

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Revision



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 1106 Columbia, Houston TX 77008  
Historic District / Landmark Heights East HCAD # 020920000014  
Subdivision Houston Heights Lot 14 & 15A Block 196

## DESIGNATION TYPE

- Landmark  
 Protected Landmark  
 Archaeological Site  
 Contributing  
 Noncontributing  
 Vacant

## PROPOSED ACTION

- Alteration or Addition  
 Restoration  
 New Construction  
 Relocation  
 Demolition  
 Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name Terri-Ann and Troy Hamm Jr.  
Company \_\_\_\_\_  
Mailing Address 1106 Columbia St.  
Houston, TX 77008  
Phone 917.981.4594  
Email [REDACTED]  
Signature [Signature]  
Date 8.31.2016

## APPLICANT (if other than owner)

Name Karen Brasier  
Company Design 3 Studio  
Mailing Address 1824 Spring St. #210  
Houston TX 77007  
Phone 281.908.9188  
Email [REDACTED]  
Signature [Signature]  
Date 08.31.16

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

**Contractor:**  
 The Modern Bugalow Co. LLC  
 950 Euclid Street  
 Houston, TX 77009

1. ALL EGRESS WINDOW SILLS ARE TO A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM OPENING ARE 24" HIGH, 20" WIDE AND MINIMUM 5.7 SQ. FT NET CLEAR OPENING. THERE SHALL BE AT LEAST ONE EGRESS WINDOW PER BEDROOM.
2. OPENINGS ON A 1 HOUR FIRE-RATED EXTERIOR WALL SHALL BE PROTECTED WITH AN ASSEMBLY ACCORDING TO IRC R302.1. PENETRATIONS INTO OR THROUGH FIRE-RATED WALLS SHALL CONFORM TO IRC R302.4. CONTRACTOR SHALL DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY.
3. PROVIDE SAFETY TEMPERED GLAZING IN ALL HAZARDOUS LOCATIONS LISTED IN IRC308.4.
4. SEE S1.5 FOR GUARD RAIL NOTES.
5. PLATE HEIGHTS ARE TAKEN FROM NOMINAL FIRST FINISHED FLOOR ELEVATION UNLESS OTHERWISE NOTED.
6. ALL PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC CHAPTER 10 AND BE U.L. AND ICBO APPROVED. A COPY OF THE MANUFACTURER INSTALLATIONS MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR'S REVIEW.
7. ALL VENT TERMINALS SHALL BE NO LESS THAN 4' HORIZONTAL OR VERTICAL FROM ANY WINDOW OR GRAVITY AIR INLET OR 1' ABOVE ANY DOOR. VENTS SHALL CONFORM WITH IRC M1804
8. ALL GLAZING TO BE DOUBLE PANED AND LOW-E. PROVIDE MINIMUM SHGC = .25 AND U-FACTOR OF .40 PER IECC RESIDENTIAL.

- (A) CLASS A COMPOSITE SHINGLE ROOF OVER 30# FELT AND 7/16" OSB ROOF DECKING. RE: CONTRACTOR FOR SPECS AND COLOR.
- (B) CEMENTITIOUS SIDING. RE: CONTRACTOR FOR SPECS.
- (C) 42" HIGH GUARDRAIL. RE: S1.5
- (D) TEMPERED SAFETY GLASS.
- (E) PROVIDE FLASHING AT ALL ROOF TO WALL INTERSECTIONS. PROVIDE MINIMUM 4" COVER AT ROOF AND WALL, LAP ALL FLASHING.
- (F) TYPICAL WOOD LATTICE TO PROVIDE CRAWLSPACE VENTILATION. PROVIDE ACCESS OPENING 18"x24" PER SECTION R408.4
- (G) ESCAPE / EGRESS WINDOW



01 ELEVATION NOTES

02 GENERAL NOTES

03 PROPOSED WEST (FRONT) ELEVATION

1/4" = 1'-0"



04 PROPOSED NORTH (LEFT) ELEVATION

1/4" = 1'-0"

**1106 COLUMBIA**  
 Houston, TX  
**PROPOSED ELEVATION**

Issue/Revision:  
 08.29.16 OWNER REVIEW

Drawing Description:  
**ELEVATIONS**

Dwg. Name:  
 Layer mgr: XX  
 Scale: AS NOTED  
 Drawn by:  
 Proj. Mgr.:  
 Date:  
 Sheet No.:  
**A 3.2**  
 Aug 29, 2016 - 2:04pm

1. ALL EGRESS WINDOW SILLS ARE TO A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM OPENING ARE 24" HIGH, 20" WIDE AND MINIMUM 5.7 SQ. FT NET CLEAR OPENING. THERE SHALL BE AT LEAST ONE EGRESS WINDOW PER BEDROOM.
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- (G) ESCAPE / EGRESS WINDOW



01 ELEVATION NOTES

02 GENERAL NOTES

03 PROPOSED WEST (BACK) ELEVATION

1/4" = 1'-0"



04 PROPOSED SOUTH (RIGHT) ELEVATION

1/4" = 1'-0"



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**Contractor:**  
**The Modern Bugalow Co. LLC**  
 950 Euclid Street  
 Houston, TX 77009

**1106 COLUMBIA**  
Houston, TX

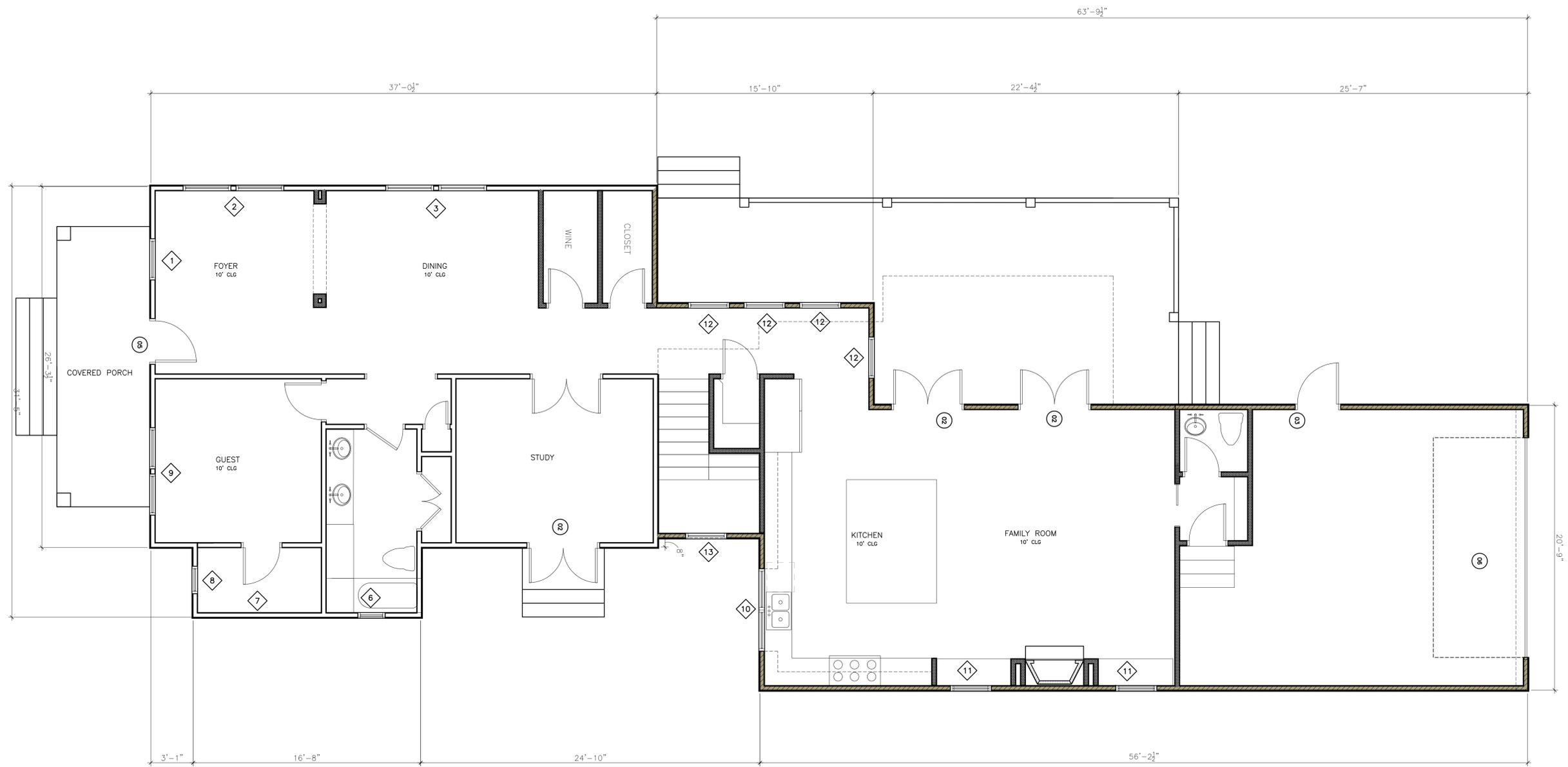
**PROPOSED ELEVATIONS**

Issue/Revision:  
 08.29.16 OWNER REVIEW

Drawing Description:  
**ELEVATIONS**

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	<b>A 3.3</b>
Proj. Mgr.:	Date:	
Aug 29, 2016 - 2:03pm		

**Contractor:**  
 The Modern Bugalow Co. LLC  
 950 Euclid Street  
 Houston, TX 77009



**1106 COLUMBIA**  
 Houston, TX  
**FIRST FLOOR PLAN**

01 PROPOSED FLOORPLANS

1/4" = 1'-0"

Number	OPENING SIZE		TYPE	MATERIAL	Remarks
	Width	Height			
1	3'-0"	6'-0"	DBL HUNG	WOOD	
2	(2)3'-0"	6'-0"	DBL HUNG	WOOD	REMOVE SHUTTERS FROM EXISTING WINDOW OPENING PREVIOUSLY COVERED
3	(2)3'-0"	6'-0"	DBL HUNG	WOOD	REPLACE NON-ORIGINAL BAY WINDOW
6	2'-0"	1'-6"	FIXED	WOOD	EXISTING WINDOW TO REMAIN

7					REMOVE SHUTTERS; WINDOW OPENING TO REMAIN ENCLOSED
8	2'-6"	4'-0"		WOOD	
9	(2)3'-0"	6'-0"	DBL HUNG	WOOD	REPLACE NON ORIGINAL GLASS IN ORIGINAL OPENING WITH 1/2 WOOD WINDOWS
10	(2)3'-0"	4'-4"	FIXED	WOOD	
11	3'-0"	4'-0"	FIXED	WOOD	
12	3'-0"	6'-0"	DBL HUNG	WOOD	
13	3'-0"	5'-0"	FIXED	WOOD	TEMPERED

14	(2)3'-0"	1'-6"	FIXED	WOOD	TRANSOM
15	(2)3'-2"	4'-8"	DBL HUNG	WOOD	EGRESS
16	3'-0"	1-6"	FIXED	VINYL	TEMPERED
17	3'-0"	3'-0"	DBL HUNG	WOOD	
18	3'-2"	4'-8"	DBL HUNG	WOOD	EGRESS
19	3'-0"	3'-0"	FIXED	WOOD	PICTURE WINDOW
20	3'-0"	4'-0"	FIXED	WOOD	TEMPERED

Number	SIZE		TYPE	MATERIAL	Remarks
	Width	Height			
2	5'-0"	8'-0"	DBL	WOOD	FRENCH DOORS; SINGLE LITE
3	2'-8"	8'-0"	SINGLE	WOOD	SINGLE LITE EXTERIOR DOOR
5	3'-0"	8'-0"	SINGLE	WOOD	EXISTING FRONT DOOR TO REMAIN
6	16'-0"	8'-0"	SINGLE	WOOD	OVERHEAD GARAGE DOOR

Issue/Revision:  
 08.29.16 OWNER REVIEW

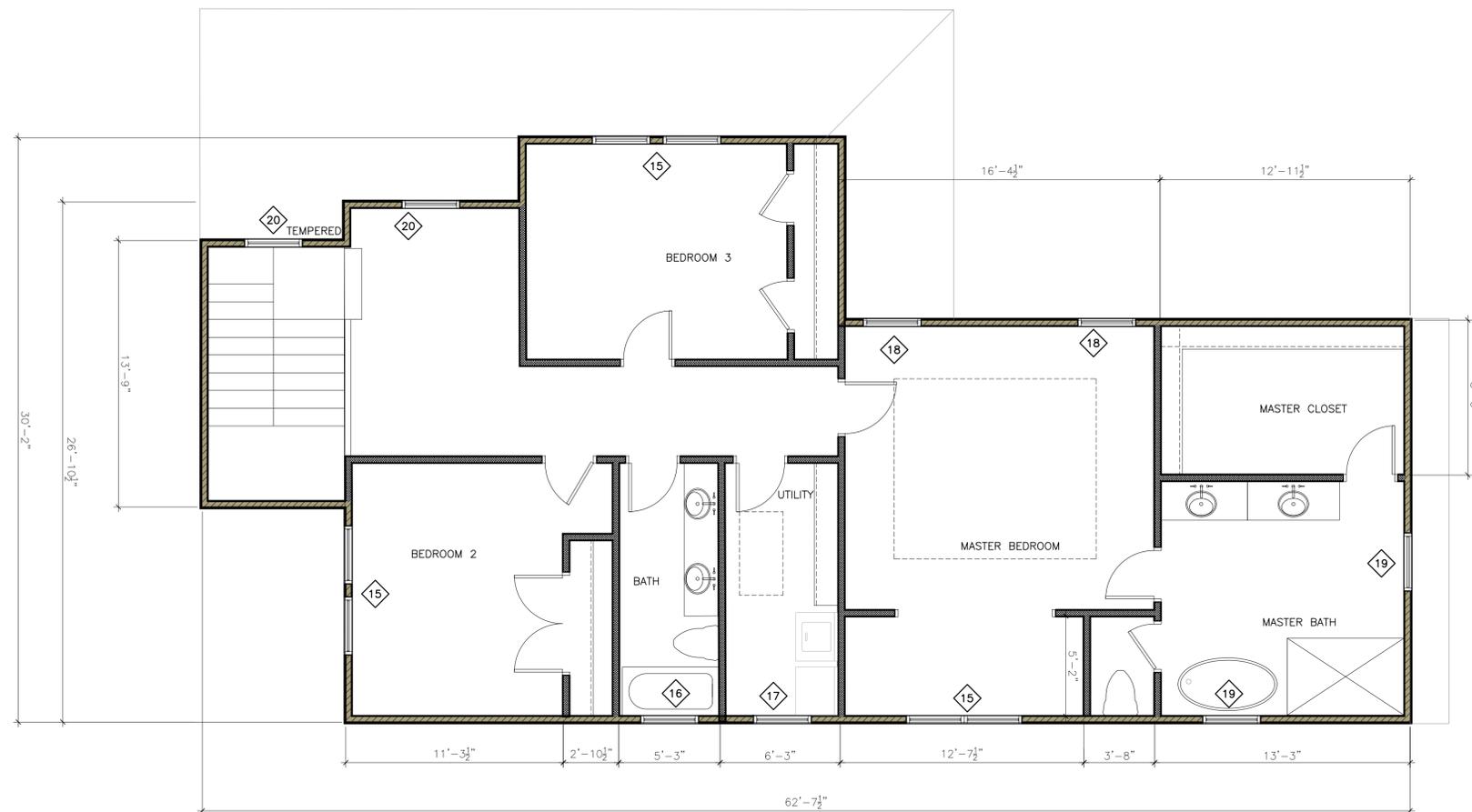
Drawing Description:  
**FIRST FLOOR PLAN**

Dwg. Name:  
 Layer mgr: XX  
 Scale: AS NOTED  
 Drawn by:  
 Proj. Mgr.:  
 Date:  
 Sheet No.:  
**A 1.1**  
 Aug 31, 2016 - 9:53am

02 GENERAL NOTES

1/4" = 1'-0"

**Contractor:**  
 The Modern Bugalow Co. LLC  
 950 Euclid Street  
 Houston, TX 77009



# 1106 COLUMBIA

Houston, TX

## SECOND FLOOR PLAN

01 PROPOSED FLOORPLANS

1/4" = 1'-0"

WINDOW SCHEDULE					
Number	OPENING SIZE		TYPE	MATERIAL	Remarks
	Width	Height			
1	3'-0"	6'-0"	DBL HUNG	WOOD	
2	(2)3'-0"	6'-0"	DBL HUNG	WOOD	REMOVE SHUTTERS FROM EXISTING WINDOW OPENING PREVIOUSLY COVERED
3	(2)3'-0"	6'-0"	DBL HUNG	WOOD	REPLACE NON-ORIGINAL BAY WINDOW
4					
5					
6	2'-0"	1'-6"	FIXED	WOOD	EXISTING WINDOW TO REMAIN
7					REMOVE SHUTTERS; WINDOW OPENING TO REMAIN ENCLOSED
8	2'-6"	4'-0"		WOOD	
9	(2)3'-0"	6'-0"	DBL HUNG	WOOD	REPLACE NON ORIGINAL GLASS IN ORIGINAL OPENING WITH 1/2" WOOD WINDOWS
10	(2)3'-0"	4'-4"	FIXED	WOOD	
11	3'-0"	4'-0"	FIXED	WOOD	
12	3'-0"	6'-0"	DBL HUNG	WOOD	
13	3'-0"	5'-0"	FIXED	WOOD	TEMPERED
14	(2)3'-0"	1'-6"	FIXED	WOOD	TRANSOM
15	(2)3'-2"	4'-8"	DBL HUNG	WOOD	EGRESS
16	3'-0"	1-6"	FIXED	VINYL	TEMPERED
17	3'-0"	3'-0"	DBL HUNG	WOOD	
18	3'-2"	4'-8"	DBL HUNG	WOOD	EGRESS
19	3'-0"	3'-0"	FIXED	WOOD	PICTURE WINDOW
20	3'-0"	4'-0"	FIXED	WOOD	TEMPERED

Issue/Revision:  
 08.29.16 OWNER REVIEW

Drawing Description:

### SECOND FLOOR PLAN

Dwg. Name:  
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 Scale: AS NOTED  
 Drawn by:  
 Proj. Mgr.:  
 Date: Aug 31, 2016 - 9:53am

Sheet No.:  
**A 1.2**

