

CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS: 615 Cortlandt Houston Texas 77007

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 615 Cortlandt Houston Texas 77007

HCAD # 0210100000009

Historic District / Landmark _____

Lot 9

Block 278

Subdivision Houston Heights

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Mike Rivera

Company _____

Mailing Address 7802 Appleton

Houston Texas 77022

Phone 832-452-3995

Email _____

Signature *Mike Rivera*

Date 4-26-2016

APPLICANT (if other than owner)

Name Luis Martinez

Company L and L Homes

Mailing Address PO Box 230202

Houston, Texas 77223

Phone 281-919-6388

Email _____

Signature *[Signature]*

Date 4-26-2016

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____

Application received: ___/___/___ Application complete: ___/___/___

615 Cortlandt Proposed New Garage

- Demolish current garage structure.
- Construct new two-story garage with garage apartment above.
- Garage will be 576 square feet on first floor and 576 square feet on second floor.
- Garage will have same roof pitch as existing house.
- Garage is located behind the existing house and is not visible from the street.
- Garage will have four-inch smooth hardi.

LEGEND * ITEMS THAT MAY APPEAR IN *
DRAWING BELOW

M.U.E. = MUNICIPAL UTILITY EASEMENT
 U.E. = UTILITY EASEMENT
 A.E. = AERIAL EASEMENT
 D.E. = DRAINAGE EASEMENT
 S.S.E. = SANITARY SEWER EASEMENT
 S.T.M.S.E. = STORM SEWER EASEMENT
 W.L.E. = WATER LINE EASEMENT

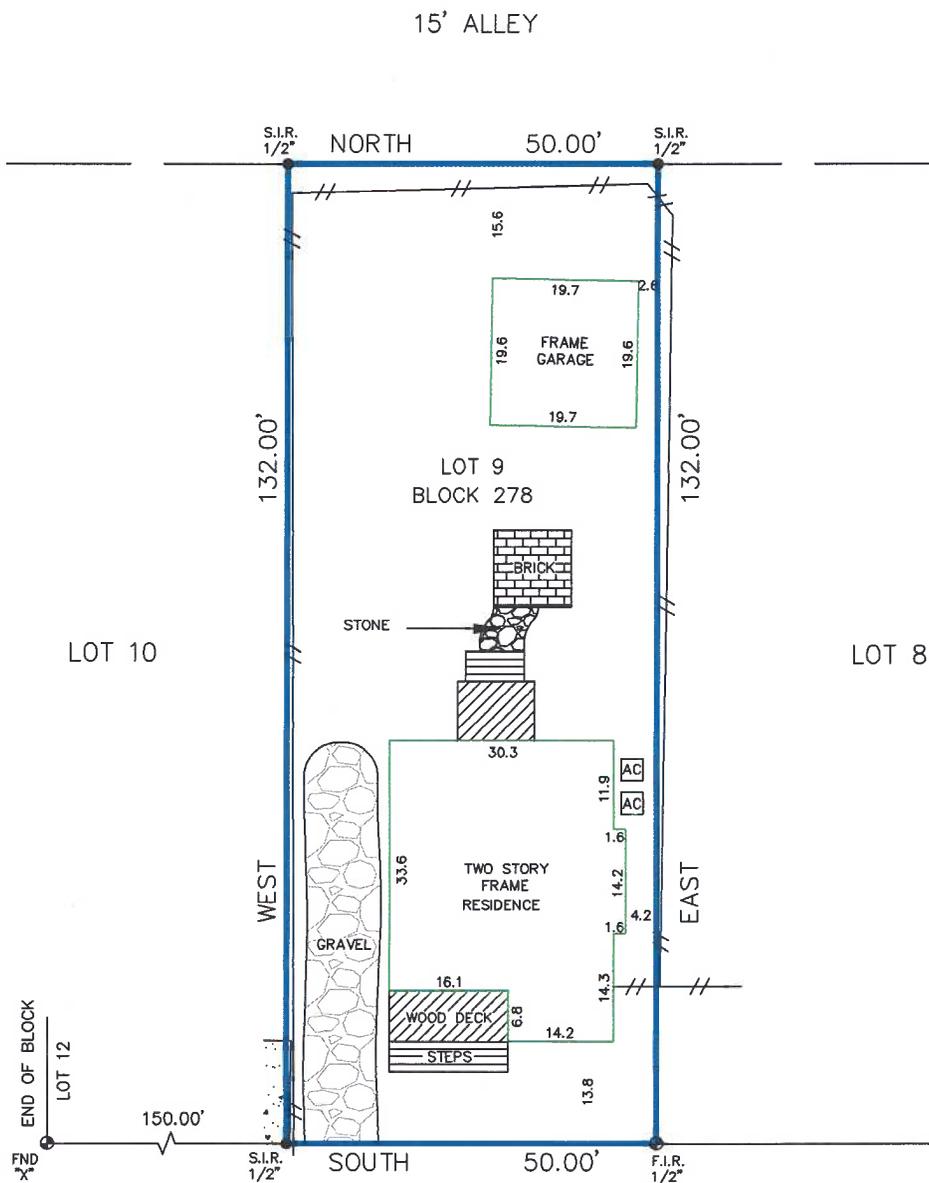
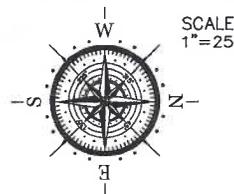
F.I.R. = FOUND IRON ROD
 F.I.P. = FOUND IRON PIPE
 S.I.R. = SET IRON ROD
 W.P. = WOODEN POST
 M.P. = METAL POST
 C.F.# = CLERK'S FILE NUMBER
 P.O.C. = POINT OF COMMENCING
 P.O.B. = POINT OF BEGINNING
 B.L. = BUILDING LINE
 FND. = FOUND
 BRS = BEARS

P.A.E. = PERMANENT ACCESS EASEMENT
 P.U.E. = PUBLIC UTILITY EASEMENT
 W.S.E. = WATER & SEWER EASEMENT
 E.E. = ELECTRIC EASEMENT
 P.C. = POINT OF CURVATURE
 P.T. = POINT OF TANGENCY
 P.R.C. = POINT OF REVERSE CURVATURE
 P.C.C. = POINT OF COMPOUND CURVATURE
 P.P. = POWER POLE
 S.F.N.F. = SEARCHED FOR, NOT FOUND
 U.T.S. = UNABLE TO SET

● CONTROL MONUMENT

— = PROPERTY LINE
 - - - = EASEMENT LINE
 - - - = BUILDING SETBACK LINE
 ——— = BUILDING WALL

— / — = WOODEN FENCE
 — X — = CHAIN LINK FENCE
 ○ = METAL FENCE
 — / — = WIRE FENCE
 — V — = VINYL FENCE



615 CORTLANDT STREET
 (70' R.O.W.)

Reviewed & Accepted by: _____ Date _____ / _____ Date _____

NOTES:
 - BEARING BASIS: RECORDED BEARINGS (1-A/114, M.R.H.C.)
 - SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS
 - SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED PROPERTY
 - UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY
 - THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS
 - SUBJECT TO RESTRICTIVE COVENANTS AS PER TITLE COMMITMENT
 - SUBJECT TO ZONING AND BUILDING ORDINANCES ENFORCED BY LOCAL MUNICIPALITIES

LEGAL DESCRIPTION

LOT 9 IN BLOCK 278 OF HOUSTON HEIGHTS, AN ADDITION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1-A, PAGE 114 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

MICHAEL RIVERA

ADDRESS

615 CORTLANDT STREET



I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON (OR ON ATTACHED SHEET), AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN, AND WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO OR EXCEEDS THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.

JOB # 1510049

DATE 10-9-15

GF# UNLS1037653

PRO-SURV

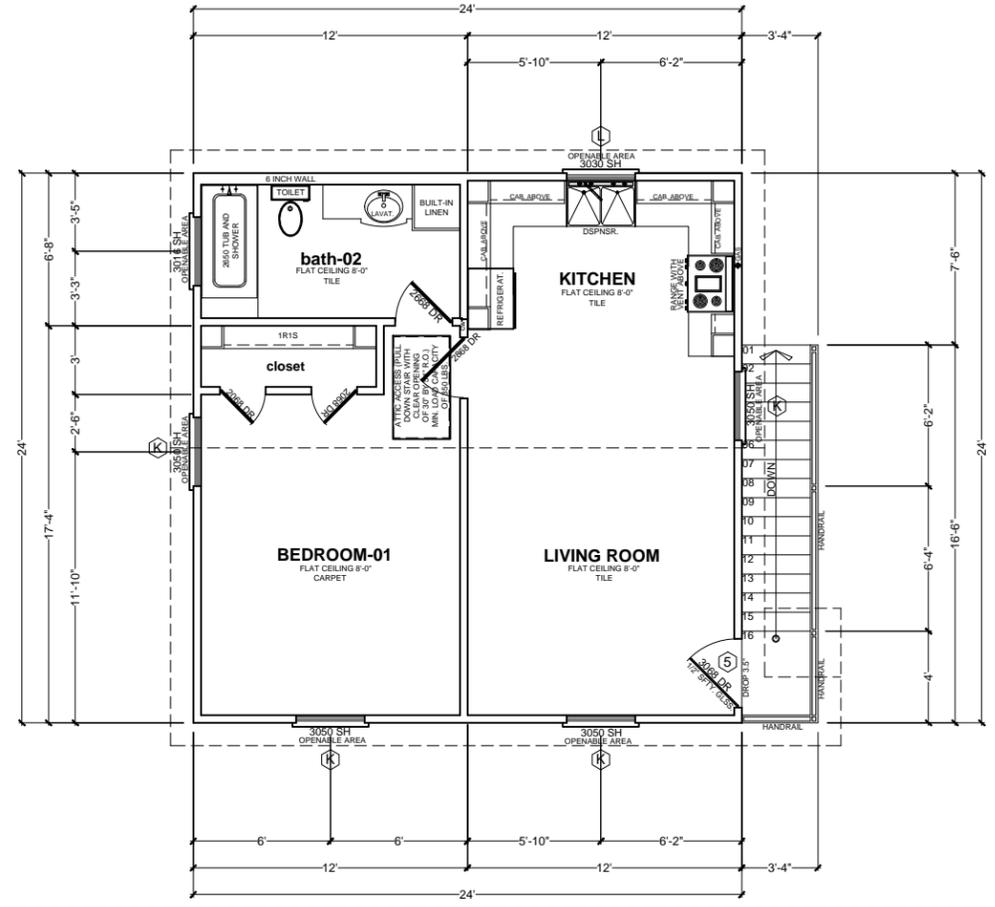
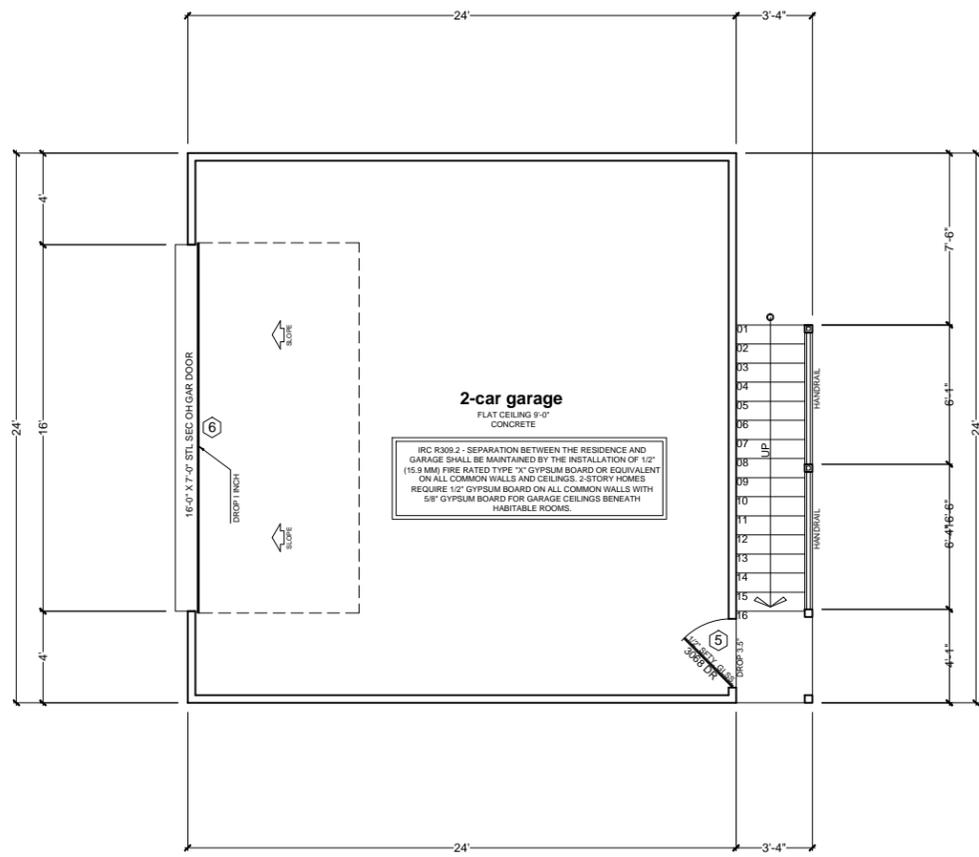
P.O. BOX 1366, FRIENDSWOOD, TX 77549
 PHONE: 281-996-1113 FAX: 281-996-0012
 EMAIL: _____
 T.B.P.L.S. FIRM #10119300

ONLY SURVEY MAPS WITH THE SURVEYOR'S ORIGINAL SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION

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NOTE: DESIGNED PER IRC-2012:
110 MILES PER HOUR;
3 SECOND GUST; EXPOSURE "B".

- FLOOR PLAN NOTES:**
- 8'-0" CEILINGS DOWN; 9'-0" CEILINGS UP (IF)
 - 6'-8" DOORS DOWN; 6'-8" DOORS UP
 - 7'-8" HEADER HEIGHTS DOWN; 7'-0" HEADERS HEIGHTS UP
 - ALL OUTDOOR HOSE BIBBS MUST HAVE VACUUM BREAKERS, IRC, 2902.3.3
 - LOCATE WATER HEATER(S) IN ATTIC ABOVE A LOAD BEARING PARTITION IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE. INSTALLATION TO CONFORM WITH IRC-2012 SECT.P.2803
 - LOCATE H.V.A.C. EQUIPMENT IN ATTIC.
 - PROVIDE MIN. 24 INCHES WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAX. DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". ALSO PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
 - PROVIDE PLUMBING ACCESS PANEL TO ALL BATHTUBS BY IRC-2012 SECT.P2704.1.
 - AIR CONDITION DRAIN MUST GO TO A WORKING TRAP
 - MUST PROVIDE DRAINAGE OF YOUR PROPERTY TO STREET
 - CARPET FLOORS ON BEDROOMS AND CLOSETS AS NOTED
 - TILE FLOORS ON LIVING, FAMILY, KITCHEN, DINING, BREAKFAST, UTILITY AND BATHS
 - CONCRETE FLOORS ON PATIO, PORCH, AND GARAGE
 - RECESS LIGHTS TO BE TIGHT INSULATION-RATED CEILING LIGHTS AS PER IRC, 1102.1.10
 - GFTS 110 VOLT OUTLETS NEAR SINKS, IN GARAGE AND ALL OUTSIDE WATER PROOF OUTLETS.
 - SMOKE DETECTORS TO BE HARD WIRED TO 110 VOLT AND LOCATED AS PER IRC, 317.2 ONE DETECTOR REQUIRED TOP AND BOTTOM OF EACH STAIRWELL; ONE DETECTOR REQUIRED IN EACH SLEEPING AREA; ONE DETECTOR REQUIRED IN ALL ADJOINING SLEEPING AREAS. ALL SMOKE DETECTORS MUST BE INTERCONNECTED AND AUDIBLE FROM SLEEPING AREAS.
 - ALL GLAZING IN HAZARDOUS AREAS TO CONFIRM TO IRC, 308.4, EXPOSED AREA OF PANE GREATER THAN 9.00 SQ-FT, BOTTOM 18" (INCHES) ABOVE FLOOR. (FOR THE PROJECT AS PER R308.4.6, WHICH IS PANELS ADJACENT AND WITHIN THE 24 INCHES OF DOOR SWING.) ALSO GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH U.B.C. STANDARD NO. 24-2.
 - ALL INSULATION TO BE NOT MORE THAN 25 FLAME SPREAD AND A SMOKE DEVELOPMENT RATING OF NOT MORE THAN 450. UL STANDARD CLASS 1 OR 1101.3.
 - ALL EXHAUSTED FANS TO VENT OUTSIDE.
 - WINDOWS (SILL HEIGHT) R613.2 2012 IRC IN DWELLING UNITS WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIAMETER SPHERE CANNOT PASS.
 - WINDOWS (ESCAPE AND RESCUE) R310.1.1, R310.1.3, R310.1.2 AND R310.1. (EXCEPTION) 2012 IRC: ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE NOT LESS THAN 20 INCHES, AND THE MINIMUM NET CLEAR HEIGHT DIMENSION SHALL NOT BE LESS THAN 24 INCHES. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.
 - M1804.2.6 MECHANICAL DRAFT SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING, THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND, EXCEPT FOR DIRECT VENT APPLIANCES, THE FOLLOWING REQUIREMENTS: (1) THE VENT TERMINAL SHALL BE LOCATED NOT LESS THAN 3 FEET ABOVE A FORCED AIR INLET LOCATED WITHIN 10 FEET. (2) THE VENT TERMINAL SHALL BE LOCATED NOT LESS THAN 4 FEET BELOW, 4 FEET HORIZONTALLY FROM, OR 1 FOOT ABOVE ANY DOOR, WINDOW OR GRAVITY AIR INLET INTO A DWELLING. (3) THE VENT TERMINATION POINT SHALL NOT BE LOCATED CLOSER THAN 3 FEET TO AN INTERIOR CORNER FORMED BY TWO WALLS PERPENDICULAR TO EACH OTHER. (4) THE BOTTOM OF THE VENT TERMINAL SHALL BE LOCATED AT LEAST 12 INCHES ABOVE FINISHED GROUND LEVEL. (5) THE VENT TERMINATION SHALL NOT BE MOUNTED DIRECTLY ABOVE OR WITHIN 3 FEET HORIZONTALLY FROM AN OIL TANK VENT OR GAS METER. (6) POWER EXHAUSTER TERMINATIONS SHALL BE LOCATED NOT LESS THAN 10 FEET FROM LOT LINES AND ADJACENT BUILDINGS. (7) THE DISCHARGE SHALL BE DIRECTED AWAY FROM THE BUILDING.



EXISTING WOOD WALLS
NEW WOOD WALLS

SQUARE FOOT CALCULATIONS:

1st FLOOR AREA-EXISTING	= 953.00 SQ-FT
2nd FLOOR AREA-EXISTING	= 953.00 SQ-FT
PORCH-EXISTING	= 110.00 SQ-FT
GARAGE-EXIS. (TO BE DEMO)	= 388.00 SQ-FT
1st FLR. LIVING AREA-ADD.	= 800.00 SQ-FT
2nd FLR. LIVING AREA-ADD.	= 360.00 SQ-FT
GARAGE-ADDITION	= 576.00 SQ-FT
APARTMENT-ADDITION	= 576.00 SQ-FT
PATIO-ADDITION	= 186.00 SQ-FT
TOTAL UNDER ROOF	= 4,514.00 SQ-FT

LEGAL DESCRIPTION:
OWNER: TEXAS DIRECT PROPERTIES LLC
ADDRESS: 615 CORTLANDT STREET
HOUSTON, TX 77007
COUNTY: HARRIS
(HCAD NO. 021-010-000-0009)
LOT: 09 (NINE) KEY MAP: 493A
BLOCK: 278 () MAP FACET: 55358A
LAND AREA: 6,600.00 SQ-FT
SUBDIVISION: HOUSTON HRIGHTS

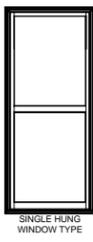
WINDOW SCHEDULE

(K)	3050 NEW SINGLE HUNG
(L)	3030 NEW SINGLE HUNG
(M)	3016 NEW SINGLE HUNG

NOTE: ALL WINDOWS TO BE VINYL

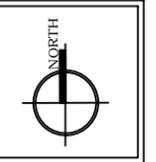
DOOR SCHEDULE

(5)	3068 NEW METAL DOOR
(6)	16070 NEW STEEL SEC OH GARAGE DOOR



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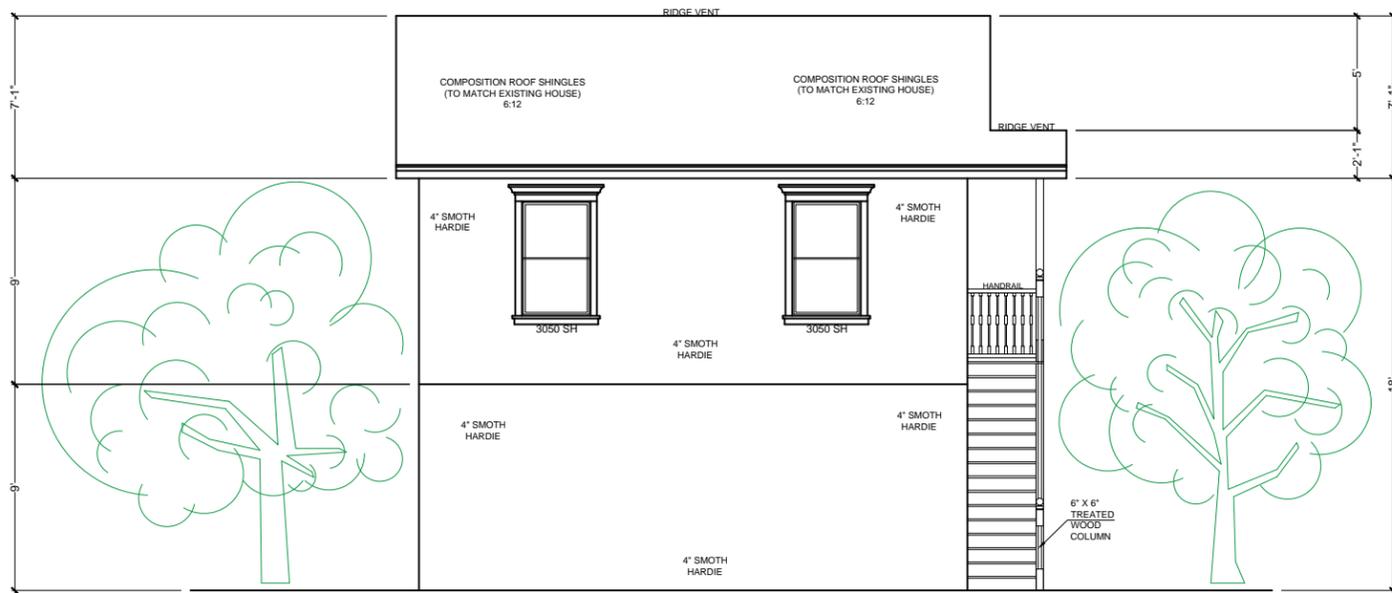
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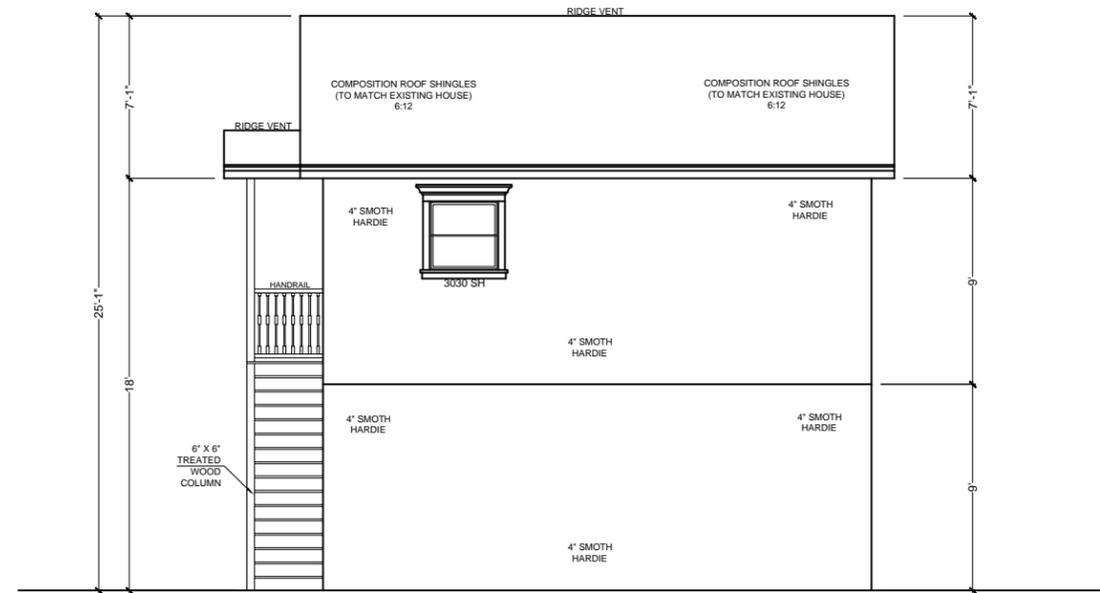
GARAGE FLOOR PLANS
SCALE: 1/4" = 1'-0"
TEXAS DIRECT PROP. LLC 615 CORTLANDT ST. HOUSTON, TX 77007

DRAWING NO. B-02

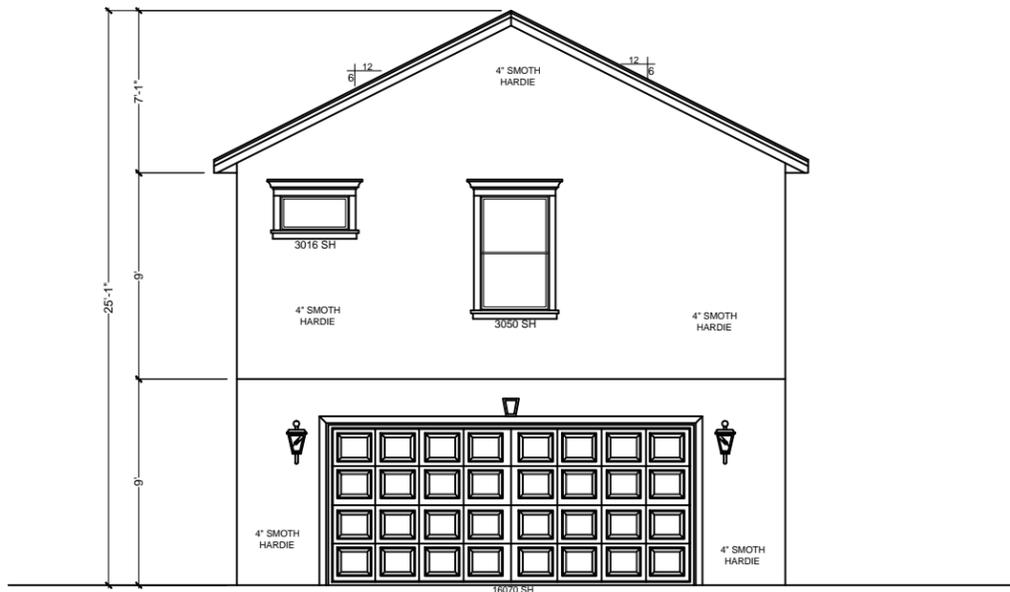
QUATRO-TECH DESIGN & DRAFTING GROUP
PHONE (713) 240-2785
DRAWN BY: ASMC
DATE (PR): 04/15/2016
REVISED BY: ASMC
MODIFIED: 04/15/2016



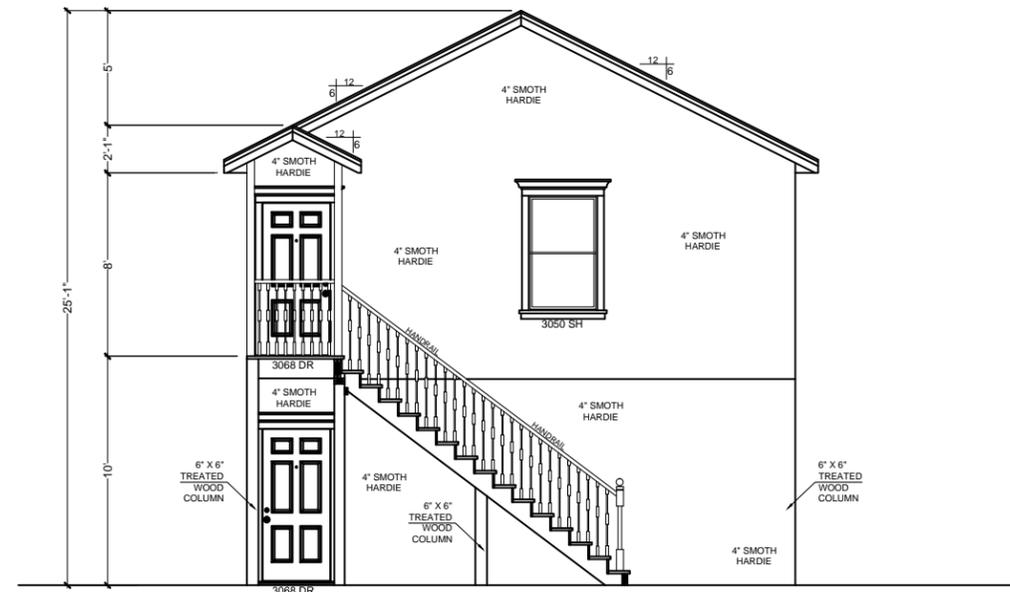
WEST (FRONT) ELEVATION SCALE: 1/4" = 1'-0"



WEST (FRONT) ELEVATION SCALE: 1/4" = 1'-0"

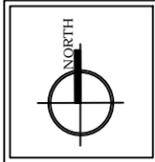


SOUTH (SIDE) ELEVATION SCALE: 1/4" = 1'-0"



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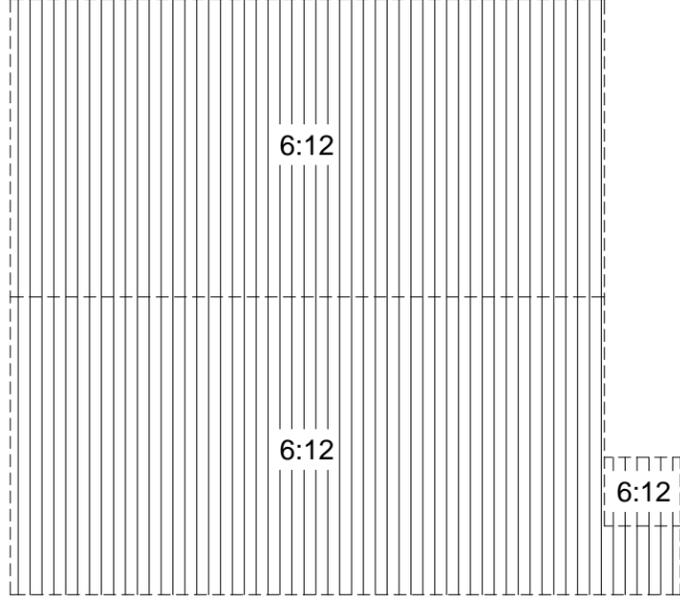
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GARAGE ELEVATIONS
SCALE: 1/4" = 1'-0"
TEXAS DIRECT PROP. LLC 615 CORTLANDT ST. HOUSTON, TX 77007

DRAWING NO. B-03

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DATE (P): 04/15/2016
REVISED BY: ASMC
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 PHONE (713) 240-2785 @TTA-240

DRAWN BY: ASMC
 DATE (PR): 04/15/2016

REVISED BY: ASMC
 MODIFIED: 04/15/2016

DRAWING
 NO.

B-04

GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

TEXAS DIRECT PROP. LLC 615 CORTLANDT ST. HOUSTON, TX 77007



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