Revision to restore arched, transom window
 - b. A smooth, fascia, trim board between transom window and storefront window in a light gray color
 - c. Window labeled K, 6' 4" x 6' 7"
 - d. All other door and window openings are located in original locations from photographic evidence
 - i. See door and window schedule for details
2. Left (West) elevation
 - a. To remain unchanged
3. Rear (North) elevation
 - a. Remove infill and replace with windows
 - i. See door and window schedule for details
 - ii. Infill openings to remain unchanged
 - b. Right-hand side of rear elevation
 - i. Existing stucco wall to be demolished to expand section at rear with one new proposed column ****see sheet A.502****

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

DRAFT

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

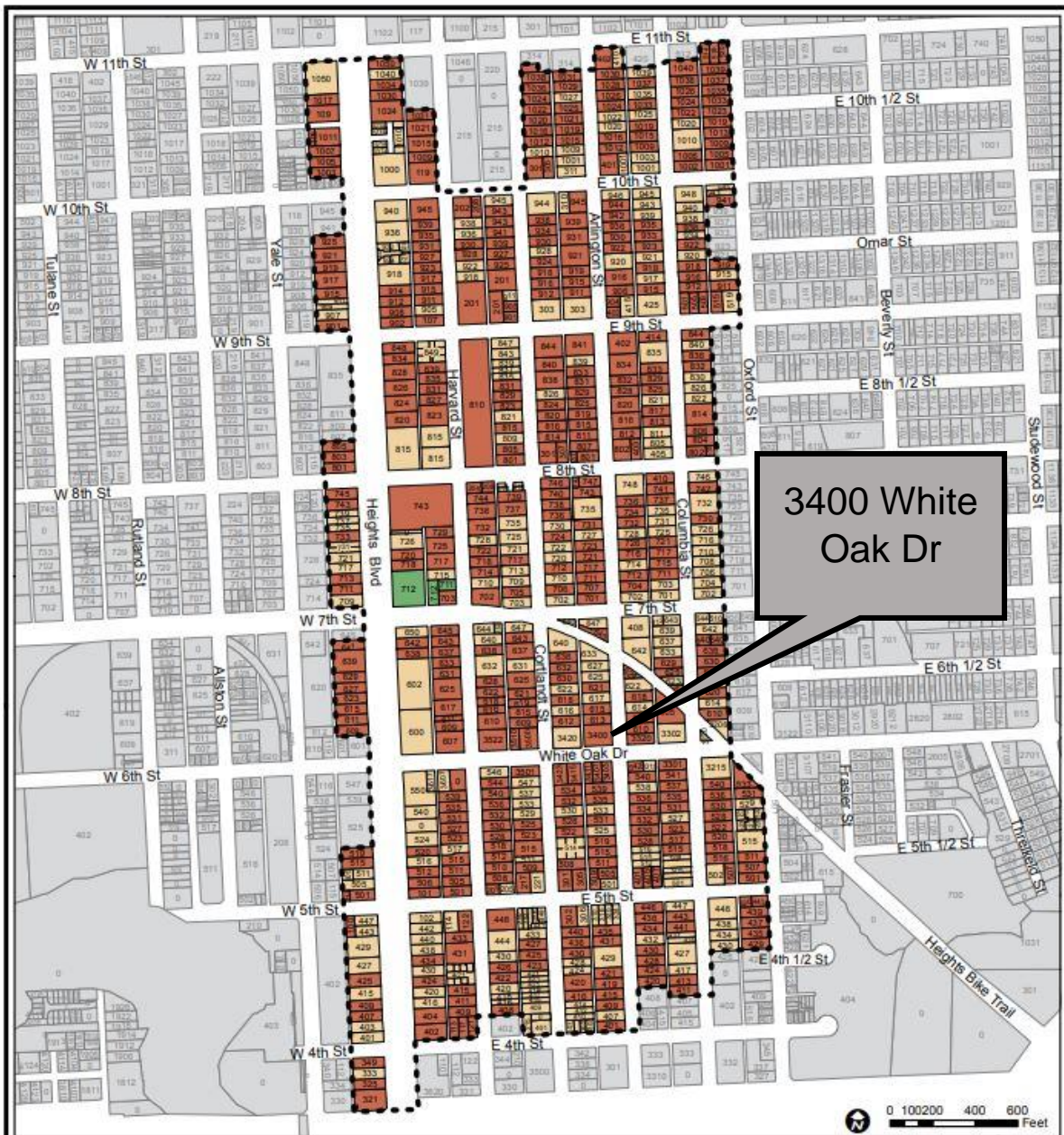
S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property; The proposed front elevation preserves the historical character of the façade. A storefront is the most important architectural feature of historic commercial buildings.
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; The proposed front elevation recognizes the building as a product of its own time. The existing openings (doors & windows) shows a distinguishing feature pattern of regularly spaced load-bearing brick columns, door openings, window openings, and window sashes, particularly on the right half of the façade where there exists semicircle sashes.
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; The proposed front elevation preserves the distinguishing fenestration configurations and preserves the storefront's distinguishing architectural feature. Storefront doors were often flanked by large, display windows. Transoms above the display windows became key elements in early 20th century storefronts. These transoms of the past were used to permit air circulation into the store.
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; The proposed front elevation maintains and replicates the distinctive fenestration configurations.
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; The existing front elevation shows physical evidence of a distinctive fenestration pattern including semicircle window sashes on the right half of the elevation. The proposed front elevation duplicates the existing fenestration openings which are supported by photographic evidence of once-existent door and window framing.
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; Four semicircular window sashes will be restored and one door will be replicated.
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

HEIGHTS DESIGN GUIDELINES

- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

District Map



Houston Heights South Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: June 29, 2011
 Source: GIS Services Division
 Date: 4/24/2013
 Reference: pj17025_Heights_South

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING & DEVELOPMENT DEPARTMENT



CITY OF HOUSTON

PERMIT CENTER - CODE ENFORCEMENT DIVISION
1002 Washington Ave, Houston, Texas 77002

Point of Sale Transmittal

17-JAN-2024

Note: This is not a permit and does not authorize the holder to perform any work

Customer Name/Address
CISNEROS, ROMULO
800 SAMPSON ST # 200
HOUSTON, TX 77003
713-520-7745

Payer Name/Address
CISNEROS, ROMULO
800 SAMPSON ST # 200
HOUSTON, TX 77003
713-520-7745

Project-No Description
Pending ONE-STOP DEMO NON-LOAD BEARING WALL, RETAIL
3400 WHITE OAK, LLC
3400 WHITE OAK DR
HOUSTON, TX 77007

Sales Order
03701894 (B)

Permit: PX **Plan Review Fee

PLANREV FEE	34.34
Administration Fee	32.16
Total Permit Fee	66.50

TOTAL AMOUNT DUE 66.50



PERMIT APPLICATION WITH NO HOLDS RELEASED

ILMS

Additional Functions Recent Selection Options Activity Log Pending Inspections

Project On Hold; Pending Structural Permit Purchase

Flood Zone: X-

Documents on file

Situs Address: 3400 WHITE OAK DR 77007

100 Search

Project Number: 24005093

Look Up

110 Project History

Recent Selections

Permit Type:

550 Documents

126 Situs Holds

208/599/Other_

109 Project Holds_

101/103 Comments

GIS / Tax Office

100 Situs Info

102 Application

114 Plan Review_

115/297 Permits_

205 Fee_Collection

Applicant Name:

CISNEROS, ROMULO
800 SAMPSON ST # 200
HOUSTON, TX 77003-0000
Phone No. (713) 520 - 7745

102 Update General Project info

Primary

Contractor Name:

105 Contractors

Contact Name:

Comment:

PROJECT COMMENTS

103 Project Comments

Hold(s) Status:

Project-Permit Holds are in Effect

109 Project Holds

Description of Work

DEMO OF NON-LOAD BEARING / NON-FIRE-RATED WALLS '21 IBC

(109) Project Holds - Project: 24005093 DEMO OF NON-LOAD BEARING / NON-FIRE-RATED WALLS '21 IBC

Additional Functions

Hold-Date	Department	Hold-Type	Action-Status	Permit-Type	Hold-Reason
01/17/2024	STRUCTURAL P	HARD HOLD		GE	HOLD FOR PLAN CHECK APPROVAL
01/17/2024	PLANNING	HARD HOLD		GE	Houston Heights Historical District South
01/17/2024	OCCUPANCY IN	HARD HOLD		GE	SEE OCC
02/14/2024	STRUCTURAL I	HARD HOLD		GE	HOLD PER JENNIFER OSTLIND IN PLANNING

EXAMPLE OF AN APPROVED PERMIT

**HOUSTON PUBLIC WORKS
Houston Permitting Center - Code Enforcement**

The applicant, by the making, executing, and submitting this application to Houston Public Works, represents and warrants that the proposed construction described in said application is not in violation of or contrary to any deed restriction or covenant running with the land in which the herein described lot, tract or parcel of land is situated.

The Applicant further represents and warrants to the City of Houston and to the property owners lying and situated within the addition or subdivision in which the herein tract of land is situated, that such application, and the erection of the herein described construction and the eventual use thereof will not be used for any purpose which is prohibited by the deed restriction or covenants running with the land within such subdivision or addition.

The Applicant accepts this building permit subject to the foregoing representation and warranties and agrees that if such construction or use be in violation of any deed restrictions or covenants running with land that such building permit shall automatically become null and void without the necessity of any action on the part of the City of Houston or the property owner(s).

Date 05-MAY-2024	Originally Printed: 27-DEC-2022					Receipt No. 8449226	Proj. Type NEW	Project No. 22126305
Occupant BERG, WILLIAM J						Sprinklers		
Address 1112 ASHLAND ST					Space			
City HOUSTON					TID No. 020-201-000-0023			
Zip Code 77008					County HARRIS		Bldgs 001	
					Units 0001		Story 002	
Contractor GIFFORD ENTERPRISES, LLC					Shopping Cart 03100833		Sales Order 03372837	
Paid by CISNEROS, ROMULO					Jc. No.		Phone 832350515	
Other BERG, WILLIAM J					Jc. No.		Phone 7135207745	
Use SF RESIDENTIAL REMODEL/ADDITION 1-2-5-R3-B 2015 IRC					Jc. No.		Phone 7135207745	

Payment method: Credit card ATM

\$443.31

The following work description was recorded by the user prior to purchase
ADDITION AND RENOVATION TO A SINGLE FAMILY RESIDENCE

Date	Department	Project Comments
02/07/2023	PLANNING	*****HISTORICAL*****
02/07/2023	PLANNING	Issuance of this permit does not waive compliance with the
02/07/2023	PLANNING	Historic Preservation Ordinance per City of Houston Municipal
02/07/2023	PLANNING	Code of Ordinances Chapter 33 Article VII. For more
02/07/2023	PLANNING	information, Contact 832-393-6556.
02/07/2023	PLANNING	Project must conform to the Certificate of Appropriateness.
02/07/2023	PLANNING	Revisions to a project require a new Certificate of
02/07/2023	PLANNING	Appropriateness. No removal or alteration to interior shiplap.
02/07/2023	PLANNING	Staff must inspect damaged materials before removal,
02/07/2023	PLANNING	replacement, or alteration.
02/07/2023	PLANNING	COA and Site Plan stamped by JL on 2-7-2023

** CONTINUED ON NEXT PAGE **

Byron D. King

Building Official for the City of Houston

POST PERMIT ON JOB LOCATION

FOR REINSPECTION CALL:

Building Inspections 832-394-8840	Sign Administration 832-394-8890	Occupancy Inspections 832-394-8880
Electrical Inspections 832-394-8860	Interactive Voice Response 713-222-9922	Gas Utility Release 832-394-8870
Boiler A/C Inspections 832-394-8850	Right of Way Inspections 832-394-9496	Plumbing Inspections 832-394-8870
Mobile Homes 832-394-8842	Electrical Utility Release 832-394-8860	Plan Review 832-394-8810

An inspection must be called within 180 days of purchase or this permit will lapse. After 360 days of purchase a new permit may be required per section 105.5 of the Building Code, or the expiration date specified on the Permit or Receipt. Any structural work authorized by this permit is issued based on a

EXAMPLE OF AN APPROVED PERMIT

**HOUSTON PUBLIC WORKS
Houston Permitting Center - Code Enforcement**

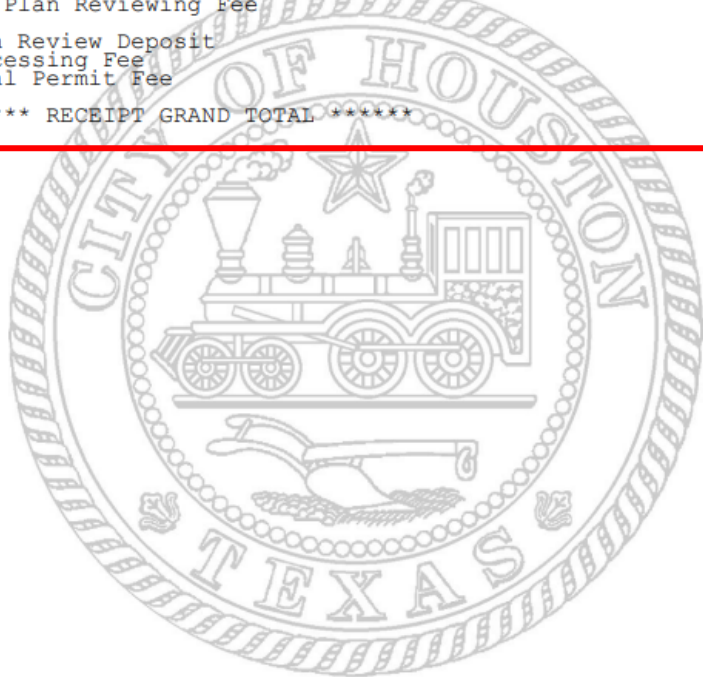
The applicant, by the making, executing, and submitting this application to Houston Public Works, represents and warrants that the proposed construction described in said application is not in violation of or contrary to any deed restriction or covenant running with the land in which the herein described lot, tract or parcel of land is situated.

The Applicant further represents and warrants to the City of Houston and to the property owners lying and situated within the addition or subdivision in which the herein tract of land is situated, that such application, and the erection of the herein described construction and the eventual use thereof will not be used for any purpose which is prohibited by the deed restriction or covenants running with the land within such subdivision or addition.

The Applicant accepts this building permit subject to the foregoing representation and warranties and agrees that if such construction or use be in violation of any deed restrictions or covenants running with land that such building permit shall automatically become null and void without the necessity of any action on the part of the City of Houston or the property owner(s).

Date	Originally Printed: 27-DEC-2022					Receipt No.	Proj. Type	Project No.
05-MAY-2024						8449226	NEW	22126305
Occupant	BERG, WILLIAM J					Sprinklers % Type		
Address	1112 ASHLAND ST					Space	TID No.	
City	Zip Code	County	Bldgs	Units	Story	Shopping Cart	Sales Order	
HOUSTON	77008	HARRIS	001	0001	002	03100833	03372837	
Contractor	GIFFORD ENTERPRISES, LLC					Lic. No.	Phone	
Paid by	CISNEROS, ROMULO					Lic. No.	Phone	
Other	BERG, WILLIAM J					Lic. No.	Phone	
Use	SE RESIDENTIAL REMODEL/ADDITION 1-2-5-R3-R 2015 IRC							

** CONTINUED FROM PRIOR PAGE **	
Permit Type: PX	Plan Reviewing Fee
	Plan Review Deposit
	Processing Fee
	Total Permit Fee
***** RECEIPT GRAND TOTAL *****	
	412.80
	30.51
	443.31
	\$443.31



POST PERMIT ON JOB LOCATION

FOR REINSPECTION CALL:

Building Inspections	832-394-8840	Sign Administration	832-394-8890	Occupancy Inspections	832-394-8880
Electrical Inspections	832-394-8860	Interactive Voice Response	713-222-9922	Gas Utility Release	832-394-8870
Boiler A/C Inspections	832-394-8850	Right of Way Inspections	832-394-9496	Plumbing Inspections	832-394-8870
Mobile Homes	832-394-8842	Electrical Utility Release	832-394-8860	Plan Review	832-394-8810

An inspection must be called within 180 days of purchase or this permit will lapse. After 360 days of purchase a new permit may be required per section

EXAMPLE OF APPROVED PERMIT IN THE PERMITTING SYSTEM

The screenshot displays the ILMS (Integrated Licensing and Management System) interface. At the top, it indicates the project status as 'Project is: FINALED' and the flood zone as 'Flood Zone: X-'. Below this, a section titled 'Documents on file' provides various navigation options like 'GIS / Tax Office', '550 Documents', and 'Certificates'. The main area shows project details for '1112 ASHLAND ST 77008' with project number '22126305'. Applicant information includes 'CISNEROS, ROMULO' and contractor 'PR ELECTRICAL SERVICES'. A table of project holds is visible at the bottom, with two entries highlighted in blue and a red box around them. Red arrows point from the 'APPROVED' status in the table to the 'Hold(s) Status' field in the project details above.

Additional Functions: Recent Selection Options, Activity Log, Pending Inspections

Project is: FINALED Flood Zone: X-

Documents on file

Situs Address: 1112 ASHLAND ST 77008 100 Search

Project Number: 22126305 Look Up 110 Project History Recent Selections Permit Type: []

GIS / Tax Office 550 Documents Certificates

205 Fee_Collection 126 Situs Holds 208/599/Other_ 109 Project Holds_ 101/103 Comments

100 Situs Info 102 Application 114 Plan Review_ 115/297 Permits_ 399 Inspections

Applicant Name: CISNEROS, ROMULO
800 SAMPSON ST # 200
HOUSTON, TX 77003-0000
Phone No. (713) 520 - 7745

Primary Contractor Name: PR ELECTRICAL SERVICES 102 Update General Project info

Contact Name: PHILLIP CONCHOLA JR 105 Contractors

Comment: PROJECT COMMENTS 103 Project Comments

Hold(s) Status: Project-Permit Holds are in Effect 109 Project Holds

Description of SF RESIDENTIAL REMODEL/ADDITION 1-2-5-R3-B 2015 IRC

(109) Project Holds - Project: 22126305 SF RESIDENTIAL REMODEL/ADDITION 1-2-5-R3-B 2015 IRC

Hold-Date	Department	Hold-Type	Action-Stat	Permit-Type	Hold-Reason
12/27/2022	STRUCTURAL P	HARD HOLD	APPROVED	GE	HOLD FOR PLAN CHECK APPROVAL
12/27/2022	PLANNING	HARD HOLD	APPROVED	GE	HISTORIC DISTRICT

Project Hold Details

Inventory Photo (Photo Taken in June 2010 By Staff)



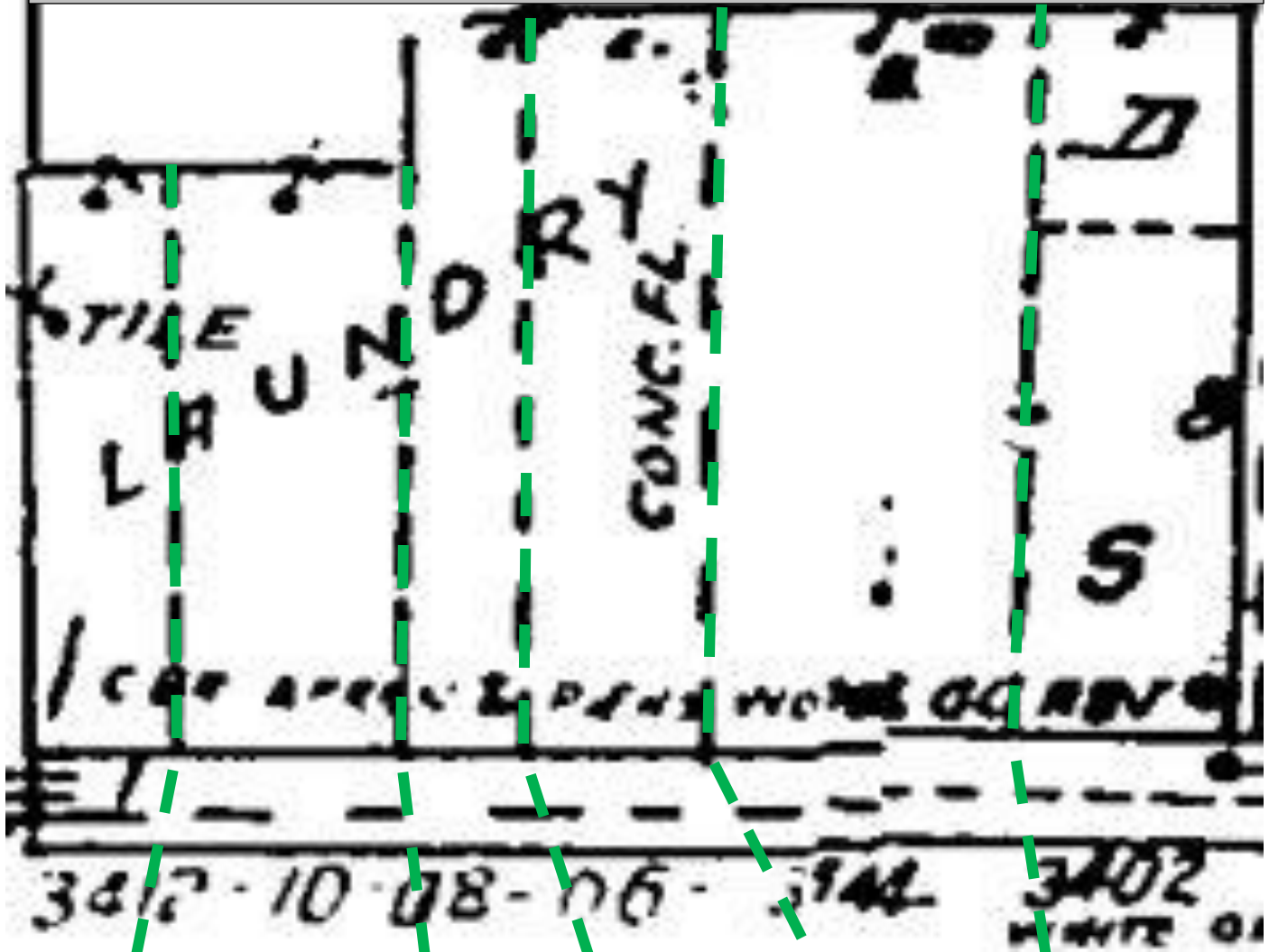
After Non-Historic Façade Removed – Photo By Staff March 16, 2023



Removal of non-historic façade granted approval by HAHC at December 14, 2022 meeting as shown in inventory photo in top photo

Sanborn Map

Green dashed lines correspond to the six addresses listed at the bottom of the Sanborn image, breaking up the front façade into six storefronts

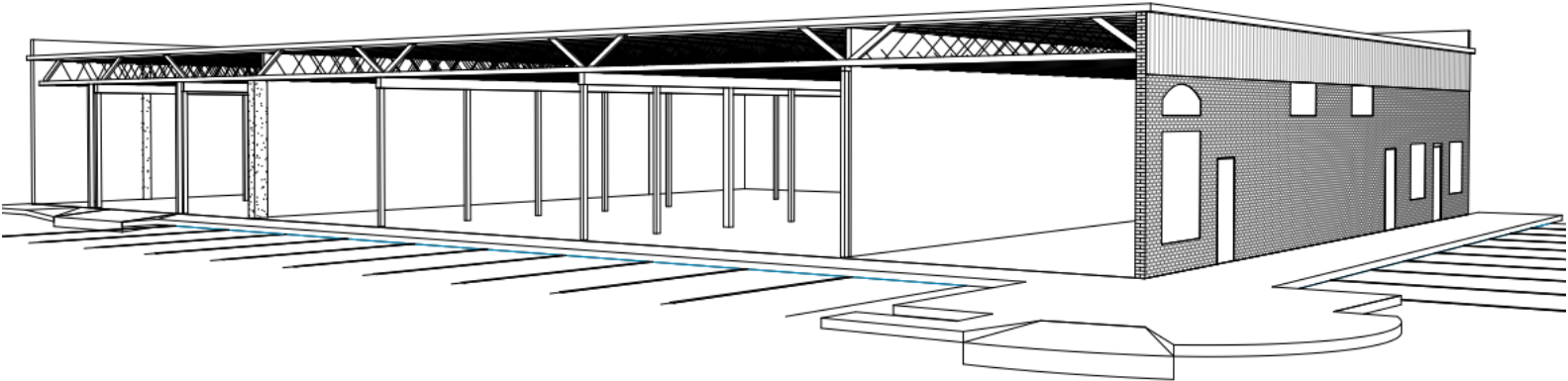


Front (South) elevation as seen by public, agent, owners, staff, and commission members at special meeting held on site, September 19, 2023.

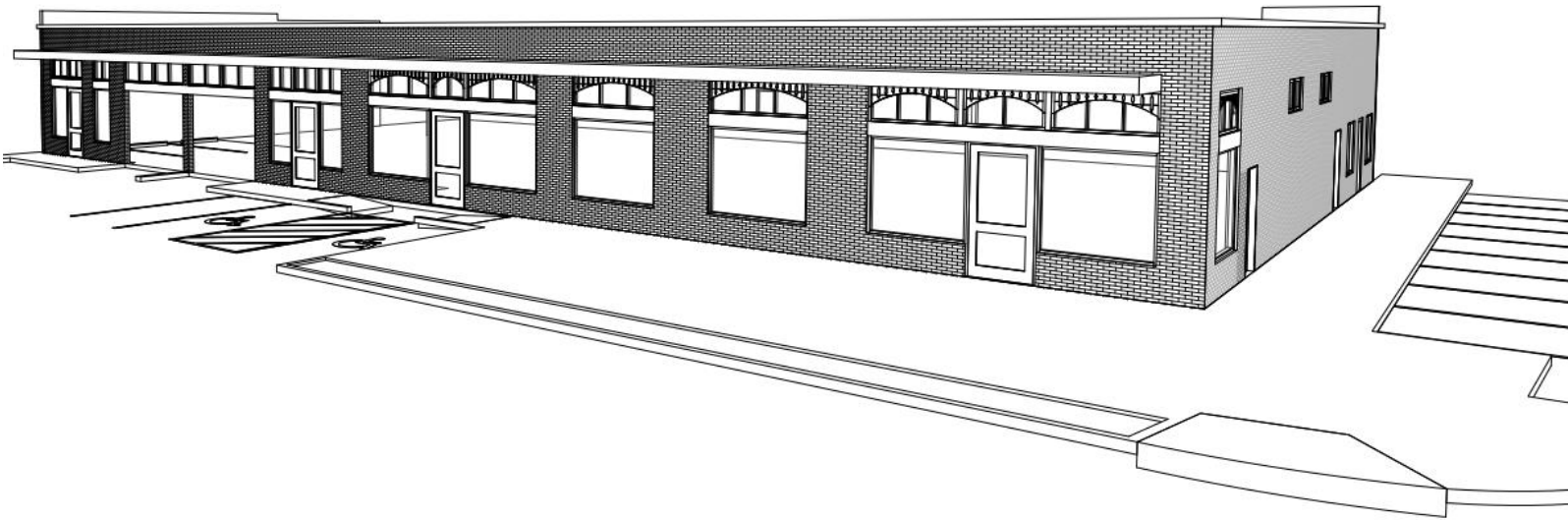
Existing Front (South) Elevation – Photo Taken By Staff on 2-13-2024



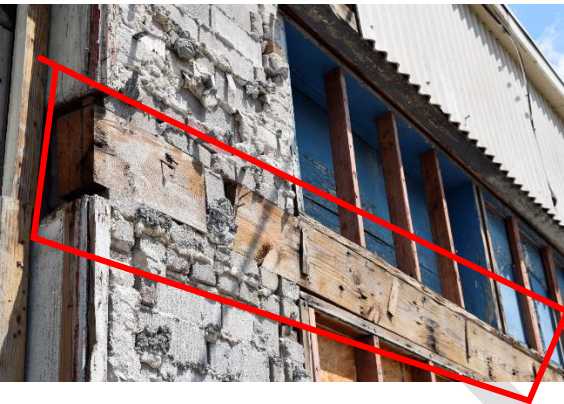
Existing 3D Front (South) and Right Elevations



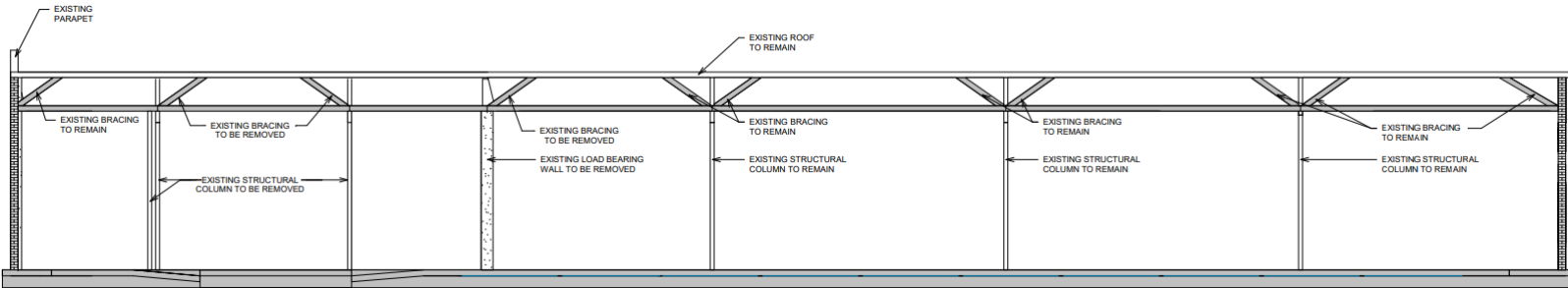
Proposed 3D Rendering of Front and Right Elevations



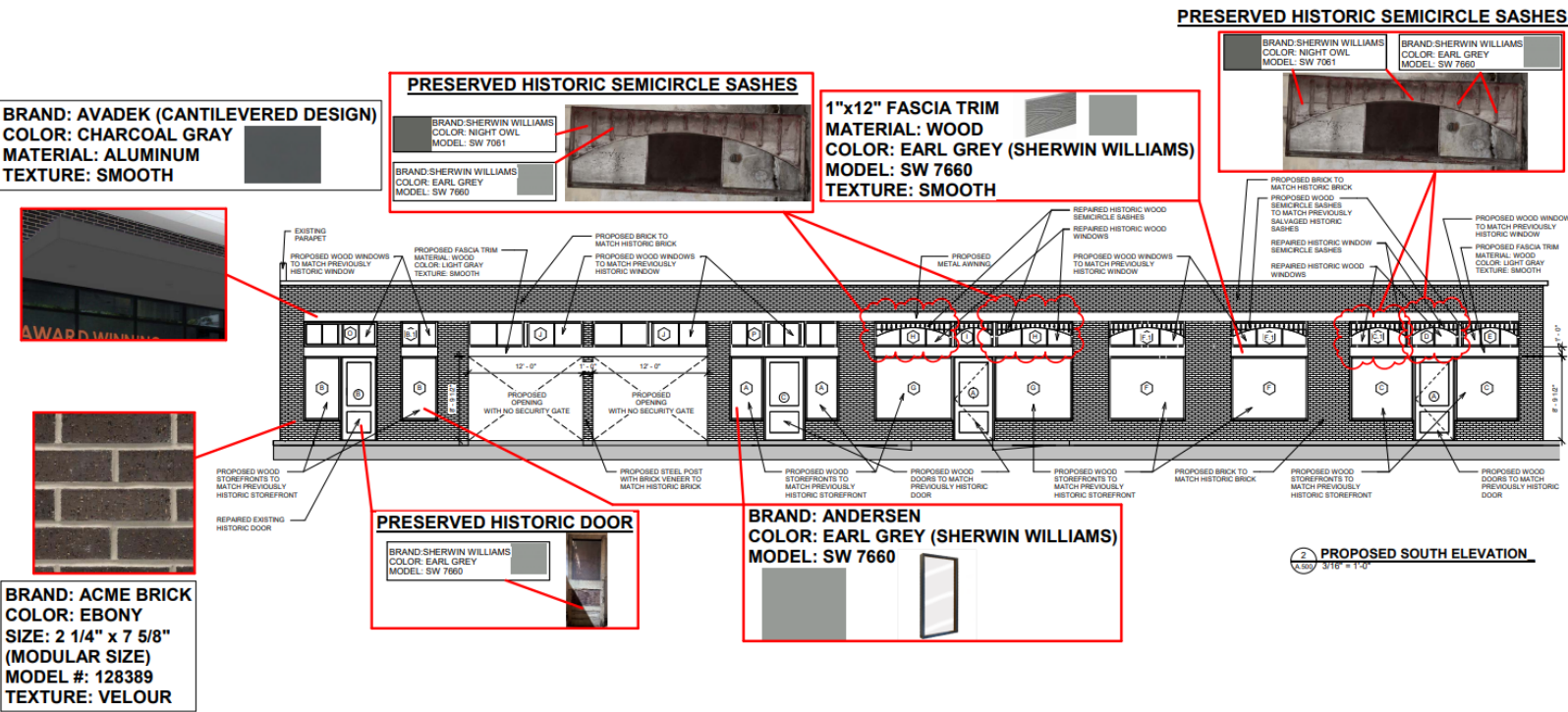
After Non-Historic Façade Removed – Photo By Staff March 16, 2023



Existing Front (South) Elevation



Proposed Front (South) Elevation



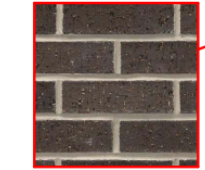
BRAND: AVADEK (CANTILEVERED DESIGN)
COLOR: CHARCOAL GRAY
MATERIAL: ALUMINUM
TEXTURE: SMOOTH

PRESERVED HISTORIC SEMICIRCLE SASHES
BRAND SHERWIN WILLIAMS
COLOR: NIGHT OWL
MODEL: SW 7061
BRAND SHERWIN WILLIAMS
COLOR: EARL GREY
MODEL: SW 7660

1"x12" FASCIA TRIM
MATERIAL: WOOD
COLOR: EARL GREY (SHERWIN WILLIAMS)
MODEL: SW 7660
TEXTURE: SMOOTH

PRESERVED HISTORIC SEMICIRCLE SASHES

BRAND SHERWIN WILLIAMS
COLOR: NIGHT OWL
MODEL: SW 7061
BRAND SHERWIN WILLIAMS
COLOR: EARL GREY
MODEL: SW 7660



BRAND: ACME BRICK
COLOR: EBONY
SIZE: 2 1/4" x 7 5/8"
(MODULAR SIZE)
MODEL #: 128389
TEXTURE: VELOUR


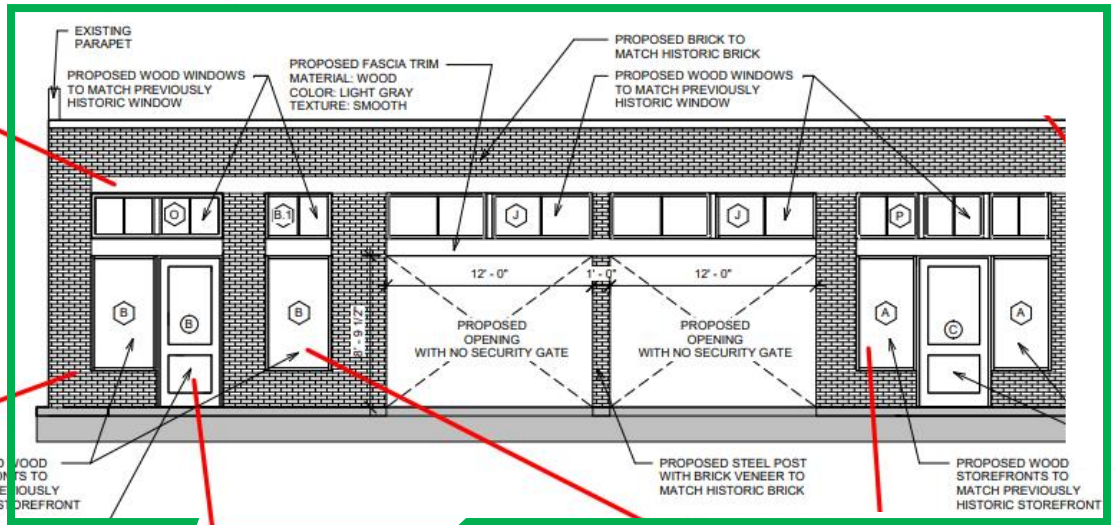
PRESERVED HISTORIC DOOR
BRAND SHERWIN WILLIAMS
COLOR: EARL GREY
MODEL: SW 7660

BRAND: ANDERSEN
COLOR: EARL GREY (SHERWIN WILLIAMS)
MODEL: SW 7660

PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"


Left-Hand Side of Proposed Front (South) Elevation

BRAND: AVADEK (CANTILEVERED DESIGN)
COLOR: CHARCOAL GRAY
MATERIAL: ALUMINUM
TEXTURE: SMOOTH

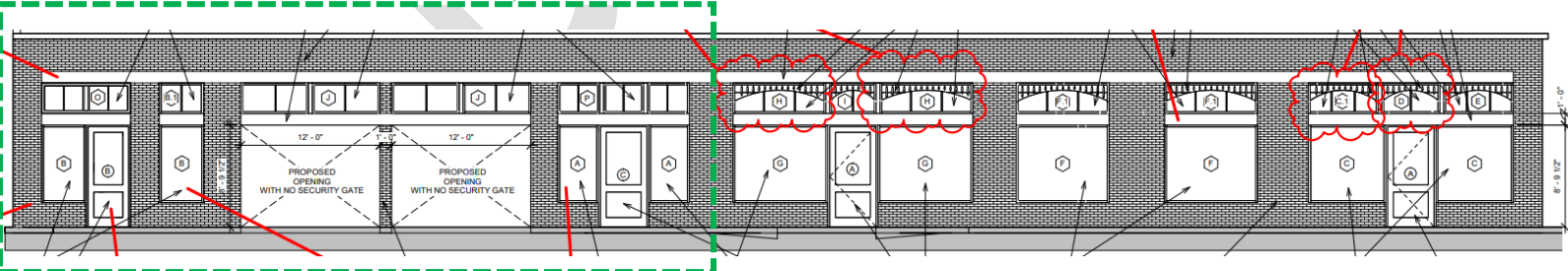



PRESERVED HISTORIC DOOR

BRAND: SHERWIN WILLIAMS
 COLOR: EARL GREY
 MODEL: SW 7660



BRAND: ACME BRICK
COLOR: EBONY
SIZE: 2 1/4" x 7 5/8"
(MODULAR SIZE)
MODEL #: 128389
TEXTURE: VELOUR



Middle Section of Proposed Front (South) Elevation

PRESERVED HISTORIC SEMICIRCLE SASHES

BRAND: SHERWIN WILLIAMS
COLOR: NIGHT OWL
MODEL: SW 7061



BRAND: SHERWIN WILLIAMS
COLOR: EARL GREY
MODEL: SW 7660

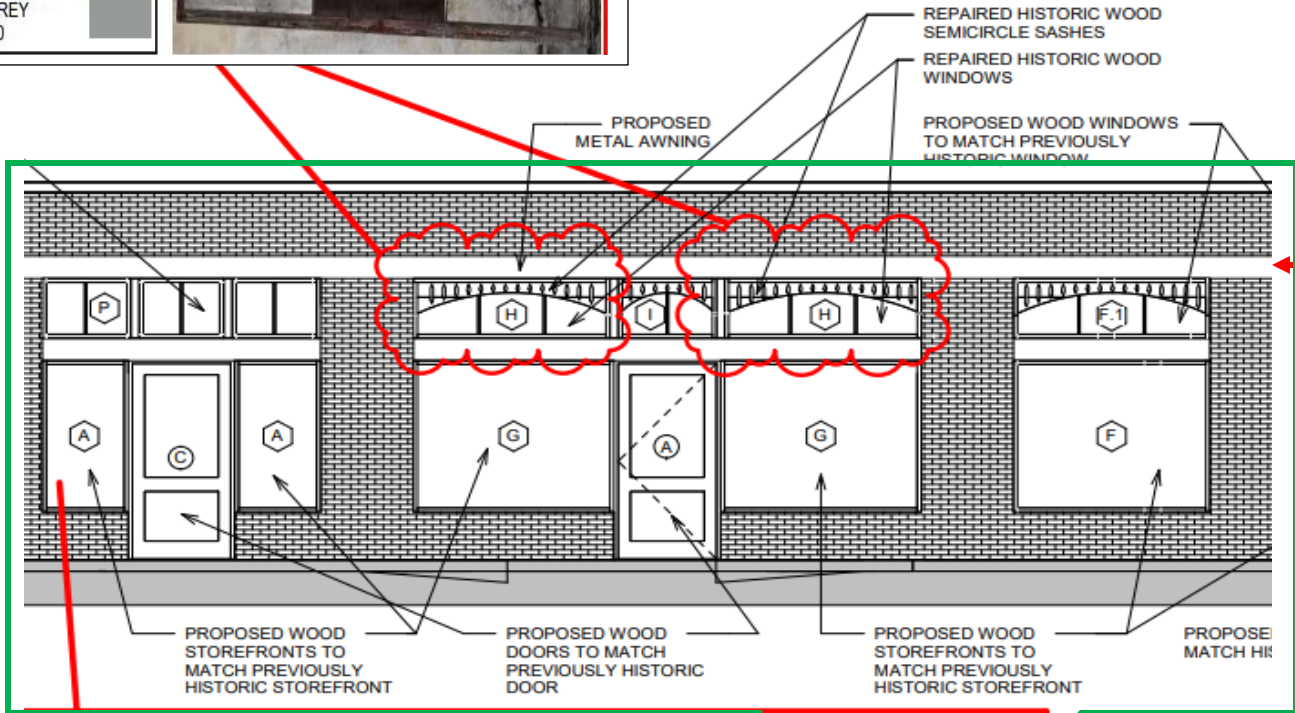
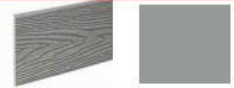
1"x12" FASCIA TRIM

MATERIAL: WOOD

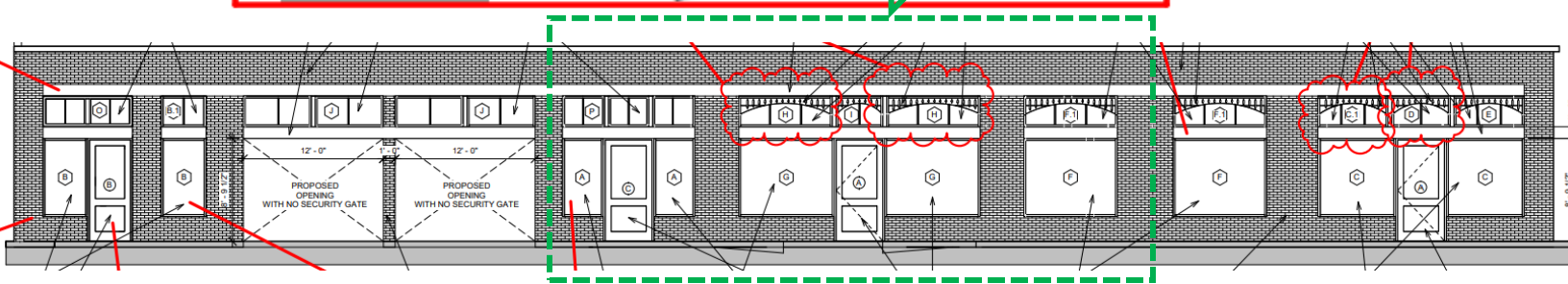
COLOR: EARL GREY (SHERWIN WILLIAMS)

MODEL: SW 7660

TEXTURE: SMOOTH

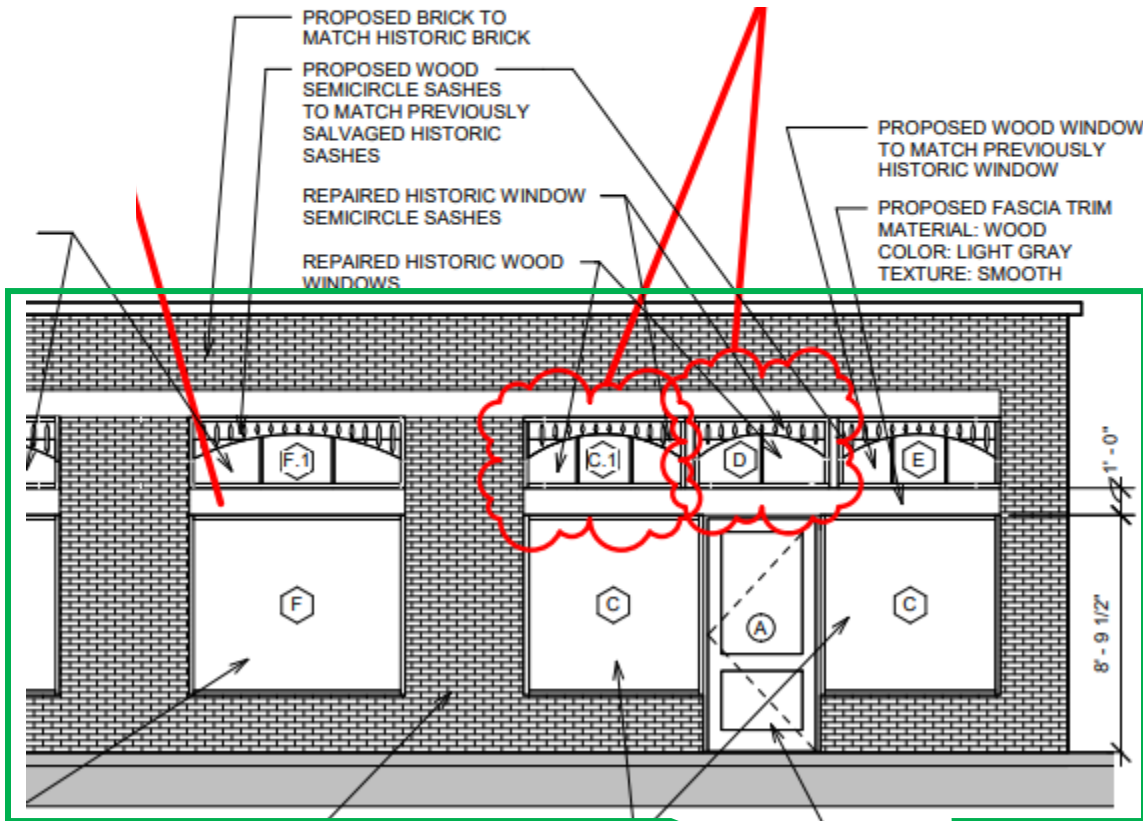


BRAND: ANDERSEN
COLOR: EARL GREY (SHERWIN WILLIAMS)
MODEL: SW 7660



Right-Hand Side of Proposed Front (South) Elevation

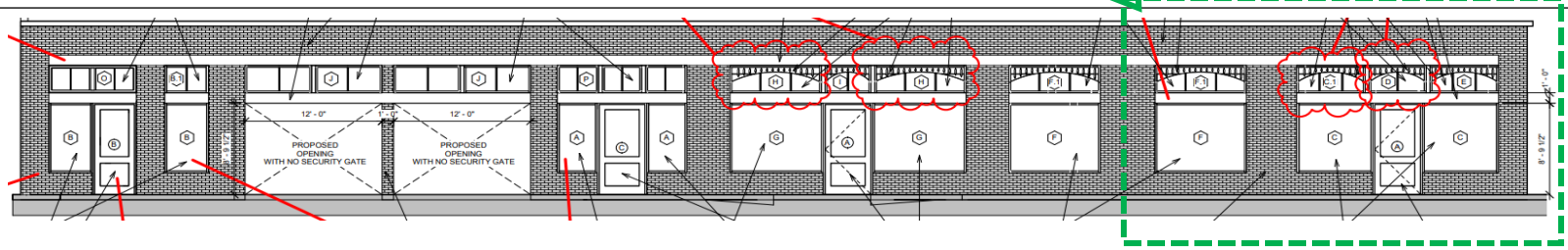
PRESERVED HISTORIC SEMICIRCLE SASHES



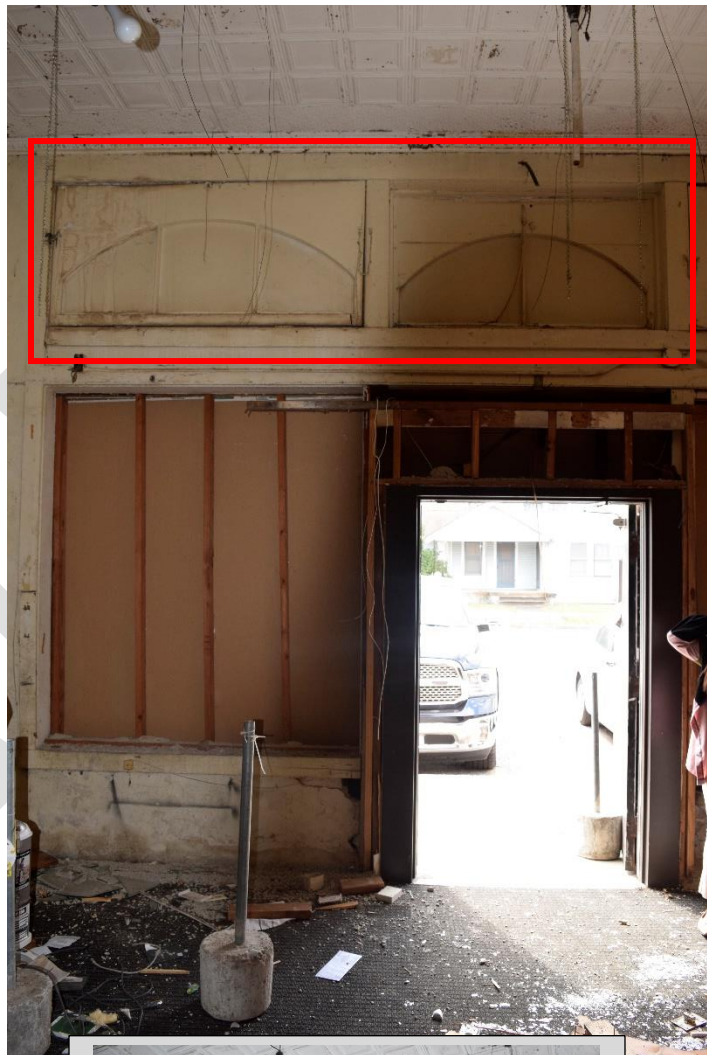
PROPOSED BRICK TO MATCH HISTORIC BRICK

PROPOSED WOOD STOREFRONTS TO MATCH PREVIOUSLY HISTORIC STOREFRONT

PROPOSED WOOD DOORS TO MATCH PREVIOUSLY HISTORIC DOOR



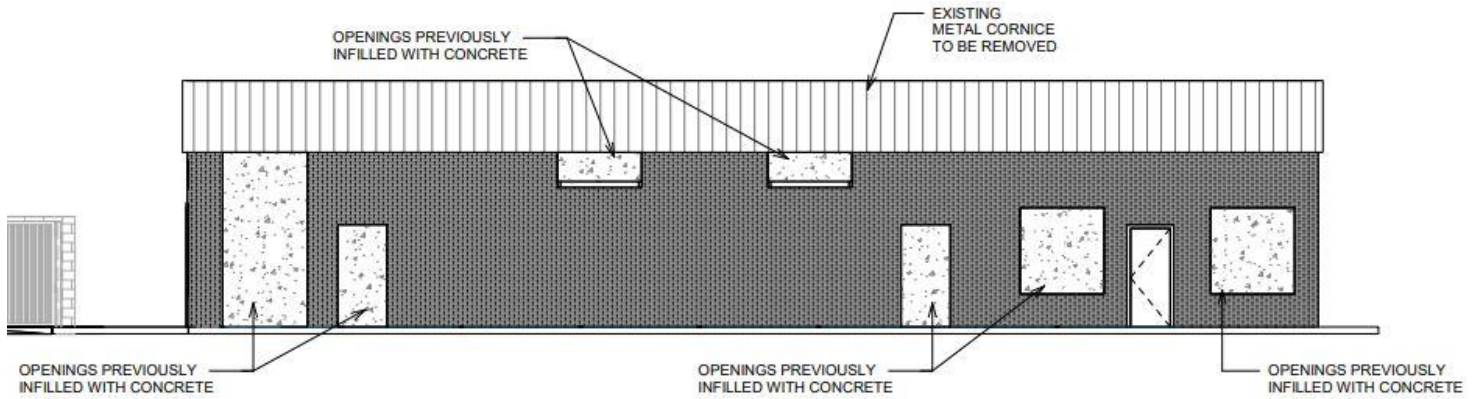
Interior Photos of Window and Door Taken By Staff March 1, 2023



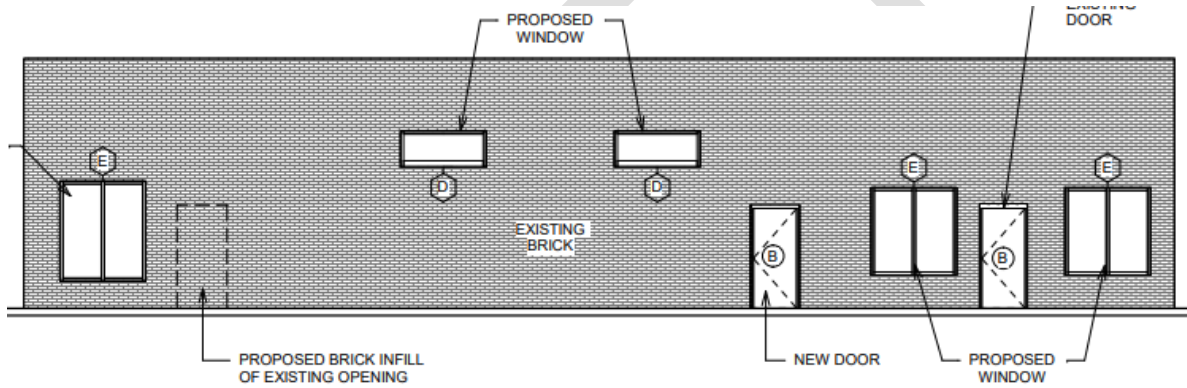
Interior Photos of Window and Door Taken By Staff March 1, 2023



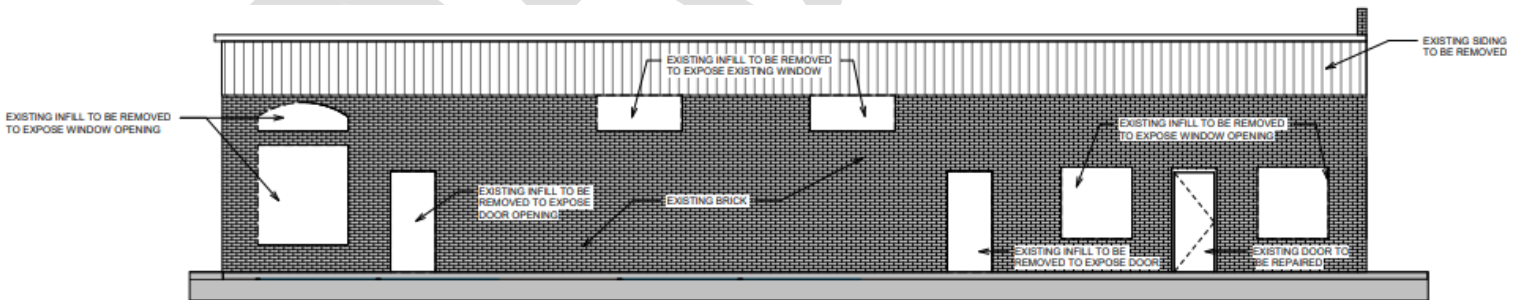
Existing Right (East) Elevation As Shown to HAHC on 11-09-2023



Proposed Right (East) Elevation As Approved by HAHC on 11-9-2023



Existing Right (East) Elevation



Right Elevation Continued on Next Page

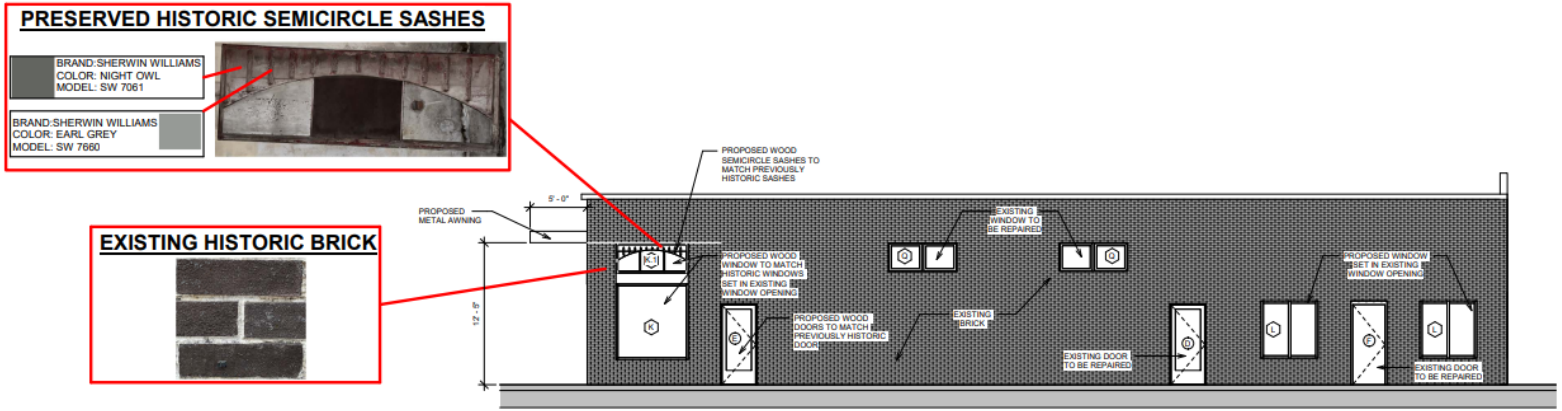
Right (East) Elevation – Photo Provided by Agent for 12-14-2022 HAHC Meeting



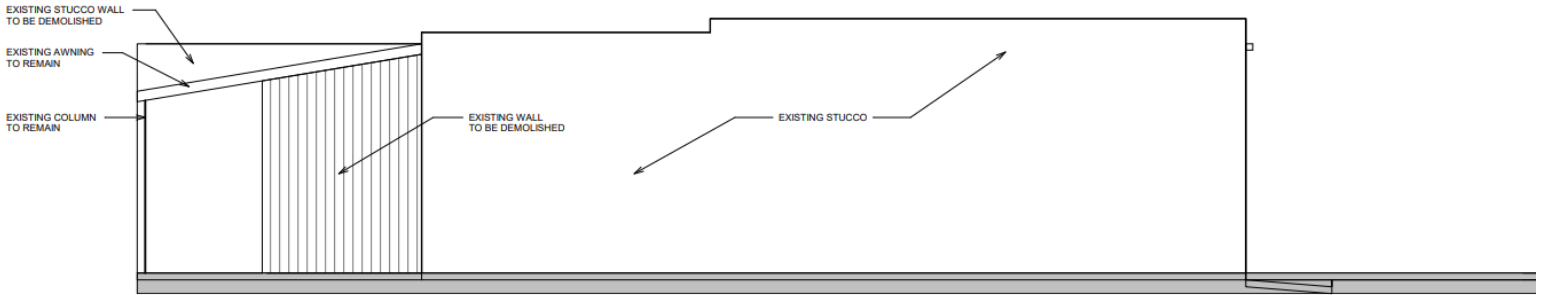
Interior Photos of Window and Door Taken By Staff September 19, 2023



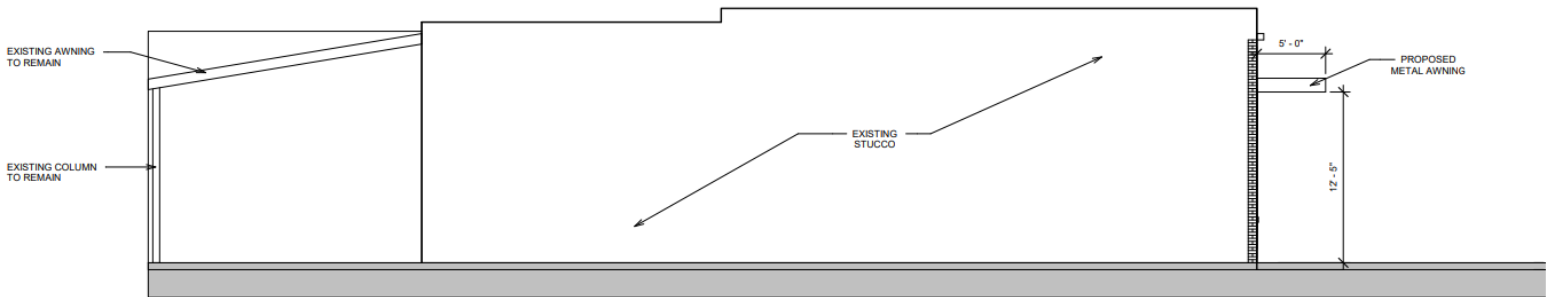
Proposed Right (East) Elevation



Existing and Proposed Left (West) Elevation

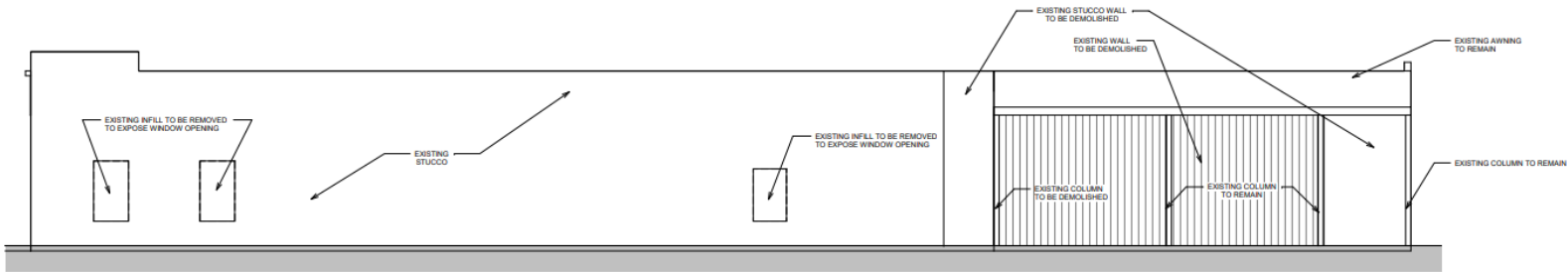


2 EXISTING WEST ELEVATION
A.503 3/16" = 1'-0"

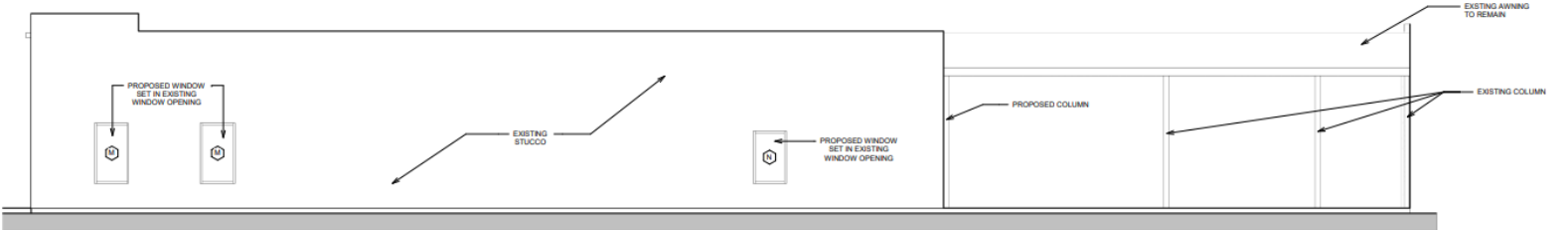


1 PROPOSED WEST ELEVATION
A.503 3/16" = 1'-0"

Existing and Proposed Rear (North) Elevation



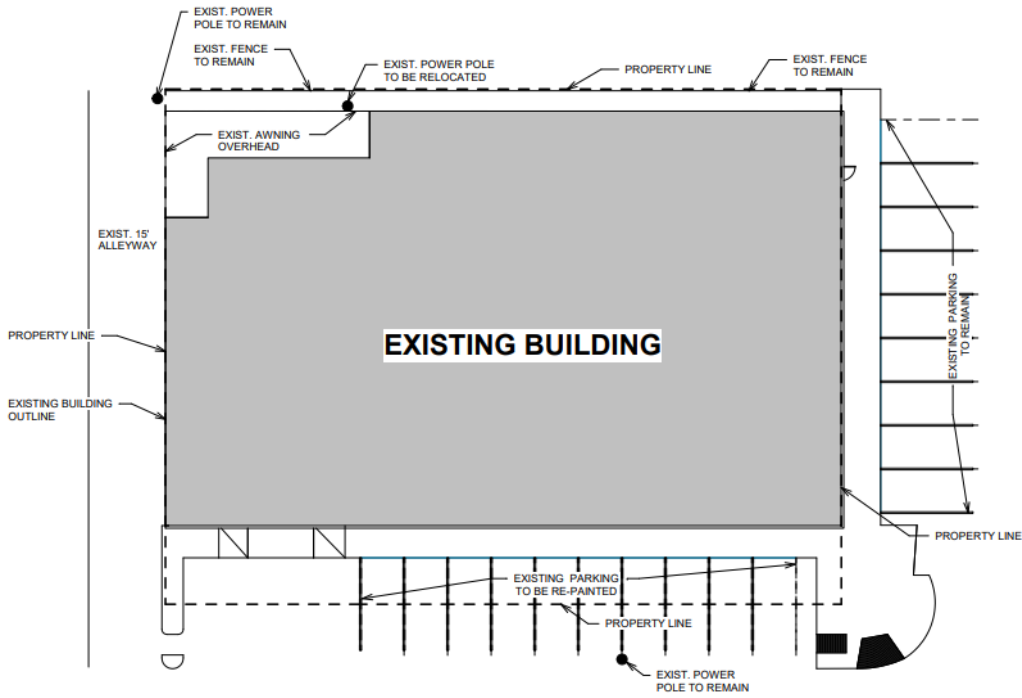
1 EXISTING NORTH ELEVATION
A-502 3/16" = 1'-0"



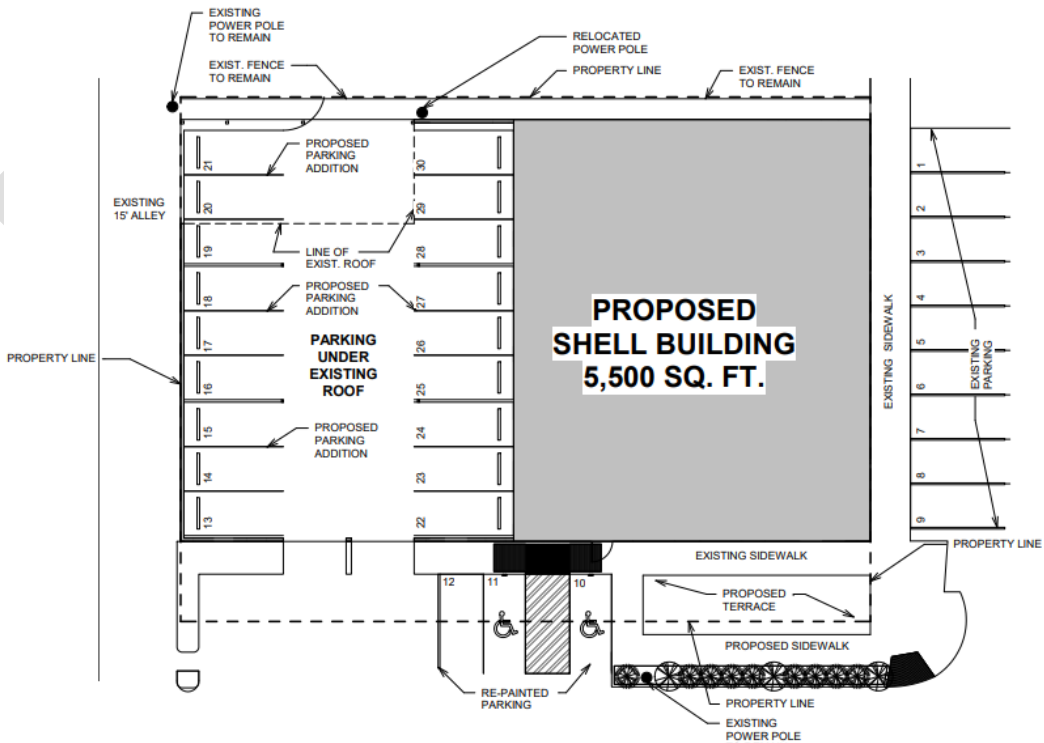
2 PROPOSED NORTH ELEVATION
A-502 3/16" = 1'-0"

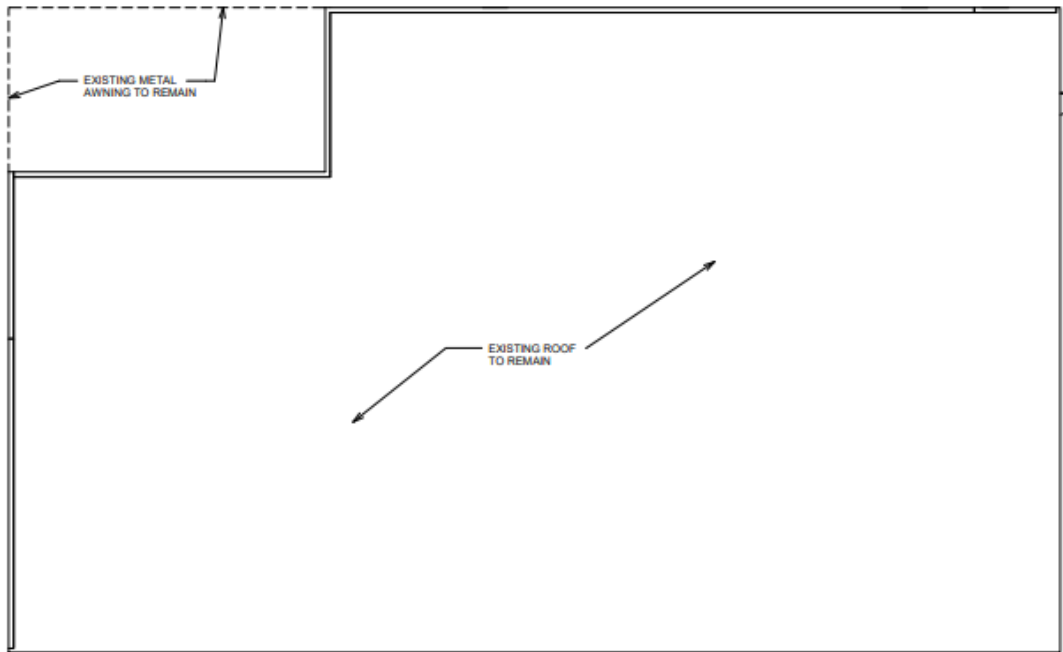
DRAFT

Existing Site Plan

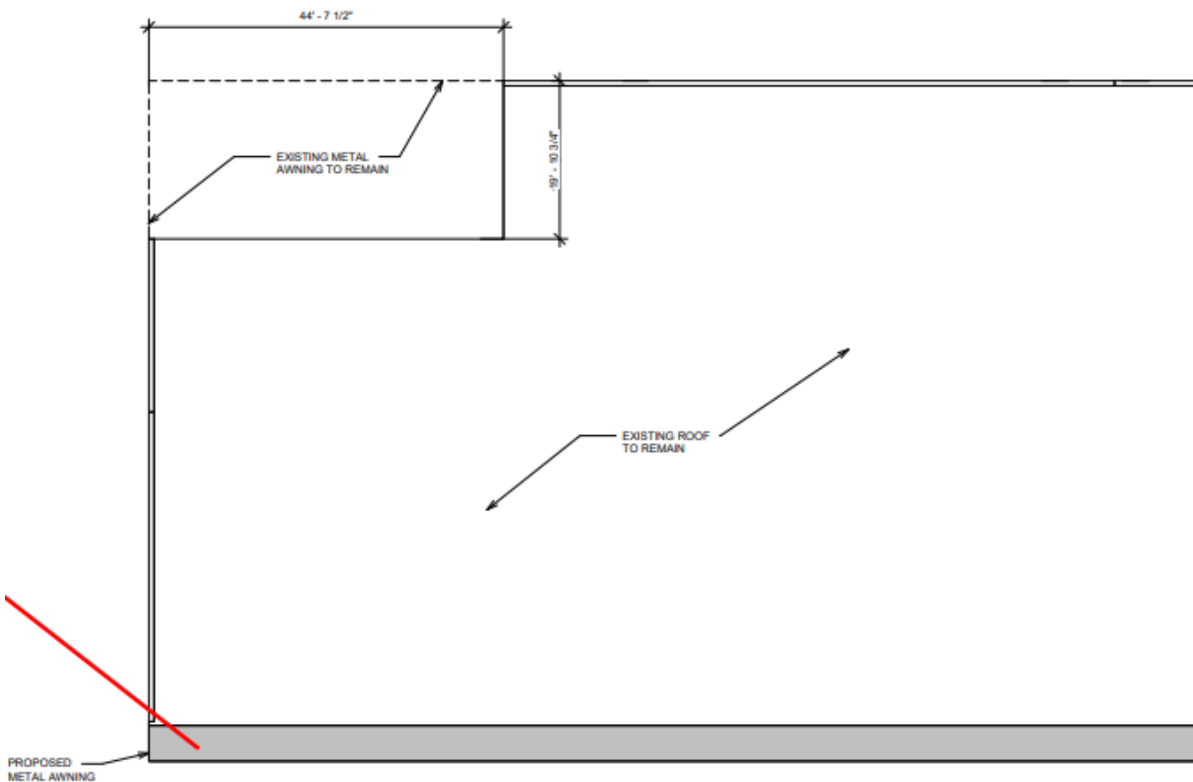


Proposed Site Plan



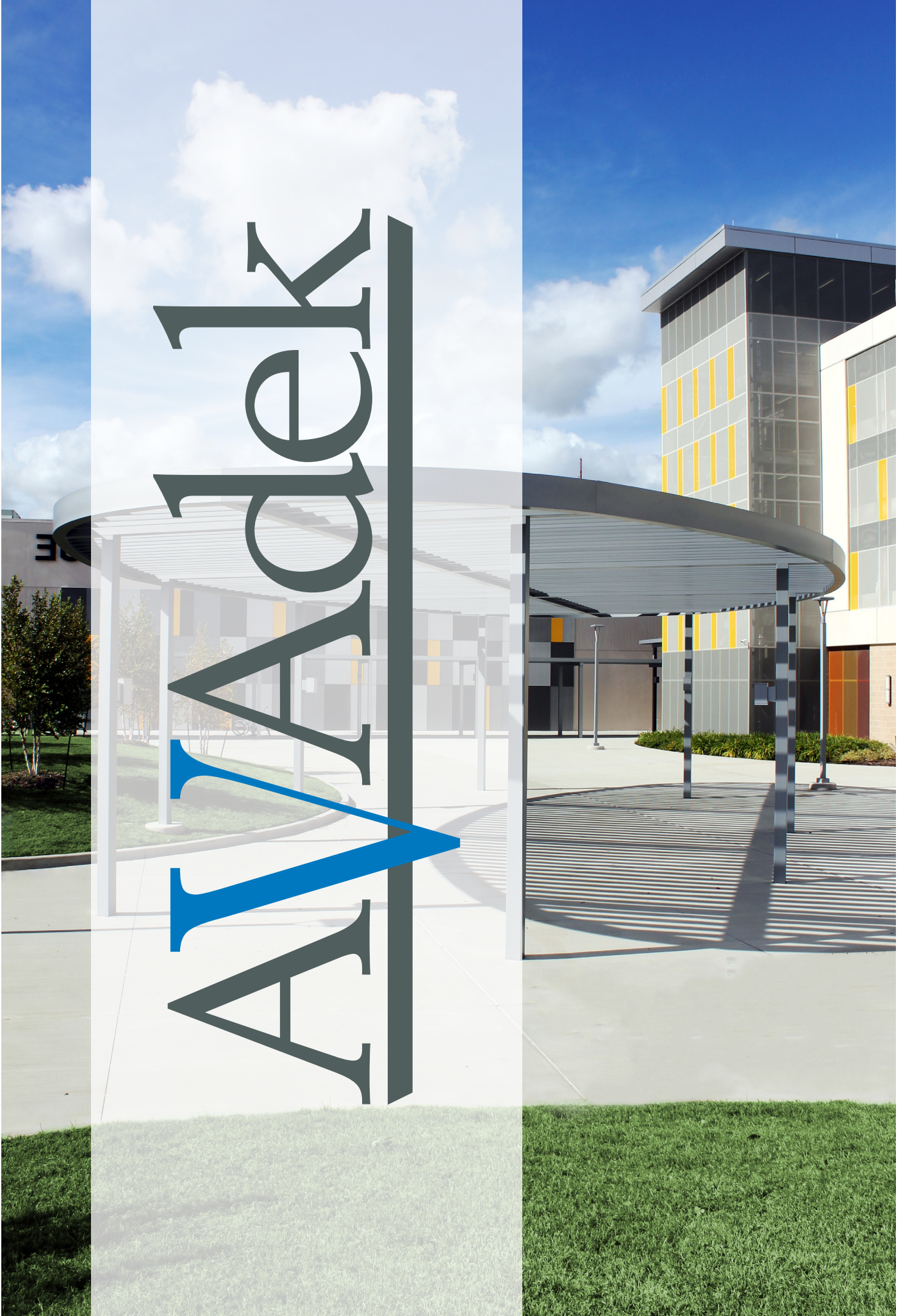


1 **EXISTING ROOF PLAN** N
A.102 3/32" = 1'-0"



2 **PROPOSED ROOF PLAN** N
A.102 3/32" = 1'-0"

AVADEK





Valley Oaks ES, PBK Architects



Gateway Community Church, Levinson Alcoser Associates



Remington College, Browne Penland McGregor Stephens Architects



Creekside Surgery Center, Browne McGregor Architects



Town Centre One, Kirksey



Himalaya Herbal Healthcare, Kirksey



Fairmont Center, CDA Architects



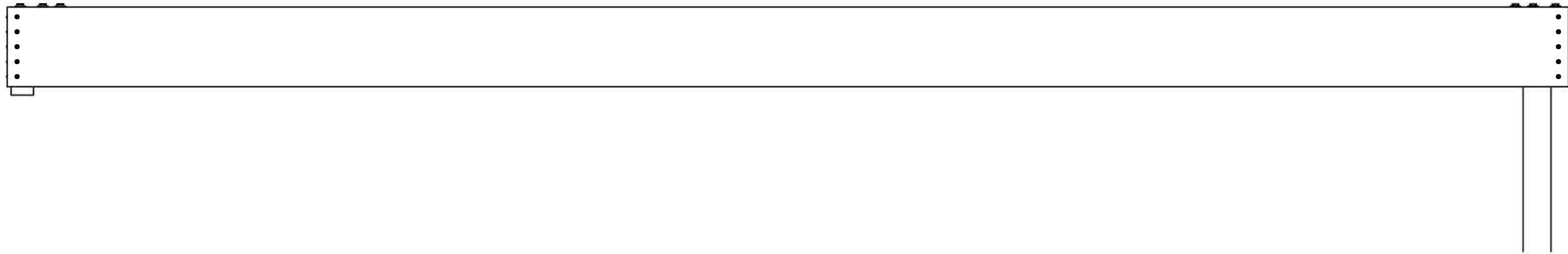
OakBend Medical Group, Seeberger Architecture

ENTRY CANOPIES

Ideal for commercial and retail entrances, adding an entry canopy can create a lasting first impression. A wide range of design capabilities allows the finished product to perfectly blend with any storefront or commercial building. Functional, low-maintenance, and aesthetically pleasing – an AVAdek entry canopy is a key element, maximizing your usable space and enhancing your entryway.

M#### - SUPER LUMIDECK CANTILEVER CANOPY / FLAT SOFFIT (PERP)

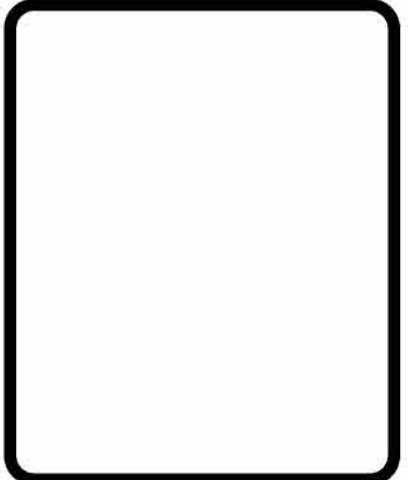
FOR REFERENCE ONLY



Canopy Type:

Architect:

Drawn:	12/3/2019	BJW



M####	sheet:
	01
	of 6

General Notes:

1. MAPES ARCHITECTURAL CANOPIES REQUIRES ONE (1) SET OF CORRECTED DRAWINGS TO REVISE APPROVAL DRAWINGS, OR AN APPROVED SET OF DRAWINGS IN ORDER TO FABRICATE ORDER
2. ORDERS REQUIRING ENGINEERING WILL "ONLY" BE FABRICATED "AFTER" DRAWINGS ARE APPROVED
3. VERIFY ALL CANOPY AND FIELD DIMENSIONS PRIOR TO RELEASING FOR FABRICATION
4. ALL ORDERS NOT APPROVED FOR PRODUCTION WITHIN 90 DAYS OF PURCHASE ORDER ARE SUBJECT TO A REVIEW OF PRICING
5. ALL FASTENER HOLES NOT OTHERWISE NOTED ARE TO BE FIELD DRILLED
6. ALL FASTENERS NOT OTHERWISE NOTED ARE STAINLESS STEEL OR ALUMINUM
7. ADEQUACY OF WALL AND BUILDING STRUCTURE MUST BE CERTIFIED BY BUILDINGS ENGINEER OF RECORD
8. WALL SYSTEMS W/ EIFS, BRICK VENEER OR METAL PANEL EXTERIOR DESIGN TYPICALLY REQUIRE COMPRESSION SPACERS TO PREVENT CRUSHING, SUPPLIED BY MAPES
9. IF NEEDED, MAPES SUPPLIES 1026 DOM TUBING FOR COMPRESSION SPACERS. THE TUBING WILL BE SUPPLIED IN 24" LENGTHS TO BE CUT DOWN IN THE FIELD AS NEEDED. ENOUGH TUBING WILL BE SENT FOR 6" PER ANCHOR POINT UNLESS OTHERWISE NOTED. IT'S INTENT IS ONLY TO SPAN THROUGH ANY NON-STRUCTURAL EXTERIOR CLADDING.
10. MAPES SUPPLIES ALL HARDWARE NEEDED TO ANCHOR CANOPY TO STRUCTURE. ALL STRUCTURE BEARING LOAD OF CANOPY ANCHORS IS TO BE DESIGNED, ENGINEERED, AND SUPPLIED BY OTHERS.

Project Notes:

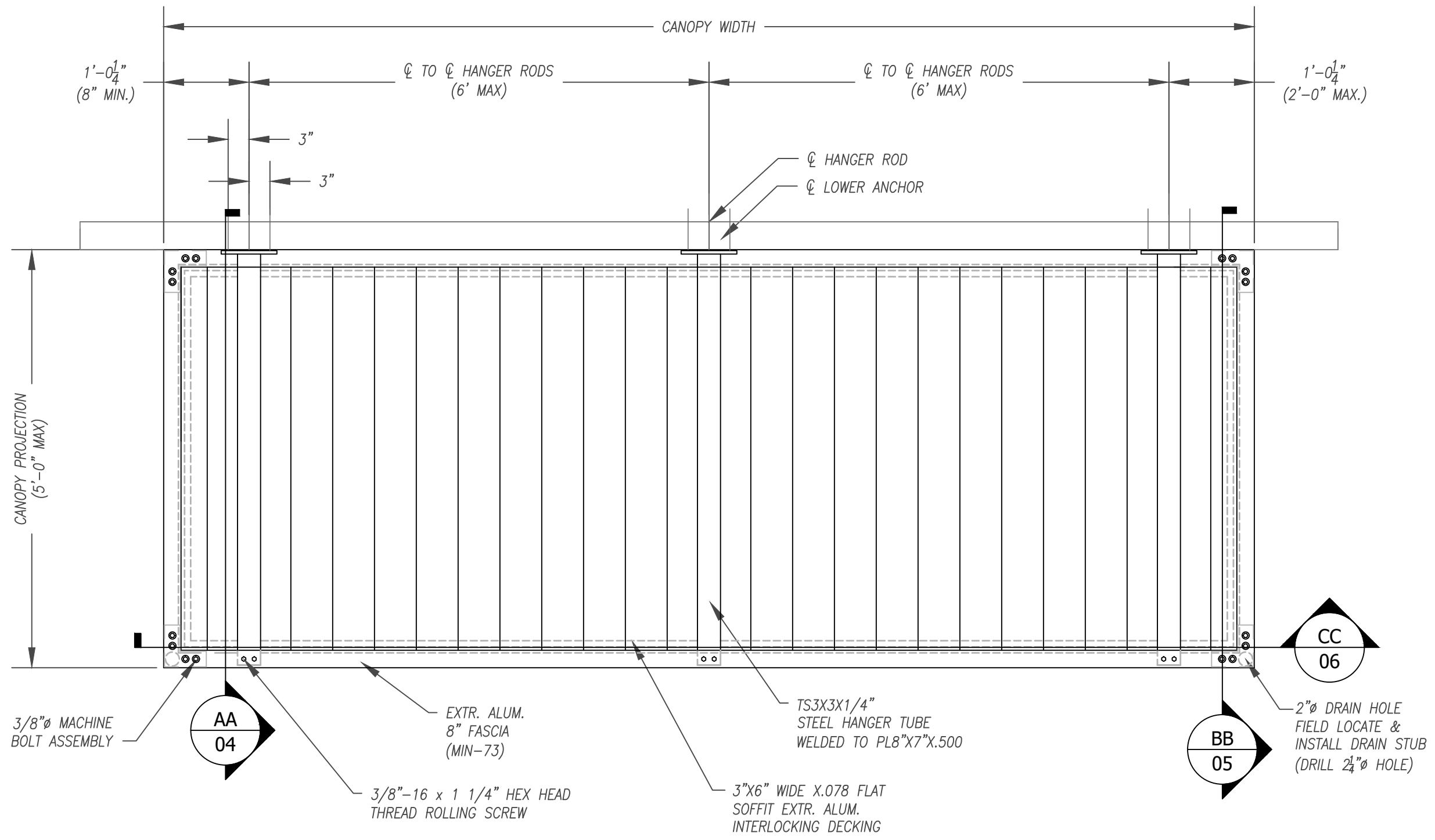
1. SUPER LUMIDECK CANOPY
2. 3" HANGER TUBE
3. FLAT SOFFIT DECKING (PERP)
4. 8" FASCIA
5. FASCIA DRAIN W/ DRAIN STUBS / REAR DRAINAGE W/ DOWNSPOUT

<i>Drawing Schedule</i>	
<i>Page #</i>	<i>Description</i>
01	Cover
02	General Information
03	Canopy Plan
04	Section AA
05	Section BB
06	Section CC

Design Notes:

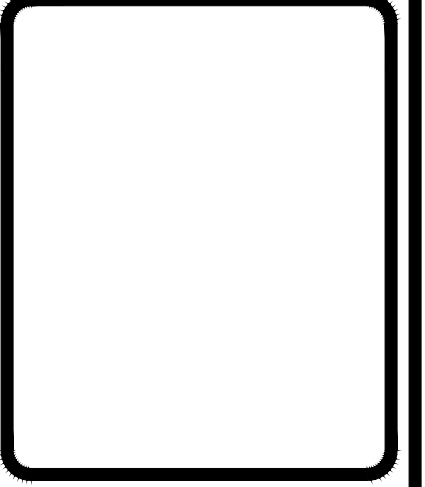
1. FINISH SHALL BE BRONZE BAKED ENAMEL, WHITE BAKED ENAMEL OR CLEAR ANODIZED
2. FINISH SHALL BE POWDER COAT
3. FINISH SHALL BE TWO COAT KYNAR
4. COLOR SHALL BE CHOSEN FROM MAPES STD SMOOTH COLOR CHART
5. COUNTER FLASHING AND SEALANT, BY CANOPY INSTALLER
6. SURROUND WALL ANCHORS WITH WATER TIGHT SEALANT
7. EMBED ALL WALL ANCHOR WASHERS IN SEALANT TO PROVIDE WATERTIGHT SEAL AT WALL
8. TO ENSURE PROPER DRAINAGE, INSTALL CANOPY WITH POSITIVE CAMBER
9. FASCIA DRAIN W/ DRAIN STUBS / REAR DRAINAGE W/ DOWNSPOUT

<i>Canopy Type:</i>		
<i>Architect:</i>		
<i>Drawn:</i>		
		<i>sheet:</i>
		<i>02</i>
		<i>of 6</i>



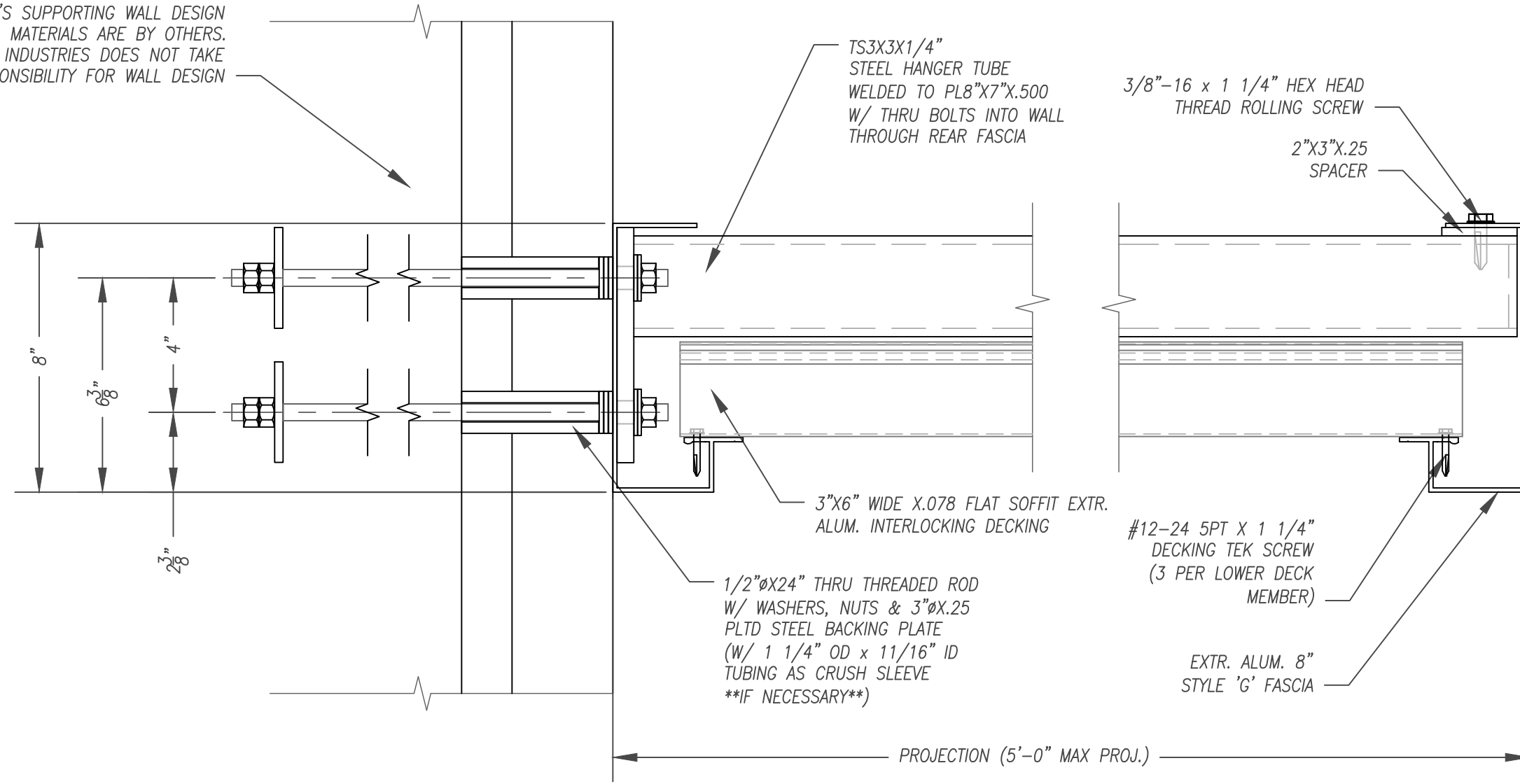
1 CANOPY PLAN
Scale: 3/4" = 1'-0"

Canopy Type:		
Architect:		
Drawn:	12/3/2019	BJW



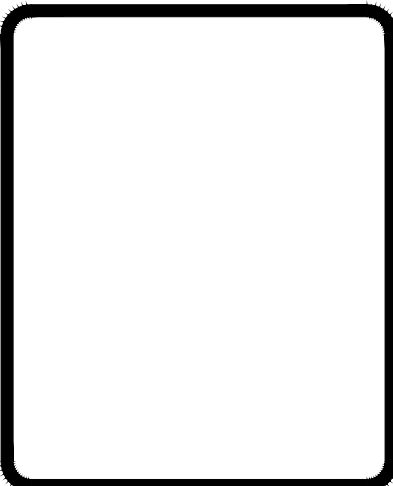
M####	sheet:
	03
3/4" = 1'-0"	of 6

ADEQUACY OF BUILDING STRUCTURE TO HANDLE LOADS IMPARTED BY CANOPY MUST BE DETERMINED BY BUILDINGS ENGINEER OF RECORD OR PROJECT MANAGER. THE CANOPY'S SUPPORTING WALL DESIGN AND MATERIALS ARE BY OTHERS. MAPES INDUSTRIES DOES NOT TAKE RESPONSIBILITY FOR WALL DESIGN

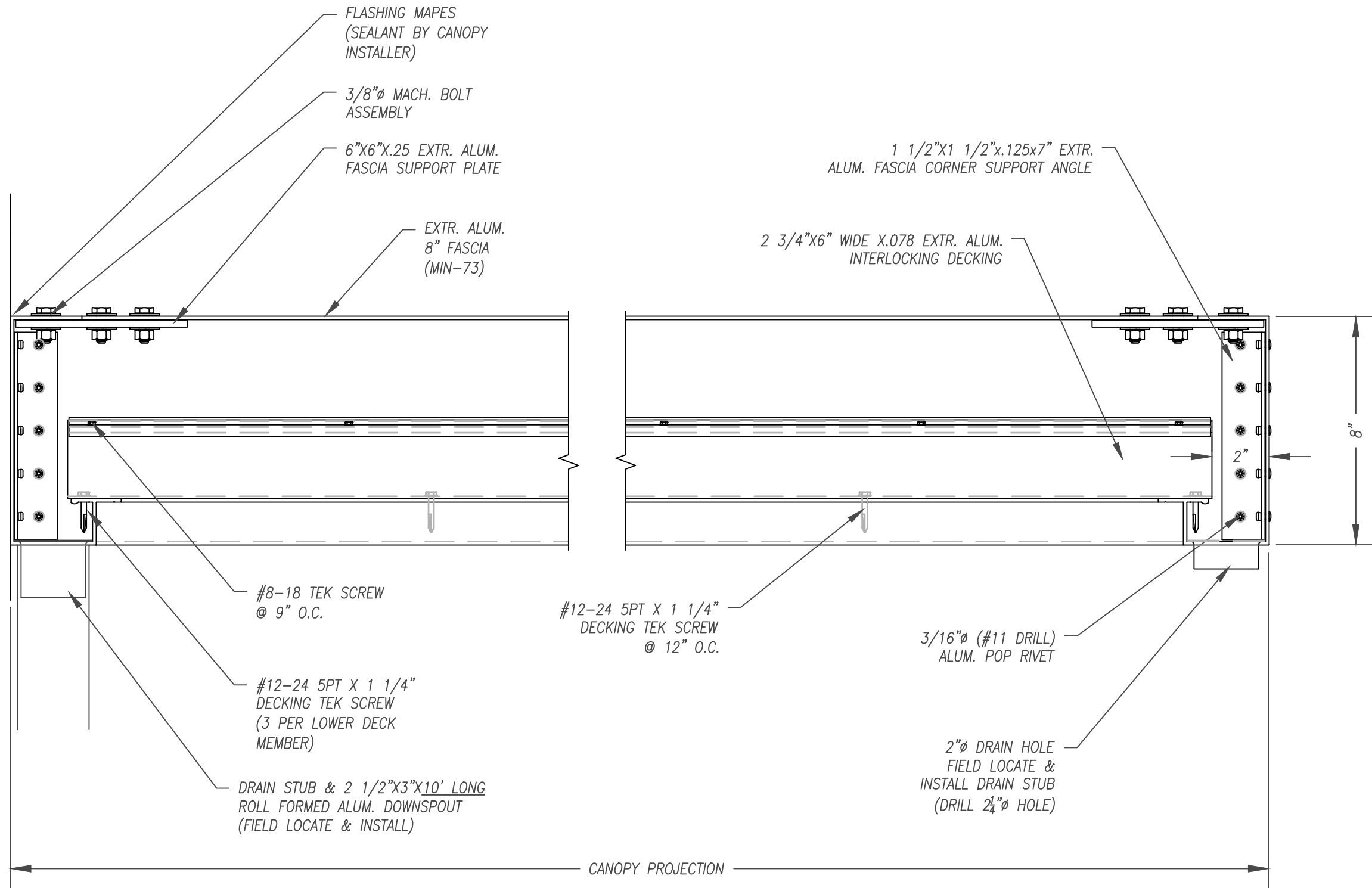


AA SECTION @ HANGER TUBE
Scale: 3" = 1'-0"

Canopy Type:		
Architect:		
Drawn:	12/3/2019	BJW



M####	sheet:
	04
3" = 1'-0"	of 6



Canopy Type:

Architect:

Drawn: 12/3/2019 BJW

BB

SECTION @ END CANOPY

Scale: 3" = 1'-0"

M####

sheet:

05

3" = 1'-0"

of 6

