

CERTIFICATE OF APPROPRIATENESS

Application Date: March 13, 2024

Applicant: Maureen Silk, agent for Christine Nguyen, owner

Property: 2009 W Gray Street, Tract 9. The commercial property includes the historic River Oaks Theatre and the River Oaks Community Shopping Center.

Significance: The River Oaks Community Shopping Center is a City of Houston Landmark designated in June 2007. The commercial building was constructed circa 1937.

Proposal: Alteration – Signs

Applicant is proposing new signage to display the name of the establishment, Leo's.

- Install one reverse-lit channel letters to front elevation of building
 - Faces: 1/8" aluminum, PTM P1
 - Returns: .040 aluminum, black
 - Backs: .150 clear polycarbonate
 - LEDs: White LEDs
 - Power: 120v/60w
 - Fasteners: 3/8" x 5" minimum non-ferrous
 - Stand-offs: PTM P2 – wall color
 - Flush stud mounted: 3/8" x 5" minimum

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

CURRENT PHOTO






AERIAL VIEW OF PROPERTY



DRAFT

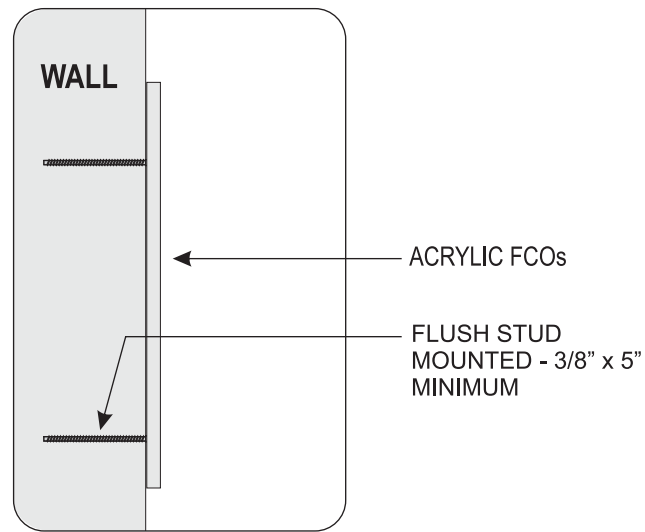
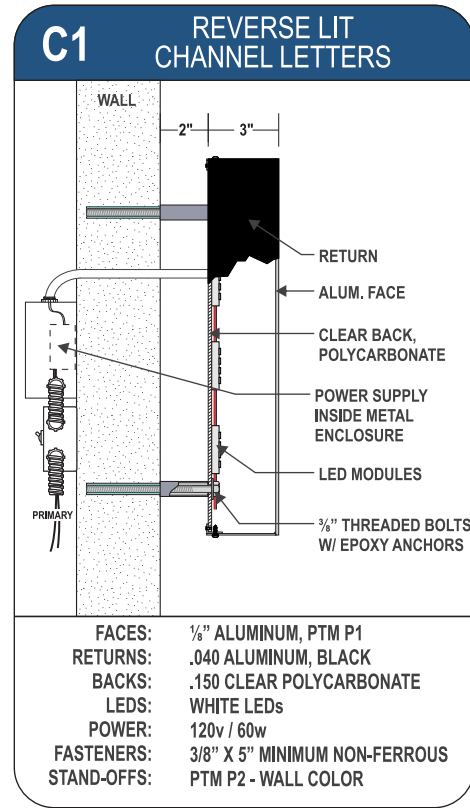
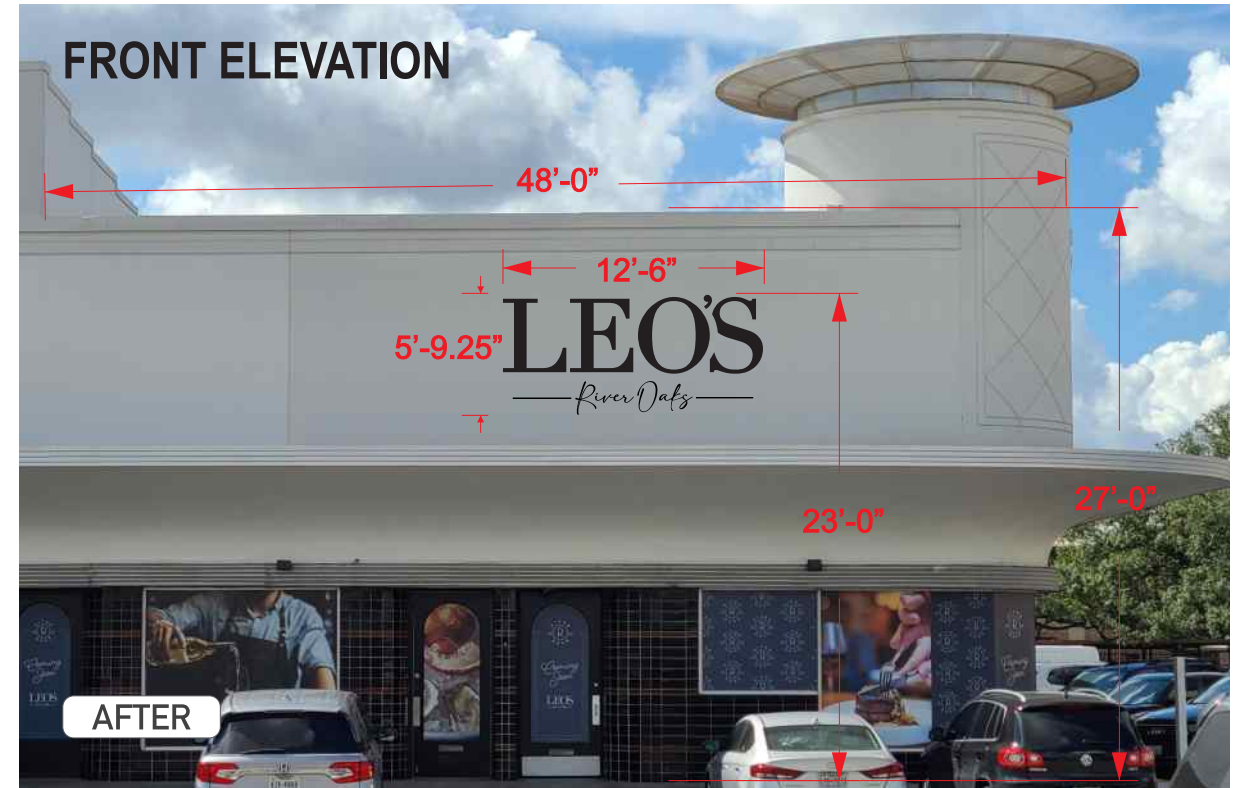
SEE ATTACHMENTS

DRAFT

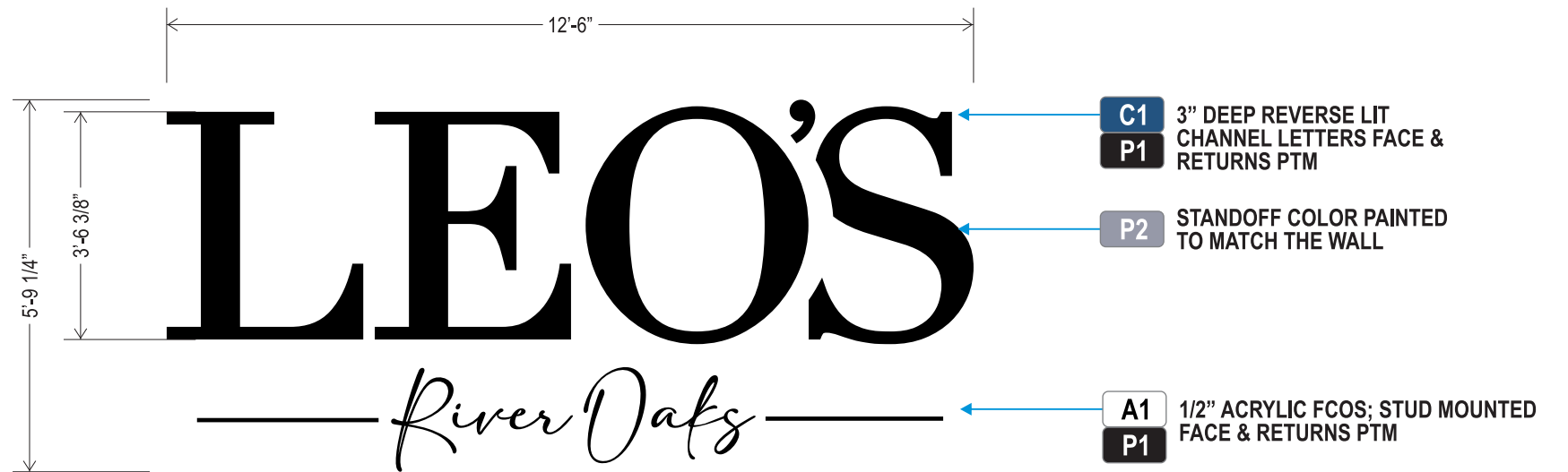
SIGN TYPE	
MFG. & INSTALL (1) SET OF REVERSE LIT CHANNEL LETTERS WITH (1) SET OF 1/2" ACRYLIC FLAT CUT OUTS.	
MATERIAL SPEC	
	A1: 1/2" ACRYLIC
PAINT SPEC - SATIN FINISH	
	P1: MP - BLACK
	P2: MP - MATCH WALL COLOR



FRONT ELEVATION
SCALE: 1/8"=1'-0"



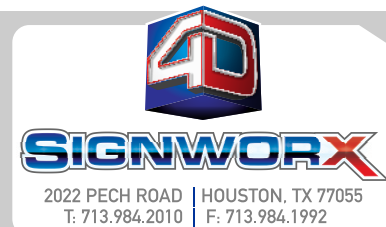
72.14 SQ. FT.



SIGN LAYOUT
SCALE: 3/8"=1'-0"

THIS IS ONLY AN ARTIST RENDERING. FINISHED PROJECT MAY VARY SLIGHTLY IN SIZE AND COLOR.

PROJECT



PROJECT INFO

CLIENT: LEO'S RIVER OAKS
 ADDRESS: 2009 W GRAY ST., SUITE D
 CITY, STATE: HOUSTON TX 77019
 DATE: 9/22/22
 SALES REP: JG
 DRAWN BY: VT

DRAWING NUMBER

PRO22-1344-2

W.O. (E2) NUMBER

#	DATE	REVISIONS	KW
1	2/27/24	REVISIONS	KW
2	3/5/24	SIZE UPDATE	CS
3			
4			
5			
6			

SIGNATURES

CLIENT APPROVAL
 SIGNED: DATE:
 LANDLORD APPROVAL
 SIGNED: DATE:
 SALES
 SIGNED: DATE:

ESTIMATION

APPROVAL _____
 APPROVAL _____
 APPROVAL _____
 APPROVAL _____

FOR ACTUAL COLORS OF ITEMS DEPICTED IN THIS DESIGN REFER TO SAMPLES, AS MONITORS & PRINTERS VARY.
 CLIENT IS RESPONSIBLE FOR SUPPLYING VECTOR AND/OR HIGH-RES TYPICAL BRANDING FILES PRIOR TO PRODUCTION TO AVOID A SET-UP FEE.

SPECIFICATION

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

ILLUMINATED
 120 or 277 VOLT ELECTRICAL SERVICE
 ELECTRICAL LOAD: **2 AMPS**
 20 AMP CIRCUIT(S): **1 @ 120v**
 CLIENT TO PROVIDE ALL PRIMARY ELECTRICAL SERVICES TO THE SIGN UNLESS OTHERWISE SPECIFIED

211169 - LEO'S RIVER OAKS – EXTERIOR SIGNAGE

**2009 W. GREY
HOUSTON, TX 77019**
Leo's River Oaks Exterior Signage.

