

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 727 Fugate Street, Houston, TX 77009

Historic District / Landmark Historic District

HCAD # 0621130000003

Subdivision East Norhill

Lot 3

Block 201

DESIGNATION TYPE

- Landmark Contributing
 Protected Landmark Noncontributing
 Archaeological Site Vacant

PROPOSED ACTION

- Alteration or Addition Relocation
 Restoration Demolition
 New Construction Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name IRON ACORN INVESTMENTS, LLC
Company IRON ACORN INVESTMENTS, LLC
Mailing Address HOUSTON, TX 77024
HOUSTON, TX 77024
Phone (713) 597 - 4065
Email [REDACTED]
Signature
Date 08/31/2016

APPLICANT (if other than owner)

Name _____
Company _____
Mailing Address _____
Phone _____
Email _____
Signature _____
Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___ / ___ / ___ Application complete: ___ / ___ / ___

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



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Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the [Historic Preservation Web Manual](http://www.houstontx.gov/HistoricPreservationManual) for historic district profiles, project guidance and forms.

Historic Preservation Office 832.393.6556 historicpreservation@houstontx.gov

SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2016 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
January 28	January 6	January 18
February 25	February 3	February 15
March 24	March 2	March 14
April 21	March 30	April 11
May 19	April 27	May 9
June 16	May 25	June 6
July 28	July 6	July 18
August 25	August 3	August 15
September 22	August 31	September 12
October 20	September 28	October 10
November 17	October 26	November 7
December 14 (Wednesday)	November 22	December 4

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



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DEFINITIONS

Addition: any expansion to an existing building, structure or object.

Alteration: any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

Demolition: an act or process that destroys in whole, or a majority of, any building, structure, object or site.

Excavation: to expose, uncover, or remove by digging, cutting or hollowing out.

Exterior Feature: an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials and parts of the exterior wall assembly such as walls studs, interior shiplap and the foundation

Mandatory Repair: a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

New Construction: the erection of a new building, structure, or object, on a lot, site, or other property.

Relocation: any change in the location of a building, structure, or object.

Restoration: accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



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Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS:

BUILDING TYPE

- | | |
|--|--|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed site plan | <input type="checkbox"/> current roof plan |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> proposed roof plan |
| <input type="checkbox"/> proposed floor plans | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> current window and door schedule | <input type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight |

727 Fugate Street

Property Description

The property is on the east border of the Norhill Historic district designation where Fugate Street terminates. It was built in 1945 and last renovated in 1978. Considering its late construction relative to the rest of Norhill, various features on the home are unique to this property. The small front patio, asbestos clad siding, roof lines and pitch, and garage are all markedly different than the typical 1920's style homes in the area. The driveway terminates in front of the garage and does not continue up alongside the property as is common in the Norhill area. This area is a fenced off walkway which has access to a side entry garage door and the backyard. Behind the property, to the north, is a condominium. Since Fugate Street terminates to the west, the available vantage points of this property are directly in front or to the SW of the property (see photos below).

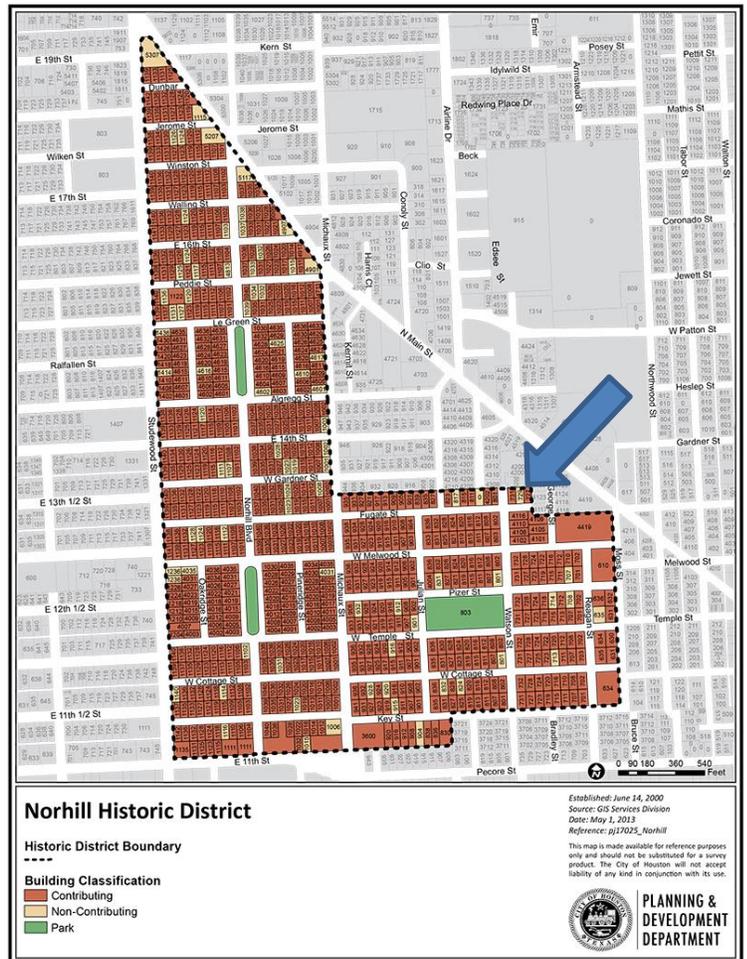
Interior measurements indicate a livable SQFT of 885 SQFT. The garage adds another 207 SQFT and is attached to front most right portion of the property, unlike other Norhill homes. The lot size is 4725 SQFT, allowing 1890 SQFT of primary structure SQFT per renovation guidelines (40% of lot size max) in the Norhill area. By virtue of its location on the border of the Norhill Historic District, there is only 1 neighboring property within the District and it is a non-contributing neighboring property to the west of the subject property with an HCAD listed area of 1445 SQFT.

This application is for a 618 SQFT addition to and renovation of the existing property. Remaining yard space along the east and NE corner of the property will be 800 SQFT (43.2' x 9.3' on east side, 34' x 11.5' in NE), 156 SQFT of which will be occupied by a proposed patio deck addition. Additional yard space will surround the west and north sides of the addition but will be less accessible and usable.

Front as viewed from SW approach.



Front as viewed @ end of Fugate St



Proposed Work

- Addition of 618 SQFT livable space on the rear of the property.
- Add wood patio deck in NE corner.
- Convert from a 2 bed/1 bath to 3 bed/3 bath.
- Remove aluminum shed in NE corner of property.
- Single hung wood frame windows with dimensions identical to windows on the existing structure.
- Repair/replace existing roof with same composition shingle type roof, leaving existing roof lines and geometry unchanged.

Current Building Material Conditions

The windows on the existing property are in good condition. Gutters are in good condition. Driveway and sidewalks are in fair condition. The siding is in good condition, but needs to be cleaned and re-painted. The roof is in poor condition and needs to be replaced. Given that it is a composite shingle roof, it is probably not original. The front porch is in good condition and is likely original. The aluminum shed in the NE corner of the lot was not original to the property and will be removed, along with the concrete slab underneath it.

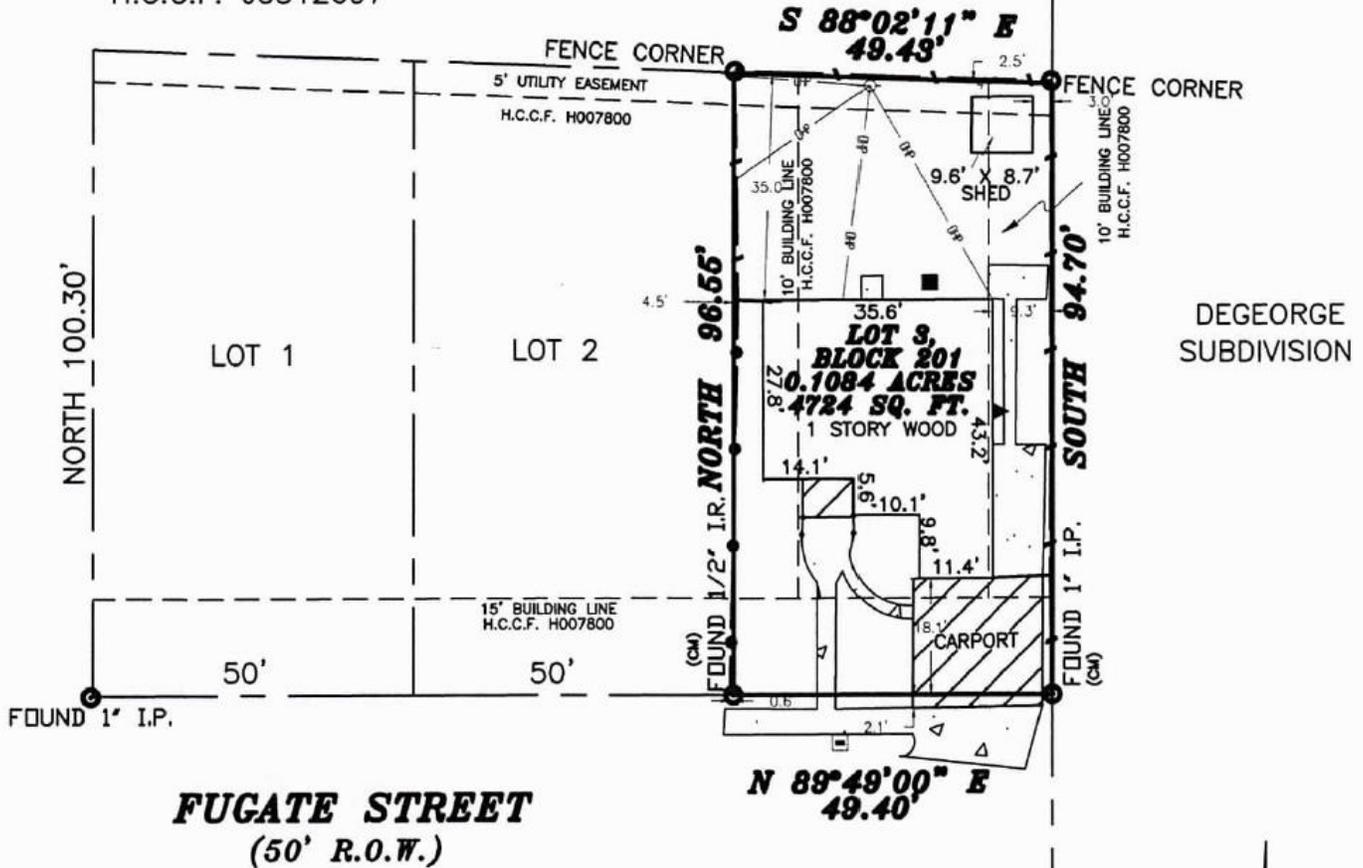
Proposed New Material Description

- Smooth HardiePlank siding and a pier and beam style foundation will be used for the addition.
- Single hung wood frame windows with dimensions identical to most of the windows on the existing property will be used on the addition. Trim work identical to the existing windows will be used for windows on the addition.
- Composite shingle roof.
- Stained wood patio deck area in a portion of the east side and backyard.

Property Photos



DEGEORGE PARK CONDO
H.C.C.F. J0512697



LEGEND

These standard symbols will be found in the drawing.

- FOUND MONUMENT
- A/C PAD
- ▲ GAS METER
- + GUY WIRE
- ⊙ POWER POLE
- WATER METER



CONCRETE



COVERED AREA

- CHAIN LINK FENCE
- OP— OVERHEAD POWER
- \— WOOD FENCE

NOTES:
UPDATED 8/19/2016 WITH DIMENSIONS FROM BOUNDARY TO HOUSE AND SHED GARAGES AND OTHER OUTBUILDINGS MUST BE SET BACK 60' FROM FRONT PROPERTY LINE AND 20' FROM THE SIDE PROPERTY LINE PER H.C.C.F. H007800
SURVEYOR DID NOT RESEARCH SUBJECT PROPERTY FOR ANY UNDISCLOSED EASEMENTS BEARING ORIENTATION BASED ON NORTHERN RIGHT OF WAY OF FUGATE STREET (50' R.O.W.) ANY IMPROVEMENTS SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES BEARINGS BASED ON RECORDED PLAT OF EAST NORHILL RECORDED IN VOL 6, PG 65 M.R.H.C. FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE SUBJECT TRACT ON THE FIRMS THE INFORMATION SHOULD ONLY BE USED TO DETERMINE FLOOD INSURANCE RATES AND NOT TO ANY ACTUAL FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE FIRMS

1" = 30'

LOT: 3	BLOCK: 201	SECTION:	SUBDIVISION: EAST NORHILL	This lot does not appear to lie in the 100 year flood plain and appears to be in ZONE X as located by the Federal Insurance Administration designated Flood Hazard Area by Community Panel No. 48201C0870M dated 06/09/2014
RECORDATION: VOL 6, PG 65 M.R.H.C.	COUNTY: HARRIS	ST.: TX	ABSTRACT: J. AUSTIN, A-1	
PURCHASER: [REDACTED] ADDRESS: 727 FUGATE STREET HOUSTON, TX 77009				JOB #: 1608160
FIELD WORK: JM				I, David E. King, Sr., Texas Registered Professional Surveyor Number 4503, hereby certify to the Title Insurer, Lender, and Purchaser referenced herein ONLY, that this plat was made from an actual survey on the ground by me or under my direction; this survey substantially complies to the current Texas Society of Professional Surveyors Standards and Specifications. Not valid without both electronic seal and signature.
DRAFTED BY: JA 8/19/2016				
CHECKED BY: DK, SR				
G.F. NUMBER: 1606945-15				



FIRM NO.
10152100

DAVID E. KING DATE 8/24/16

KLSS
KING'S LAND SURVEYING SOLUTIONS, LLC
Professional Land Surveyors
315 OGDEN STREET #205 SPRING, TX 77388 (281)320-8003

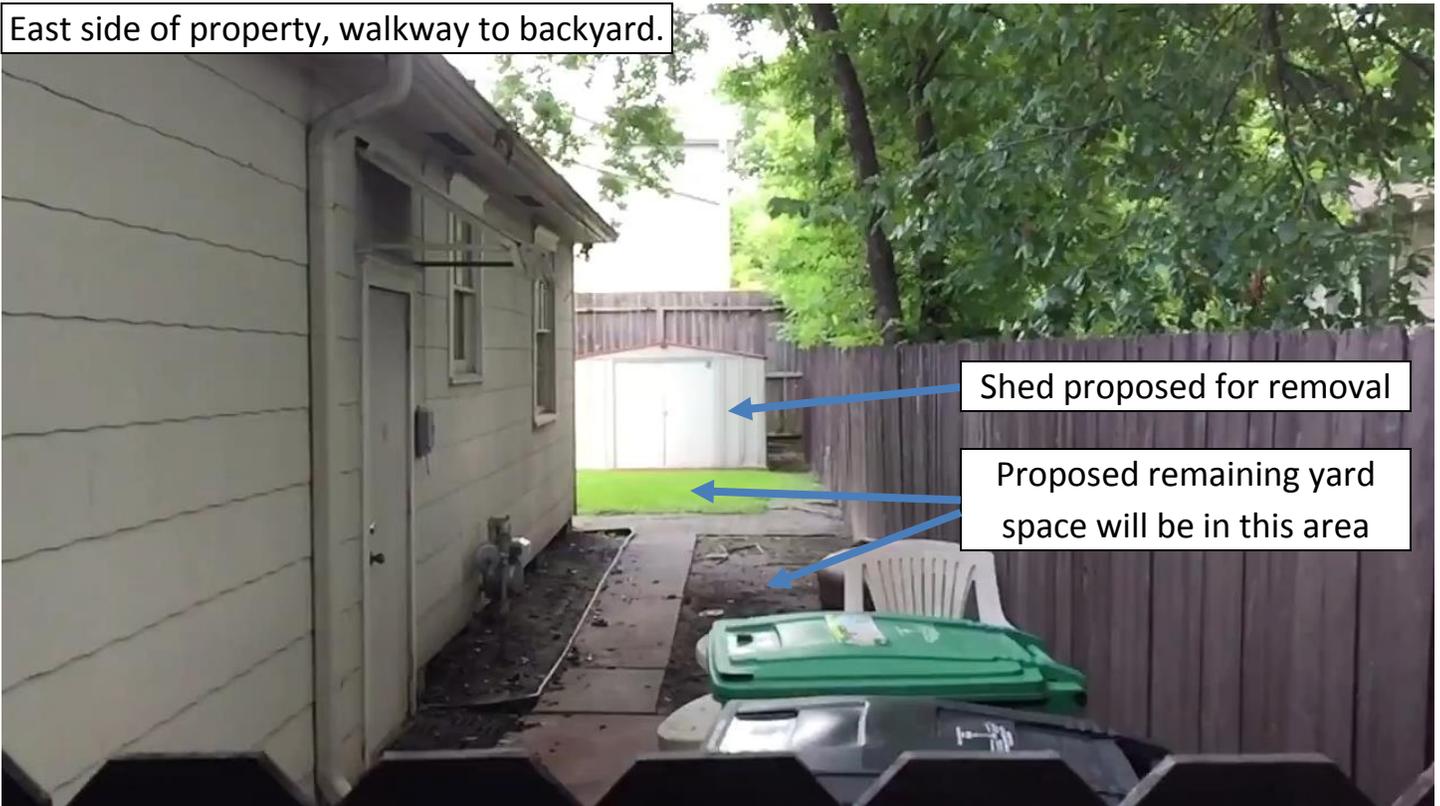
Front of property.



Viewing SW front corner of property.



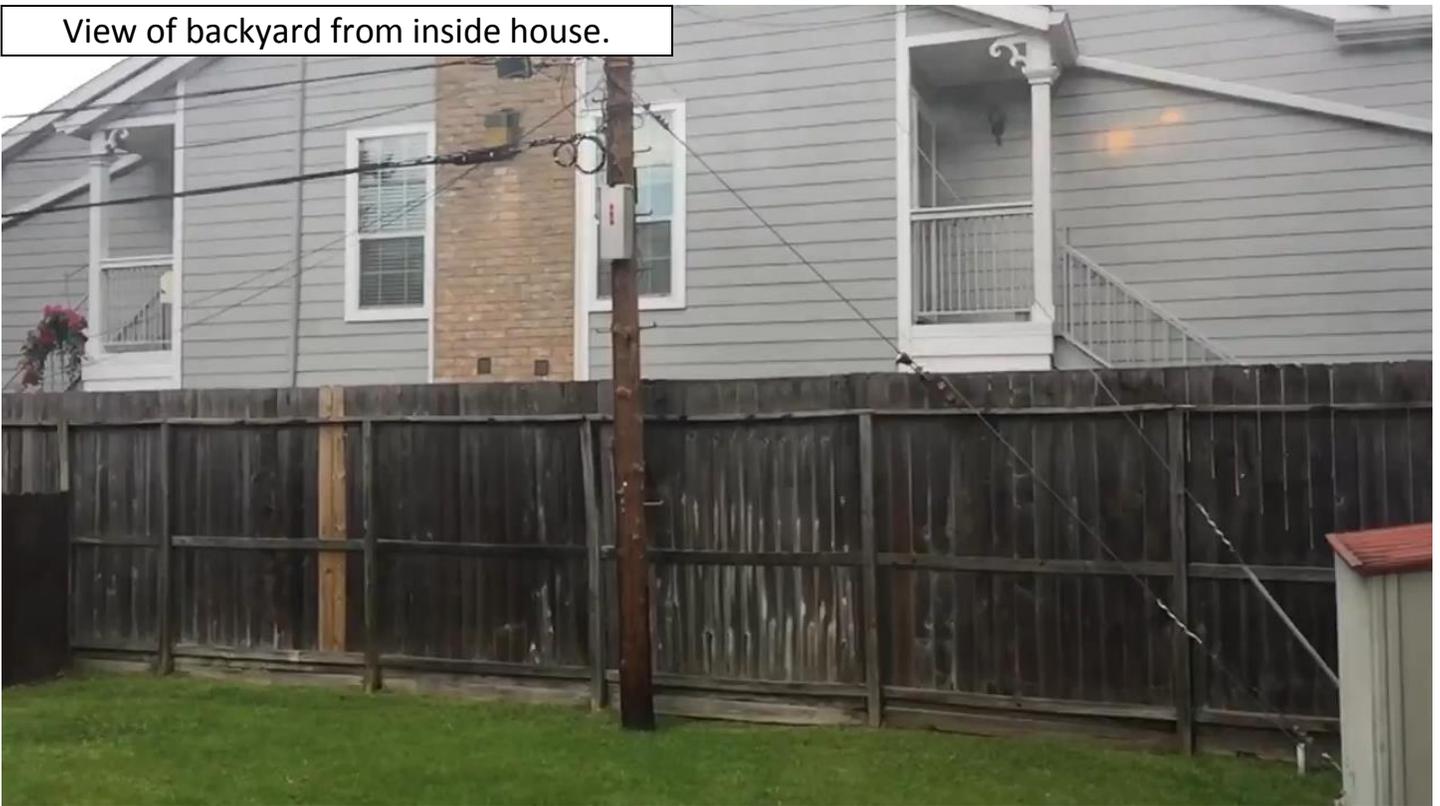
East side of property, walkway to backyard.



Shed proposed for removal

Proposed remaining yard space will be in this area

View of backyard from inside house.



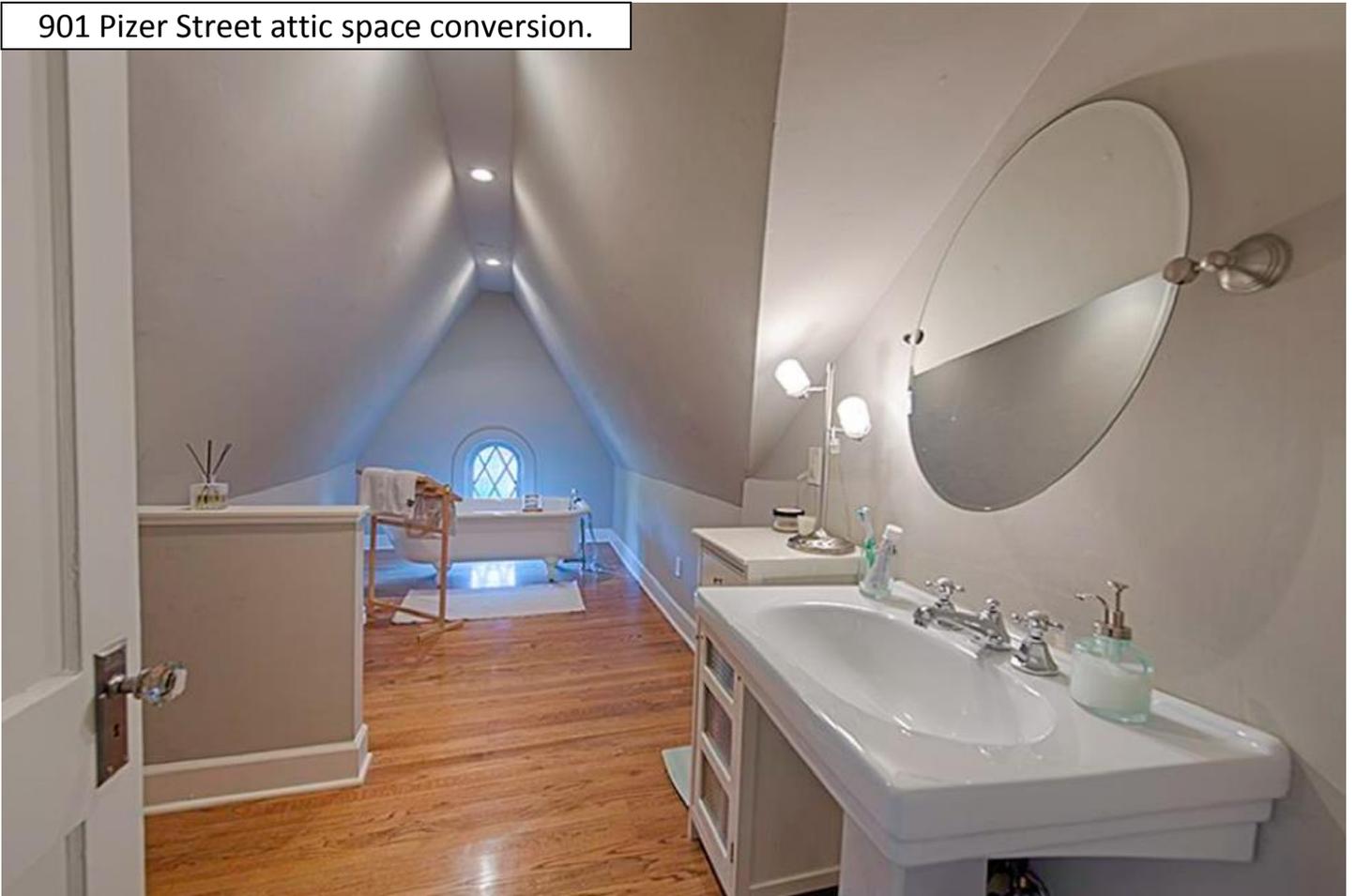
Northeast corner of property, in backyard.



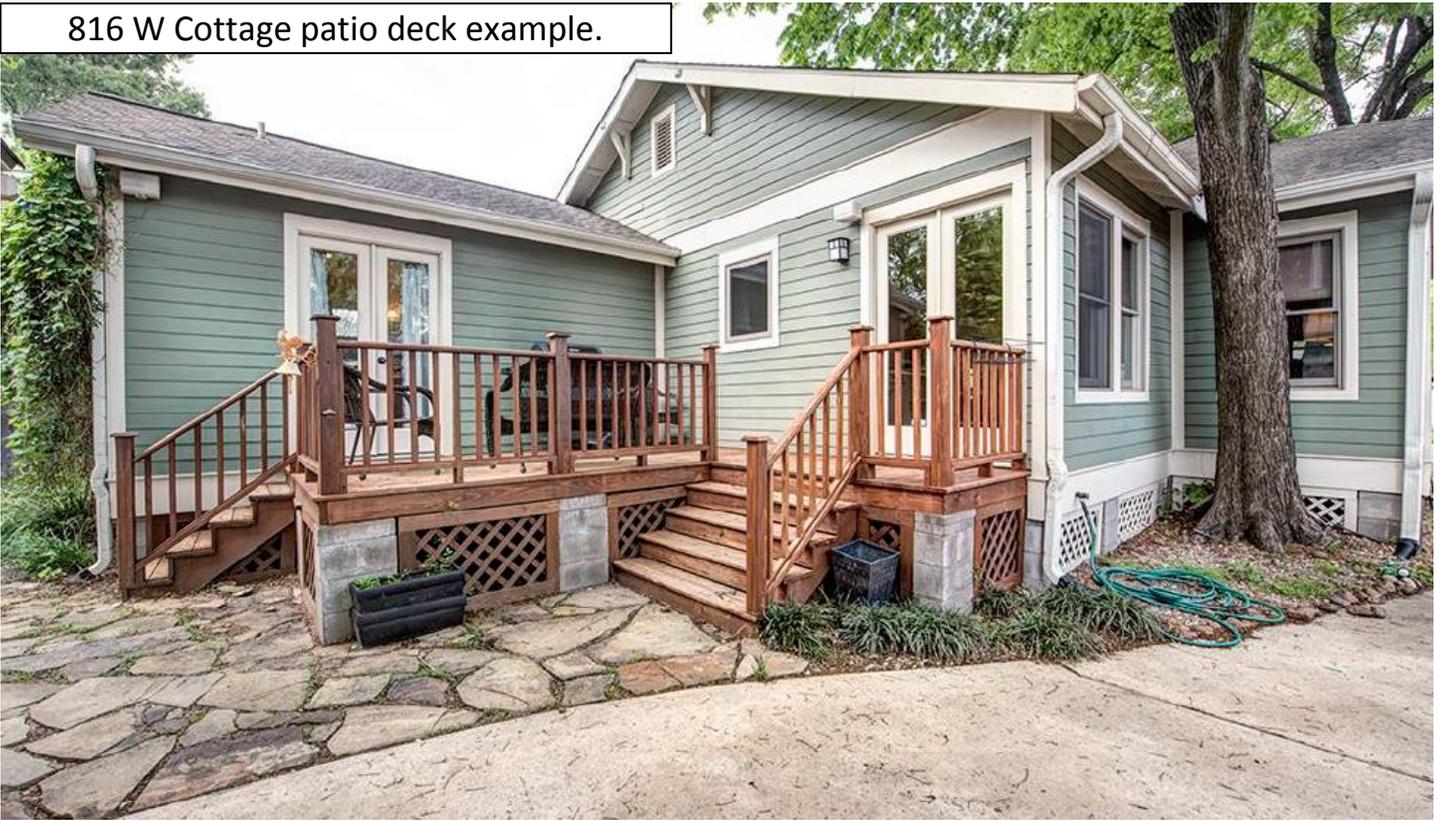
901 Pizer Street attic space conversion.



901 Pizer Street attic space conversion.



816 W Cottage patio deck example.



project:
a remodel for:
Mr. & Mrs. McKeon
727 Fugate St.
Houston, Texas
77009

issues/visions:

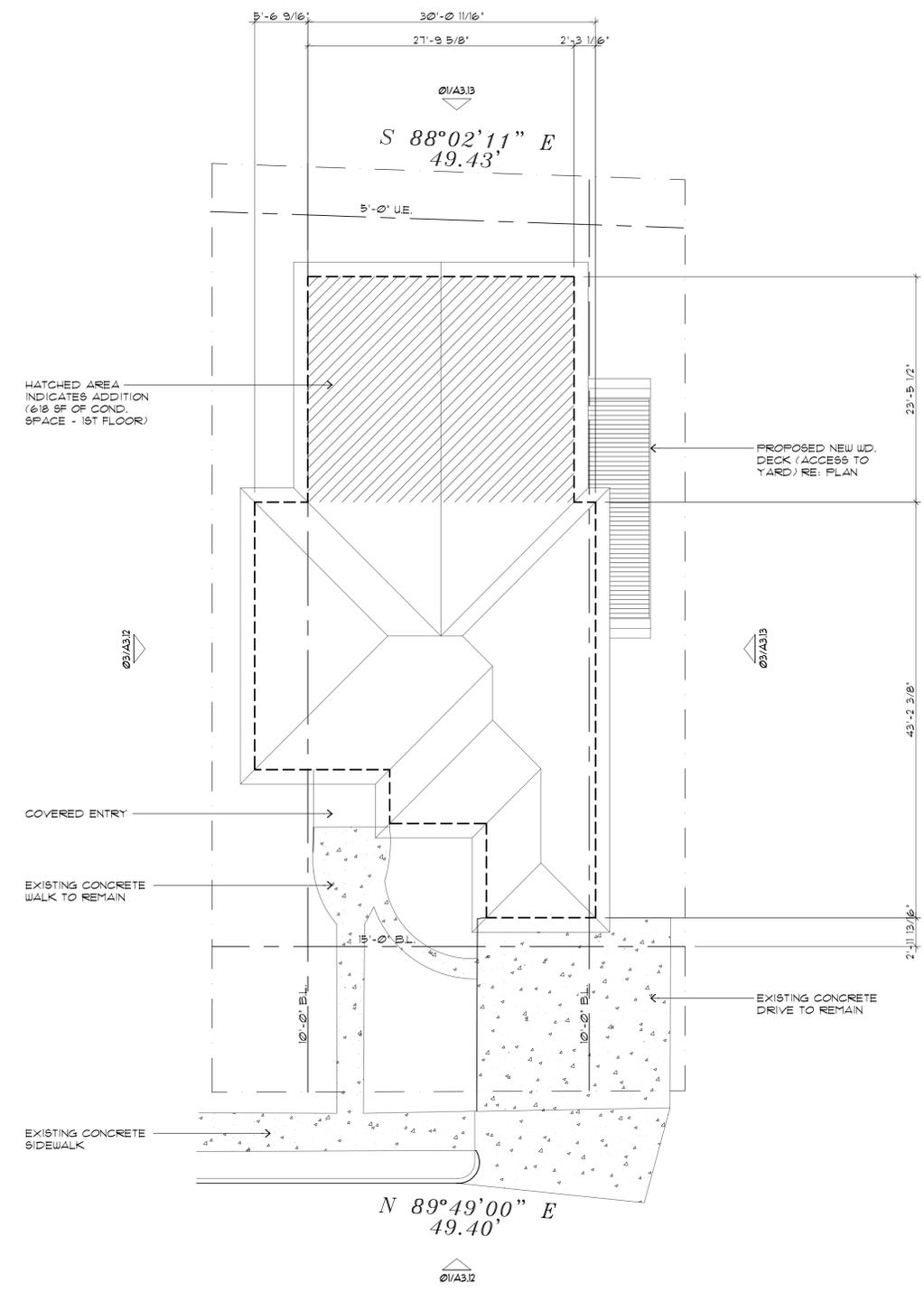
1	08.29.16	APPROVAL

The use of these drawings and specifications are limited to the original site/building for which they were prepared and publication thereof is limited to such use.
Title to the design, plans and specifications remain the collector's property without prejudice.

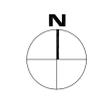
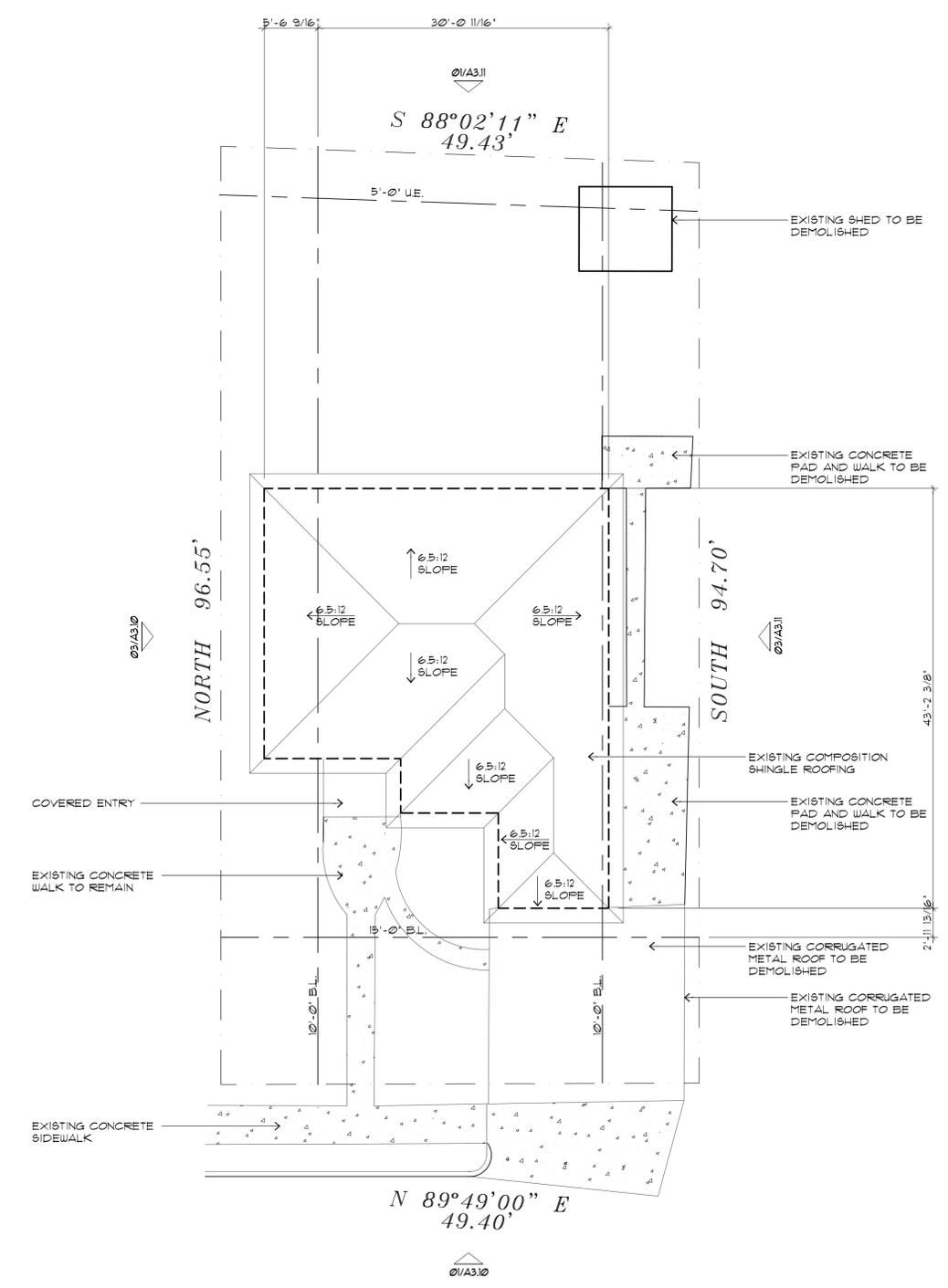
project id.: _____ file name: _____

sheet title:
EXISTING & PROPOSED SITE PLANS

sheet no.:
A 0.40



PROPOSED SITE PLAN scale: 1/8"=1'-0" 09



EXISTING SITE PLAN scale: 1/8"=1'-0" 01

project:

a remodel for:
Mr. & Mrs. McKeon
727 Fugate St.
Houston, Texas
77009

issues/revisions:

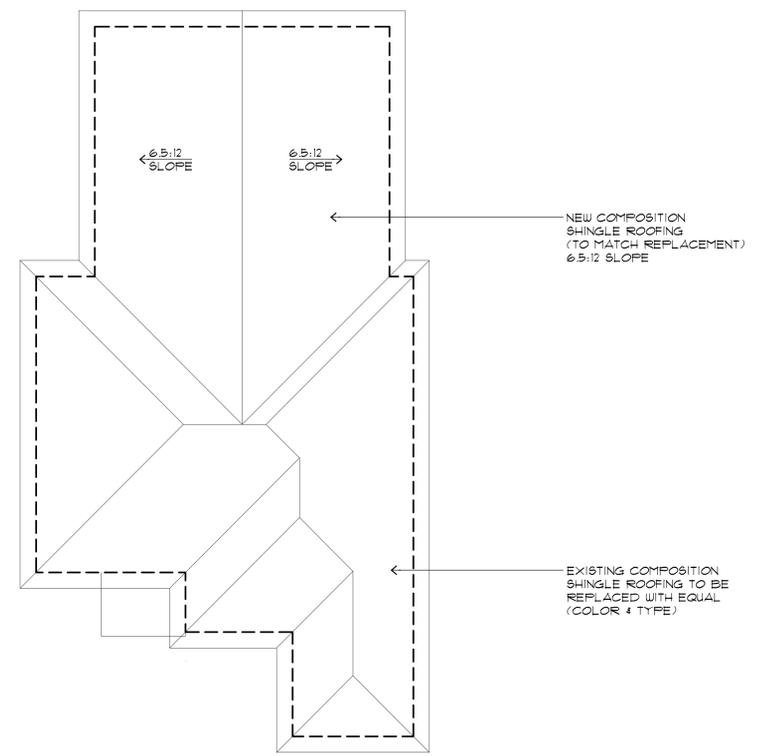
1	08.29.16	APPROVAL

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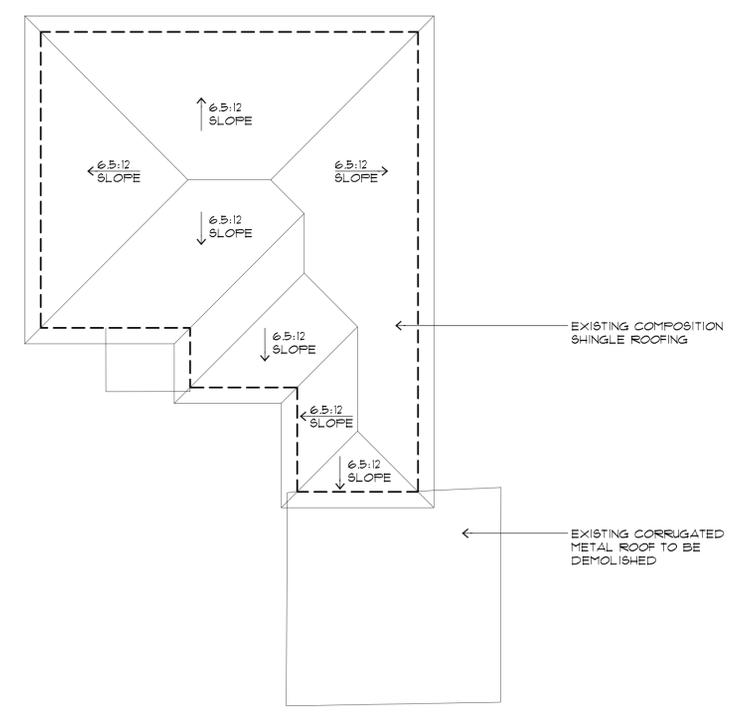
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sheet title:
EXISTING & PROPOSED ROOF PLANS

sheet no.:
A 0.50



PROPOSED ROOF PLAN scale: 1/8"=1'-0" 09



EXISTING ROOF PLAN scale: 1/8"=1'-0" 01

project:

a remodel for:
Mr. & Mrs. McKeon
727 Fugate St.
Houston, Texas
77009

issues/visions:

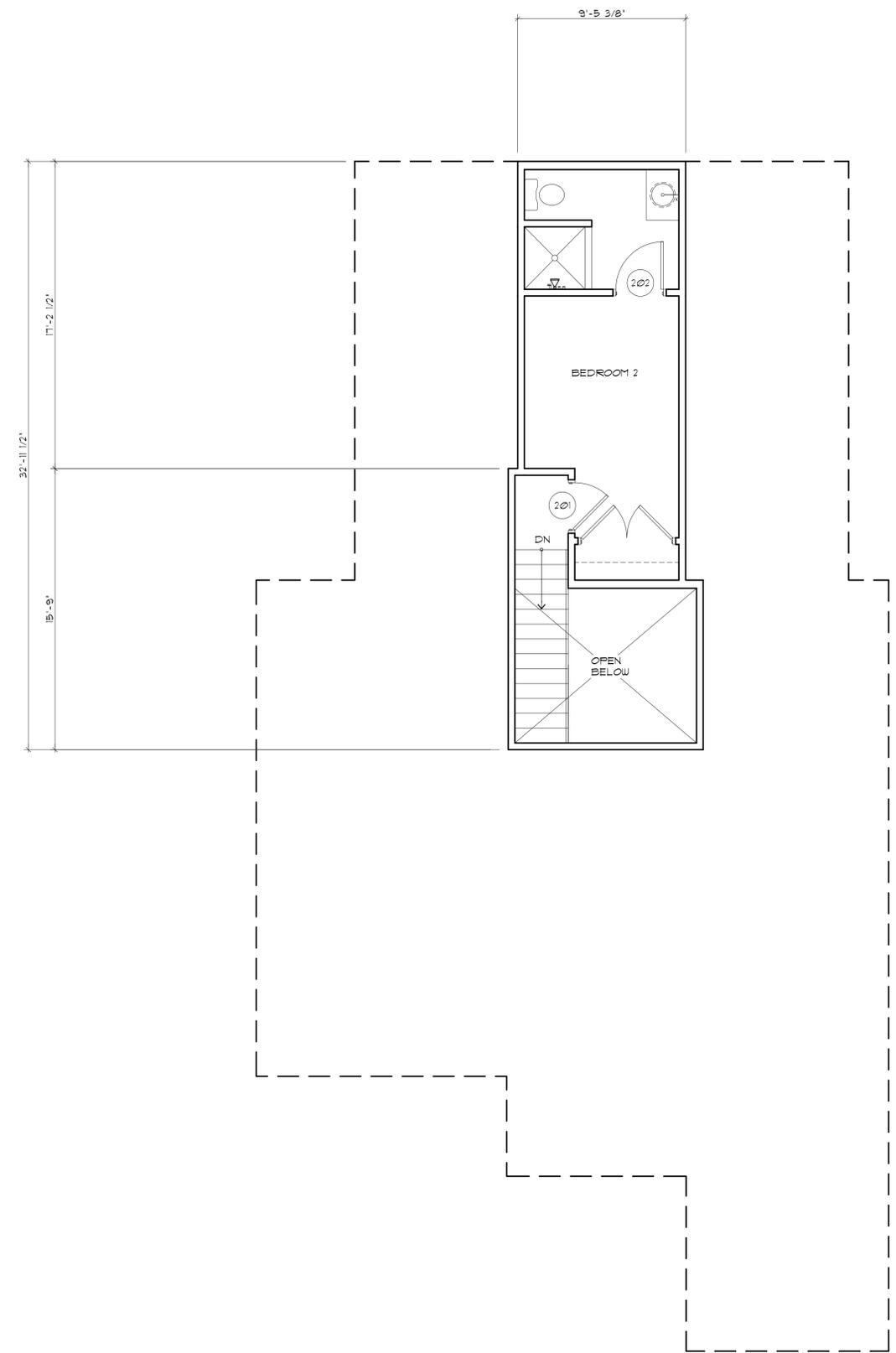
1 08.29.16 APPROVAL

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project id.: file name:

sheet title:
**SECOND LEVEL
FLOOR PLAN**

sheet no.:
A 2.11



WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	HEAD HT.	DESCRIPTION	COMMENTS
1	3'-0"	4'-5 1/2"	6'-0"	SINGLE HUNG (WOOD FRAME)	EXISTING WINDOW
2	2'-9 1/2"	4'-5 1/2"	6'-0"	SINGLE HUNG (WOOD FRAME)	EXISTING WINDOW
3	2'-9"	4'-5 1/2"	6'-0"	SINGLE HUNG (WOOD FRAME)	EXISTING WINDOW
4	3'-0"	4'-5 1/2"	6'-0"	SINGLE HUNG (WOOD FRAME)	NEW WINDOW - MATCH EXIST.

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
101	3'-0"	6'-8"	EXTERIOR WOOD ENTRY DOOR	EXISTING
102	2'-8"	6'-8"	EXTERIOR WOOD DOOR	EXISTING
103	2'-8"	6'-8"	INTERIOR WOOD DOOR	EXISTING
104	2'-8"	6'-8"	INTERIOR WOOD DOOR	EXISTING
105	2'-8"	6'-8"	INTERIOR WOOD DOOR	EXISTING
106	2'-8"	6'-8"	INTERIOR WOOD DOOR	EXISTING
107	2'-8"	6'-8"	INTERIOR WOOD DOOR	EXISTING
108	2'-8"	6'-8"	INTERIOR WOOD DOOR	EXISTING
109	2'-8"	6'-8"	INTERIOR WOOD DOOR	EXISTING
110	2'-8"	6'-8"	INTERIOR WOOD DOOR	EXISTING
111	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
112	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
113	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
114	2'-8"	6'-8"	EXTERIOR WOOD DOOR	NEW DOOR
115	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
116	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
117	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
118	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
119	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
120	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
201	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR
202	2'-8"	6'-8"	INTERIOR WOOD DOOR	NEW DOOR

- LEGEND
-  Indicates existing construction
 -  Existing construction - concrete/precast concrete
 -  Indicates new construction
 -  Indicates new or existing overhead conditions (double or single dashed line)
 -  Indicates new or existing conditions at or below plan cut (double or single dashed line)





4606 Kinglet St.
713.526.8544 P
Houston, Texas 77035

project:
a remodel for:
Mr. & Mrs. McKeon
727 Fugate St.
Houston, Texas
77009

Revised/Revised:

1	08 29 16	APPROVAL

The use of these drawings and specifications are subject to the contract and schedule for which they were prepared and published in Texas & State of Texas Code.
Due to the design, plans and specifications, which the contractor's approval is required.

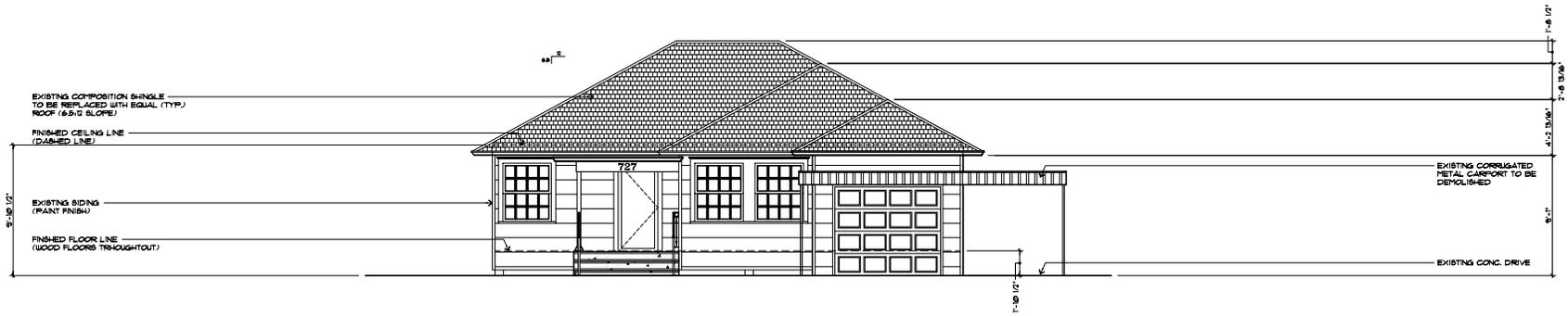
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sheet title:
EXISTING EXTERIOR ELEVATIONS

sheet no.:
A 3.10



EXISTING WEST ELEVATION scale: 1/4"=1'-0" 03



EXISTING SOUTH ELEVATION scale: 1/4"=1'-0" 01



4606 Kinglet St.
713.526.8544 P
Houston, Texas 77035

project:

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727 Fugate St.
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77009

revision/remark:

1	08.29.16	APPROVAL

The user of these drawings and specifications is advised that the engineer and architect are not responsible for any errors or omissions in these drawings and specifications. This is the design, plans and specifications issued by the architect's office and not the engineer's.

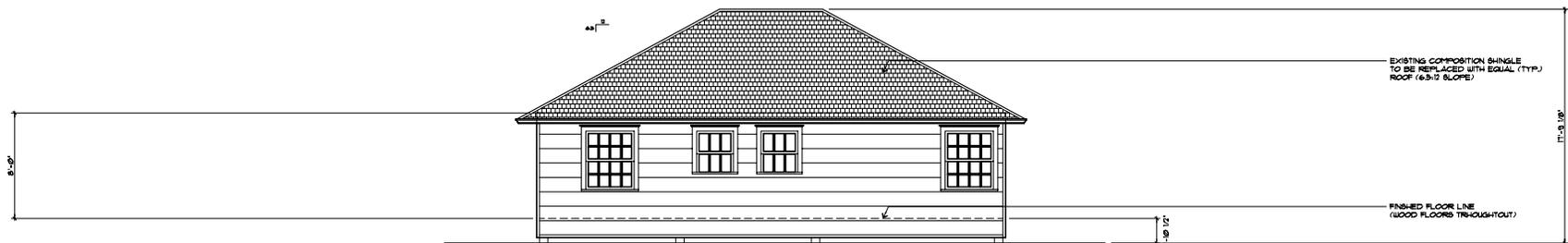
project no.: #name:

sheet title:
EXISTING EXTERIOR ELEVATIONS

sheet no.:
A 3.11



EXISTING EAST ELEVATION scale: 1/4"=1'-0" 03



EXISTING NORTH ELEVATION scale: 1/4"=1'-0" 01

