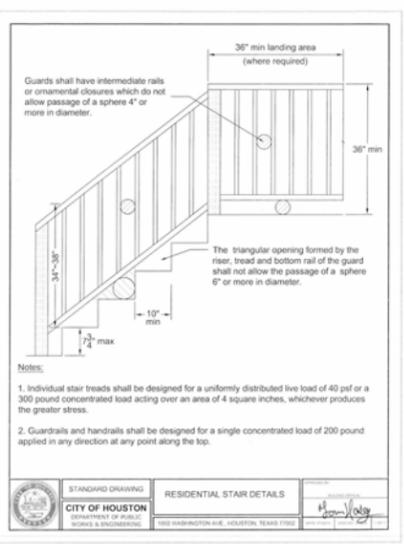


7 Plumbing Fixture Clearances
3/8" = 1'-0"



R311.5 Stairways.
R311.5.1 Width.
 Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31.5 inches (787 mm) where a handrail is installed on one side and 27 inches (688 mm) where handrails are provided on both sides.
Exception: The width of spiral stairways shall be in accordance with Section R311.5.8

SECTION R312 GUARDS

R312.1 Guards.
 Porches, balconies, ramps or raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.
 Porches and decks which are enclosed with insect screening shall be equipped with guards where the walking surface is located more than 30 inches (762 mm) above the floor or grade below.

TABLE R301.4
 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
 (IN POUNDS PER SQUARE FOOT)

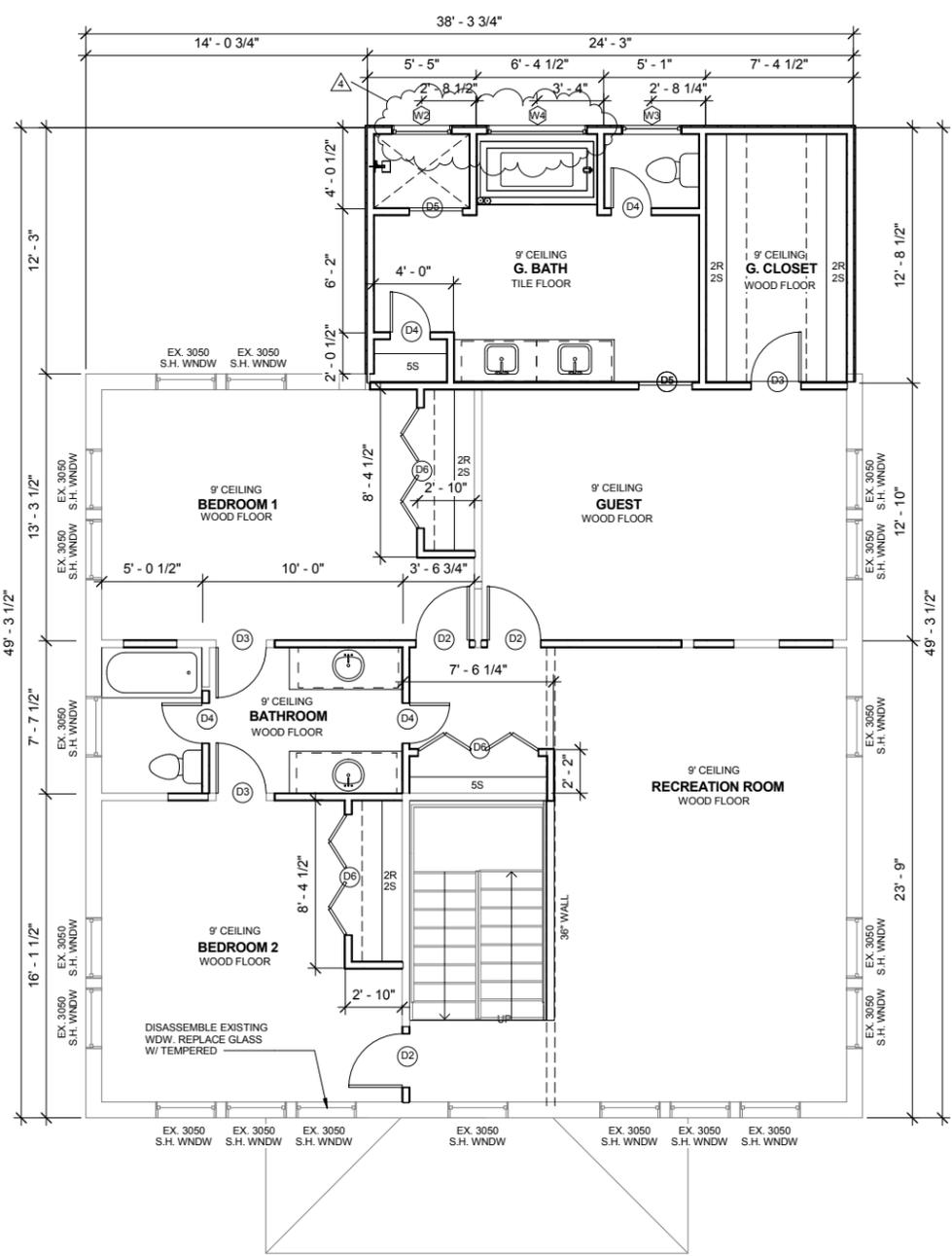
USE	UNIFORM LIVE LOAD	FOR USE IN ROOMS
EXTERIOR BALCONIES	40	FOR USE IN ROOMS
DECKS	40	FOR USE IN ROOMS
POWDER ROOMS	40	FOR USE IN ROOMS
STAIRS	100	FOR USE IN ROOMS

6 Stair Detail
12" = 1'-0"

- ALL WINDOW SIZES ARE NOMINAL - CONFIRM ROUGH OPENING SIZE WITH WINDOW MANUFACTURER BEFORE FRAMING.
- SEE EXTERIOR ELEVATIONS FOR HEAD HEIGHTS AND WINDOW SWING INFO. VERIFY ALL ROUGH WINDOW OPENINGS WITH MANUFACTURER PRIOR TO ORDERING.
- EMERGENCY EGRESS WINDOW TO COMPLY WITH CLEAR DIMENSIONS AND NET CLEAR OPERABLE AREA FOR ESCAPE WINDOW AS DESCRIBED IN SECTION R 310 OF THE IRC.
 CLEAR HEIGHT MINIMUM - 24"
 CLEAR WIDTH MINIMUM - 20"
 OPEN OPEN AREA MINIMUM - 5.7 S.F.
- ALL GLAZING TO BE LOW-E. REVIEW WITH EXTERIOR ELEVATIONS TO CONFIRM MUNTIN PATTERN.
- ENERGY CODE INFORMATION: U FACTOR = 0.30, SHGC = 0.36
- ALL WINDOW FRAMES TO BE OF BRONZED ALUMINUM, STOREFRONT TYPE.

- Notes - Window Schedule
12" = 1'-0"
- DOOR HEIGHTS TO BE 6'-8" (NOMINAL - 6'-10" HEADER) UNLESS NOTED OTHERWISE.
 - ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN FROM THE FACE OF WALL UNLESS NOTED OTHERWISE.
 - ALL WINDOW DIMENSIONS TAKEN TO CENTERLINE OF WINDOW TO FRAMING.
 - CONFIRM ALL WINDOW SIZES WITH WINDOW ORDER PRIOR TO FRAMING.
 - LOCATE HINGE SIDE OF DOOR 4" FROM ADJACENT WALL OR CENTERED ON SPACE UNLESS NOTED OTHERWISE.
 - BEDROOM WINDOW SILLS TO BE MAXIMUM 44" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE OR INFERRED TO BE OTHERWISE BASED ON HEADER HEIGHT AND WINDOW HEIGHT.
 - PROVIDE CEMENTITIOUS BACKER BOARD AT ALL BATHROOM WET AREAS.
 - FRAMER TO PROVIDE CABINET NAILERS AS REQUIRED.
 - SMOKE DETECTORS SHALL BE PLACED IN ACCORDANCE WITH 2006 IRC STANDARDS.
 - ALIGN ALL FIRST FLOOR WINDOW HEADS W/ EXTERIOR DOOR HEAD HEIGHT UNLESS NOTED OTHERWISE.
 - ALL FURNACES & WATER HEATERS TO BE LOCATED IN ATTIC ABOVE SECOND FLOOR UNLESS NOTED OTHERWISE.
 - VERIFY W/ OWNER FOR ALL FINAL FINISH SELECTIONS & COLORS PRIOR TO ORDERING & INSTALLING.
 - VERIFY W/ OWNER FOR SPECIFIC MAKE, CAPACITY & SEQUENCING OF ALL PLUMBING FIXTURES, FITTINGS, AND ACCESSORIES.
 - VERIFY W/ OWNER FOR EXACT APPLIANCES. MAKE & MODEL PRIOR TO ORDERING. VERIFY APPLIANCE DIMENSIONS BEFORE FABRICATION OF MILLWORK & INSTALL PER MANUFACTURERS INSTRUCTIONS.
 - NOTIFY BUILDING DESIGNER IN THE EVENT OF ANY AND ALL DISCREPANCY OR CONFLICT BEFORE WORK PROCEEDS.

Notes - General Plan Notes
12" = 1'-0"



2 Architectural Plan - 2nd Floor
1/4" = 1'-0"

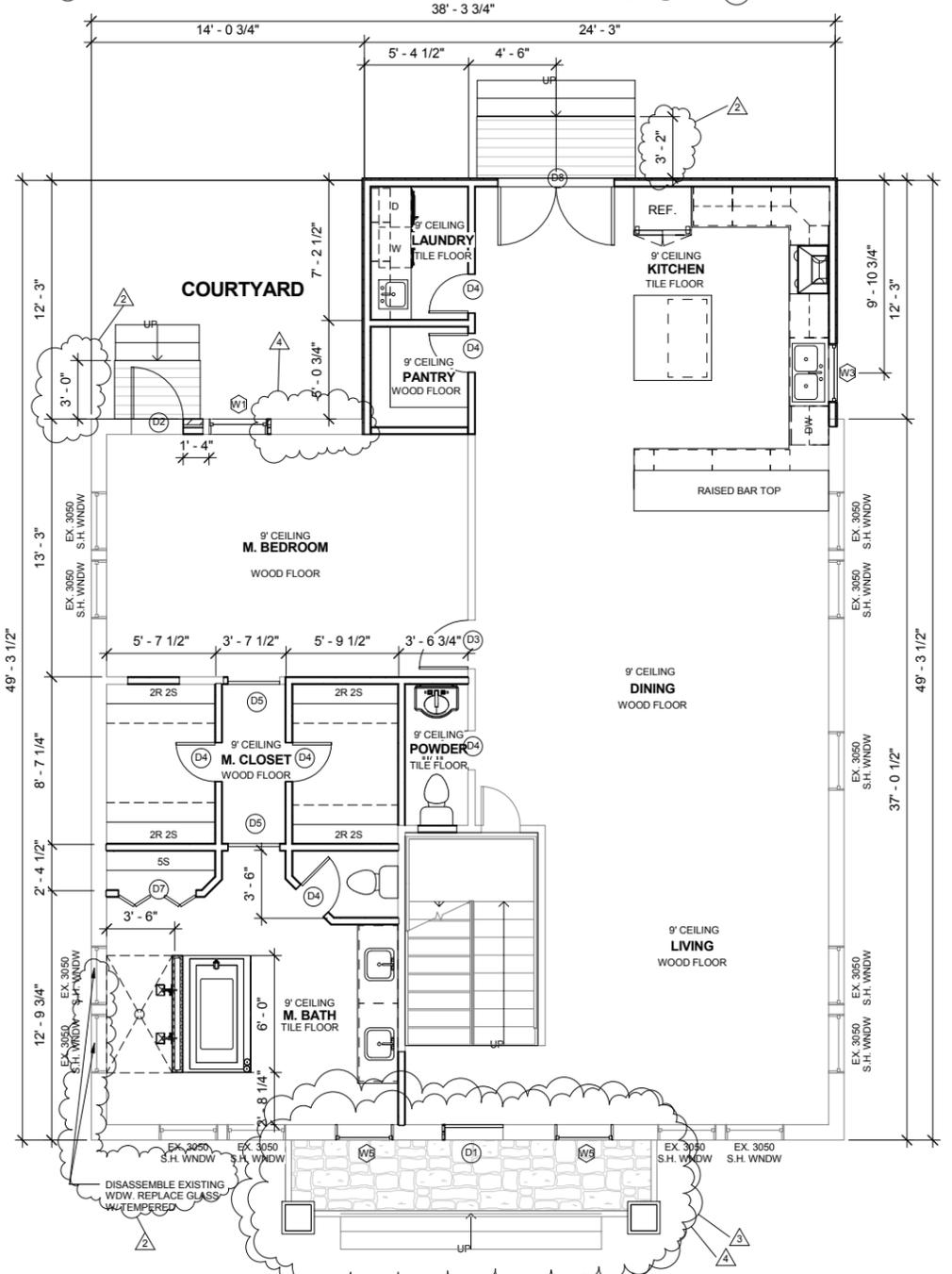
Window Schedule

Model	Height	Width	Family	Sill Height	Head Height	Count	Comments
W1	9'-0"	3'-0"	Double Hung with Trim	2'-0"	7'-0"	1	Tempered
W2	1'-0"	3'-0"	Fixed with Trim	5'-8"	6'-8"	1	Glass Block - Tempered, Privacy
W3	3'-0"	3'-0"	Double Hung with Trim	3'-8"	6'-8"	2	
W4	2'-6"	5'-0"	Fixed with Trim	4'-2"	6'-8"	1	Glass Block - Tempered, Privacy
W5	6'-8"	3'-0"	Fixed Paned w/Trim	0'-0"	6'-8"	2	

Door Schedule

Model	Width	Height	Family	Head Height	Count	Comments
D1	3'-0"	6'-8"	Single-Glass	6'-8"	1	
D2	2'-8"	6'-8"	Single-Panel	6'-8"	4	
D3	2'-6"	6'-8"	Single-Panel	6'-8"	4	
D4	2'-0"	6'-8"	Single-Panel	6'-8"	10	
D5	2'-8"	6'-8"	Single-Glass	6'-8"	4	Tempered, Privacy
D6	6'-0"	6'-8"	Bifold-4 Panel	6'-8"	3	
D7	4'-0"	6'-8"	Bifold-4 Panel	6'-8"	1	
D8	6'-0"	6'-8"	Double-Glass	6'-8"	1	
D9	3'-0"	6'-8"	Single-Panel	5'-2"	1	
D10	16'-0"	6'-6"	Overhead-Sectional	6'-6"	1	

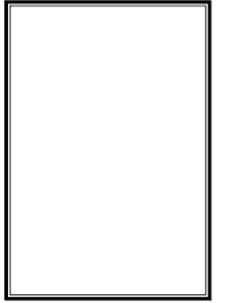
Schedules
1/4" = 1'-0"



1 Architectural Plan - 1st Floor
1/4" = 1'-0"



Copyright 2014 - Sun Collective Design Group's (SCDG) drawings and specifications are instruments of service and shall remain the property of SCDG. They are not to be used on other projects or extensions of this project except by written agreement and with the appropriate compensation to SCDG.



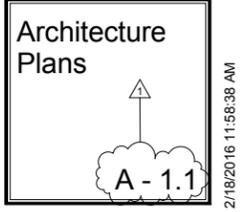
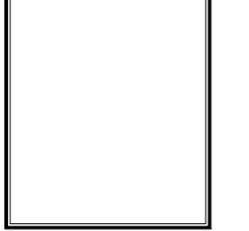
PROJECT NAME:
536 Harvard

PROJECT ADDRESS:
**536 Harvard
 Houston, Texas**

OWNER:
Olympic REI

ISSUES & REVISIONS:

Issue SD	04.25.14
Issue COA Review	07.18.14
Issue DD	07.24.14
Issue for Permit	08.08.14
1 City Comments	09.26.14
2 City Comments 2	10.13.14
3 Post Constr. COA	1.12.16
4 Post Constr. COA 2	2.18.16



PROJECT NAME:

536 Harvard

PROJECT ADDRESS:

**536 Harvard
Houston, Texas**

OWNER:

Olympic REI

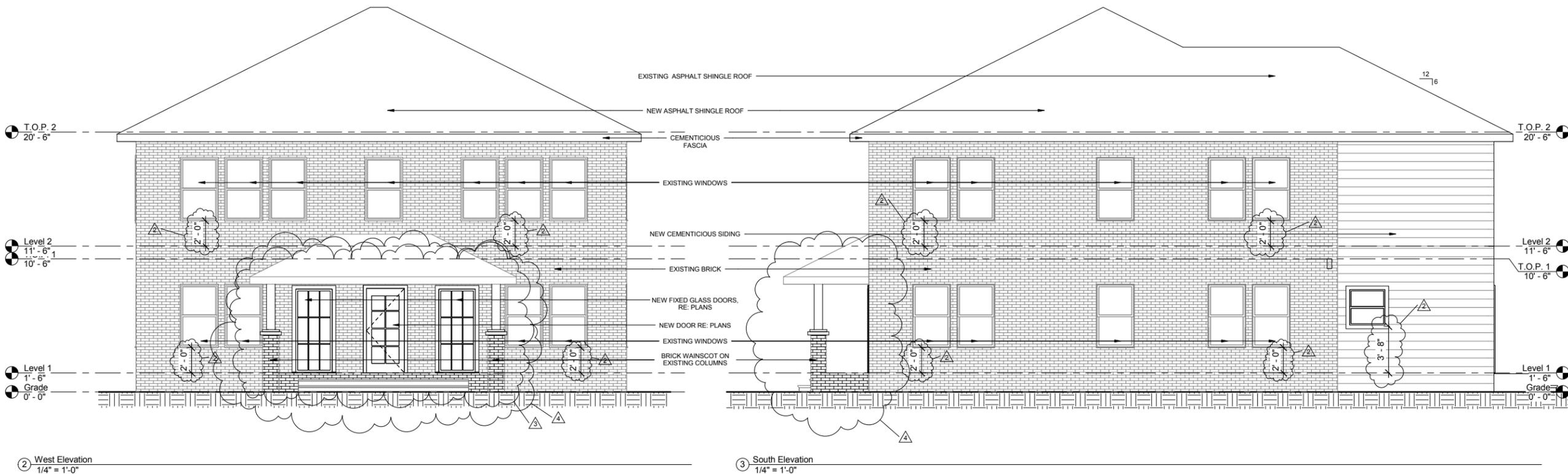
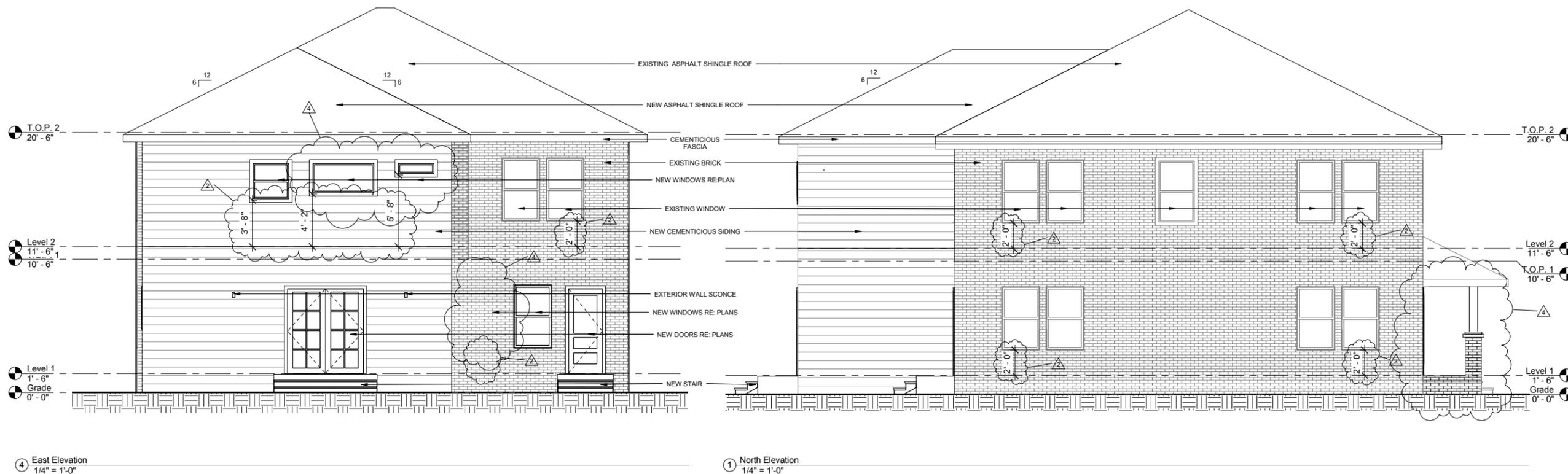
ISSUES & REVISIONS:

Issue SD	04.25.14
Issue COA Review	07.18.14
Issue DD	07.24.14
Issue for Permit	08.08.14
City Comments 2	10.13.14
Post Constr. COA	1.12.16
Post Constr. COA 2	2.18.16

Elevations

A - 3.0

2/18/2016 11:58:39 AM





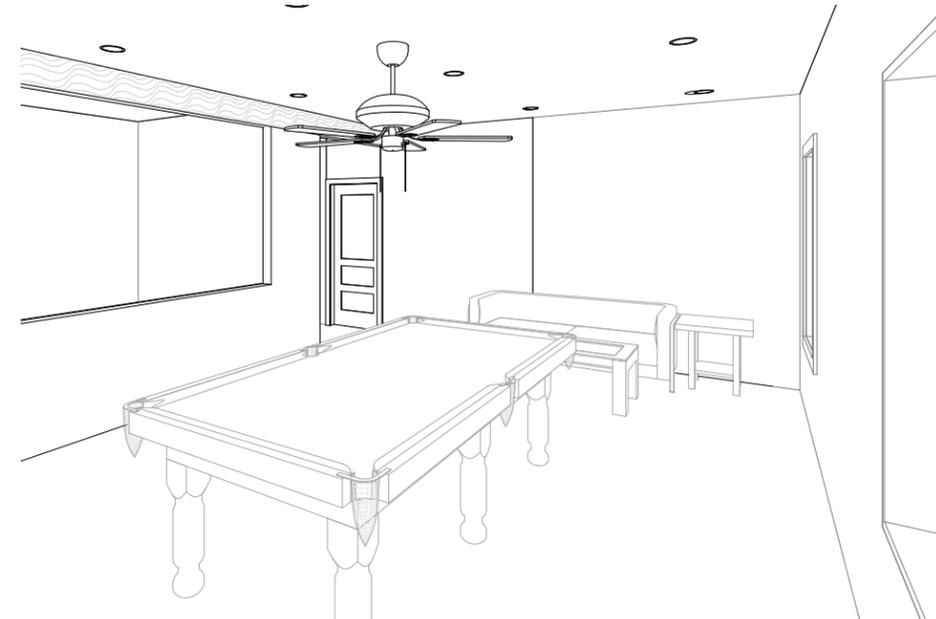
1 Front Exterior



4 Kitchen



3 3D View 1



2 Rec Room

PROJECT NAME:
536 Harvard

PROJECT ADDRESS:
**536 Harvard
Houston, Texas**

OWNER:
Olympic REI

ISSUES & REVISIONS:

Issue SD	04.25.14
Issue COA Review	07.18.14
Issue DD	07.24.14

3D Images



HARVARD FRONT ELEVATION

The proposal to the HAHC was to have 7' 9-Lite fixed windows. Rather than do a change out on these we can create a 9-Lite window grid and place over the obscured glass. (can be easily removed) Luke I will defer to you whether we need to do anything here for the re-submittal.

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 536 HARVARD
Historic District / Landmark
Subdivision HOUSTON HEIGHTS HCAD# 0210214000021
Lot 21 Block 289

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name RAUS LLC - WILL RAUS
Company OLYMPIC REI
Mailing Address 2802 WESTERLAND
HOUSTON, TX 77346
Phone 832 457 9778
Email [REDACTED]

APPLICANT (if other than owner)

Name JEREMY SPARKS
Company OLYMPIC REI
Mailing Address 2802 WESTERLAND
HOUSTON, TX 77063
Phone 832 457 9778
Email [REDACTED]
Signature [Signature]
Date 3/1/16

ACKNOWLEDGEMENT OF RESPONSIBILITY

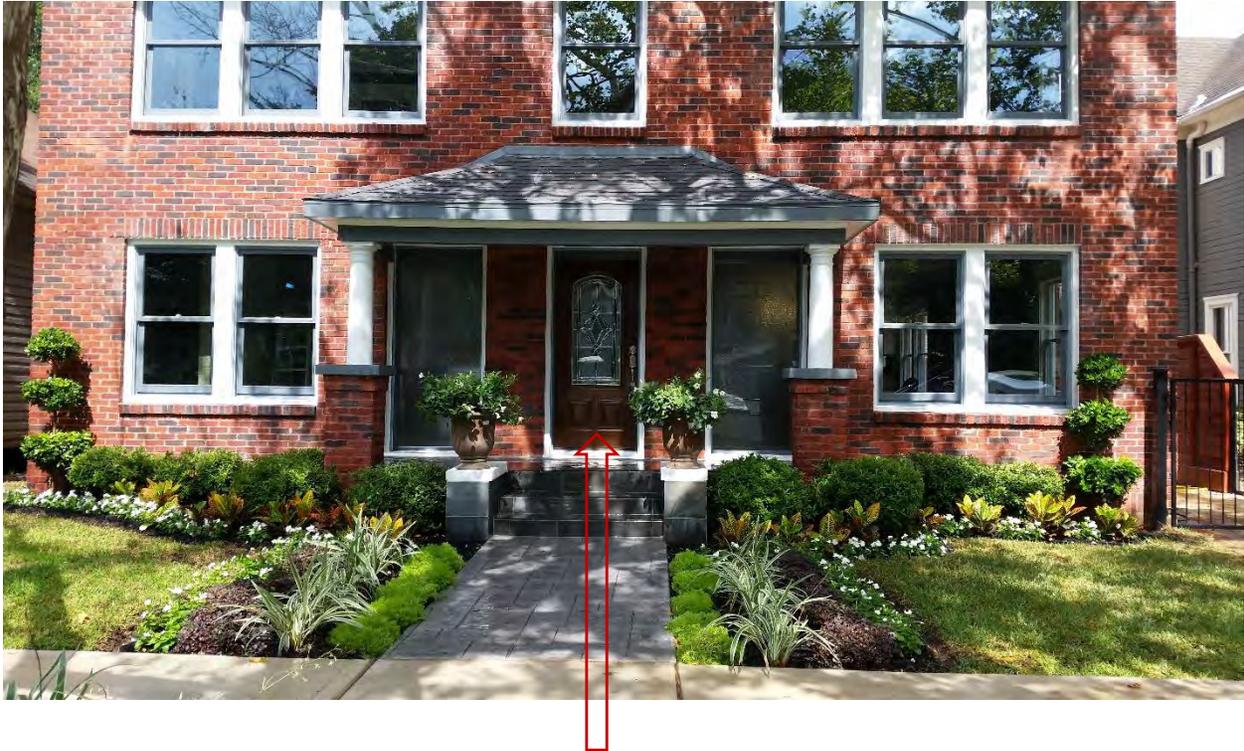
Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___



The recommendation from the HAHC was to leave the front door. Upon inspection there was significant water damage to the door base, broken grids on the interior, and a significant warp not allowing the door to close properly. We replaced with a single lite lead glass mahogany door. Please change and re-submit.



The original round support columns were left intact instead of changing to square as was originally suggested. The HAHC recommendation was to leave the existing columns, which we did.

Brick cladding with cap was added in keeping with the period architecture in the Heights. This was not in the original request. Please make the changes and re-submit for approval.

HARVARD PORCH COLUMN



HARVARD LEFT REAR ELEVATION

The original submittal to the HAHC was to have 2 windows to the left of the rear mast BR. The addition did not leave enough room on the exterior for this one so it was eliminated. Please change and re-submit.



RIGHT REAR ELEVATION-HARVARD

The original submittal to the HAHC was to have a 30 x 30 window here. This window is on the shower wall and was replaced with 1' x 36" glass block. Please change and re-submit.

PROJECT NAME:
536 Harvard

PROJECT ADDRESS:
**536 Harvard
Houston, Texas**

OWNER:
Olympic REI

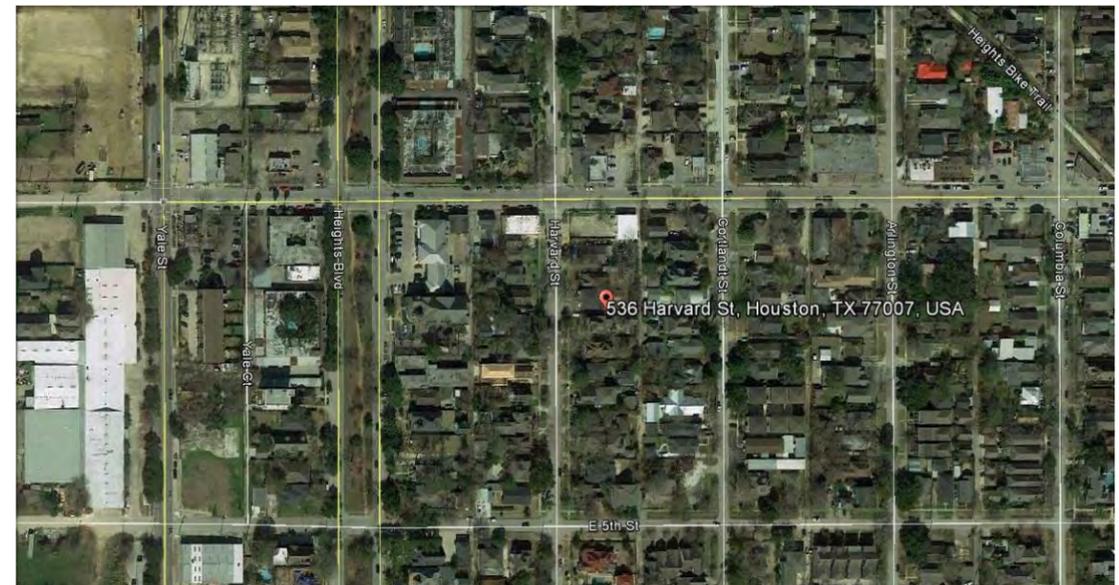
ISSUES & REVISIONS:

Issue SD	04.25.14
Issue COA Review	08.06.14

Project Information

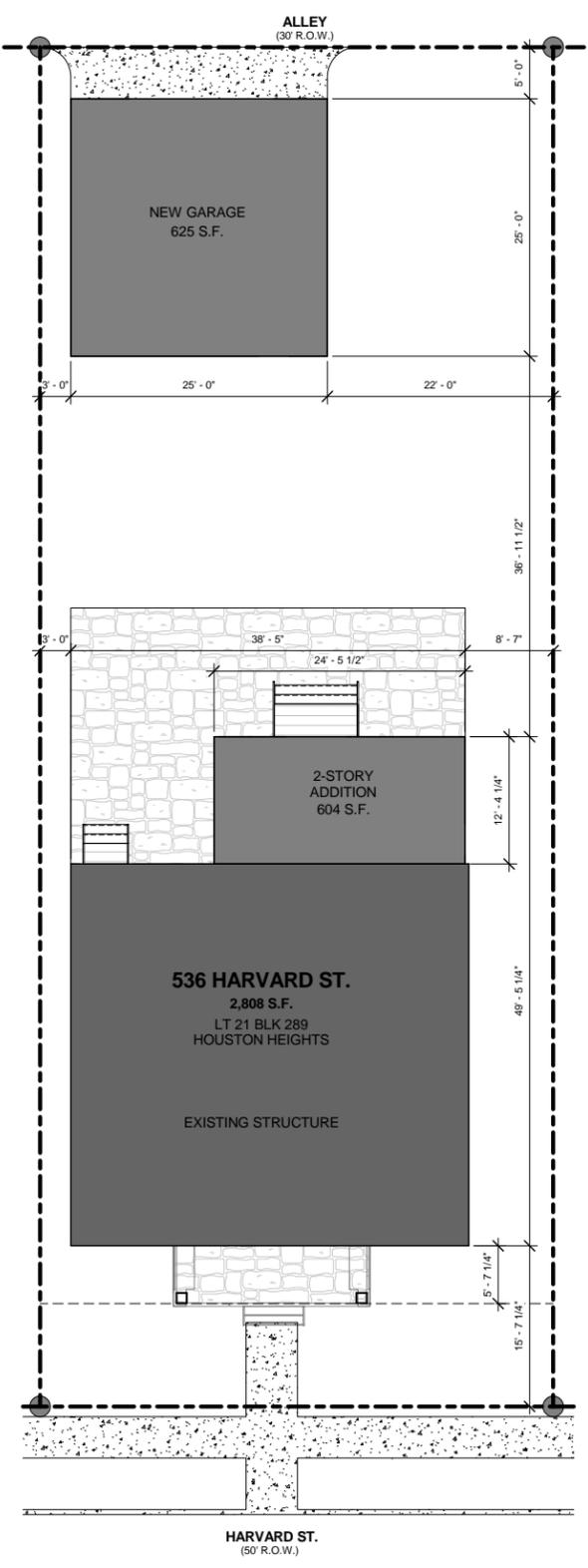
A - 0.0

8/5/2014 5:23:02 PM



5 Area Map
12" = 1'-0"

536 Harvard St.
Houston, TX 77004



1 Site Plan
1/8" = 1'-0"

ACC.	ARCH	Architect, architectural	CONT.	WOOD BLOCKING
	ACOUS	Acoustic		SIZE AS NOTED
	ABV	Above		
	AFF	Above finish floor		
	AFS	Above finish slab		
	ALUM	Aluminum		
	ANOD	Anodized		
	@	At		
	BD	Board		
	BLDG	Building		
	BLKG	Blocking		
	BOT	Bottom		
	BTW	Between		
	CL	Center line		
	CW	Cold water		
	CJ	Control Joint		
	CPT	Carpet		
	CONC	Concrete		
	CONT	Continuous		
	CLR	Clear		
	COL	Column		
	CLG	Ceiling		
	CONTR	Contractor, Contract		
	CMU	Concrete Masonry Unit		
	CT	Ceramic Tile		
	D	Deep, depth		
	DIA	Diameter		
	DR	Door		
	DW	Dishwasher		
	DF	Drinking fountain		
	DBL	Double		
	DET	Detail		
	DIM	Dimension		
	DEMO	Demolition, demolish		
	DWR	Drawer		
	EQUIP	Equipment		
	E	East		
	EA	Each		
	EJ	Expansion Joint		
	EW	Each way		
	EQ	Equal		
	EDF	Electric drinking fountain		
	EXIST	Existing		
	EXT	Exterior		
	FURR	Furred/Furring		
	FIN	Finish		
	FL	Floor		
	FP	Fire proofing		
	FWC	Fabric wall covering		
	FIXT	Fixture		
	FLUOR	Fluorescent		
	FURN	Furnish, furnishing, furniture		
	FD	Floor Drain		
	FEC	Fire extinguisher cabinet		
	FHC	Fire hose cabinet		
	FT, '	Foot, feet		
	GALV	Galvanized		
	GA	Gauge		
	GEN	General		
	GC	General contractor		
	GRD	Grade		
	GRND	Ground		
	GB, GWB	Gypsum wallboard		
	H, HGT	Height		
	HDWR	Hardware		
	HC	Hollow core or handicap		
	Horz, Horiz	Horizontal		
	HM	Hollow Metal		
	INSUL	Insulation		
	IN, *	Inch		
	INT	Interior		
	INST	Install		
	JT	Joint		
	KD	Kiln dry		
	KM	Kilometer		
	L	Long, length		
	LAV	Lavatory		
	LB, #	Pound		
	LH	Left handed		
	LT	Light		
	LIN	Linear, Lineal		
	LF	Lineal feet		
	MO	Masonry Opening		
	M	Meter		
	MAX	Maximum		
	MFR	Manufacturer		
	MECH	Mechanical		
	MTL, MET	Metal		
	MISC	Miscellaneous		
	NO, #	Number		
	N	North		
	NIC	Not in this contract		
	NTS	Not to scale		
	NOM	Nominal		
	OC	On center		
	OPNG	Opening		
	OD	Outside diameter		
	OPP	Opposite		
	OPH	Opposite hand		
	PLWD	Plywood		
	POL	Polished		
	PTN	Partition		
	PNT	Paint		
	PSF	Pound per square foot		
	QUAN	Quantity		
	QT	Quarry tile		
	R	Riser		
	RE	Reference, refer		
	RB	Resilient base		
	REF	Refrigerator		
	RH	Right handed		
	RES	Resilient		
	RM	Room		
	REV	Revision, Revised		
	RAD	Radius		
	RD	Roof drain		
	S	South		
	SC	Solid core		
	SCHED	Scheduled		
	SHT	Sheet		
	SIM	Similar		
	SPEC	Specification		
	SSTL	Stainless steel		
	STD	Standard		
	STL	Steel		
	STRUCT	Structure, structural		
	SUSP	Suspended		
	SF	Square feet		
	SI	Square inch		
	SY	Square yard		
	TBD	To be decided		
	THK	Thickness, thick		
	TOP	Top of plate		
	TOS	Top of steel		
	TRTD	Treated		
	TYP	Typical		
	T	Tread		
	UL	Underwriters Laboratory		
	UNO	Unless noted otherwise		
	VERT	Vertical		
	VIF	Verify in field		
	VCT	Vinyl composition tile		
	VWC	Vinyl wallcovering		
	W	West, wide, width		
	WC	Water closet		
	WDW	Window		
	WD	Wood		
	W	With		
	W/O	Without		
	WR	Water resistant		

7 Abbreviations
1/4" = 1'-0"

	CONT. WOOD BLOCKING
	DISCONTINUOUS WOOD SHIM
	GLASS AS NOTED / MIRROR
	FIN. SOLID WOOD (ALL SPECIES)
	PLYWOOD (ALL TYPES)
	GLASS AS NOTED (ALL TYPES)
	PLASTER W/METAL LATH AS NOTED (ALL TYPES)
	CARPET (ALL TYPES) AS CODED
	RIGID OR BOARD INSULATION AS NOTED (ALL TYPES)
	BATT OR BLANKET INSULATION AS NOTED (ALL TYPES)
	STRUCT OR MISC ALUM
	STRUCT OR MISC STEEL
	CEILING TILE (ALL TYPES)
	CONCRETE (ALL TYPES)
	ORNAMENTAL METAL
	STONE AS NOTED
	SAND, GROUT, OR MORTAR
	PLASTIC LAMINATE

6 Material Legend
1/4" = 1'-0"

	REVISION
	KEY NOTE NUMBER
	EXTERIOR WINDOW TYPE
	INTERIOR WINDOW TYPE
	DOOR TYPE/NUMBER
	ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	DETAIL REFERENCE
	DETAIL NUMBER
	SHEET NUMBER
	ELEVATION LEVEL LINE
	NEW POINT ELEVATION
	PARTITION TYPE
	CENTERLINE
	PLATE
	AT
	RADIUS
	DIAMETER
	AND
	PER

4 Graphic Symbols
1/4" = 1'-0"

	REVISION
	KEY NOTE NUMBER
	EXTERIOR WINDOW TYPE
	INTERIOR WINDOW TYPE
	DOOR TYPE/NUMBER
	ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	DETAIL REFERENCE

3 Project Team
12" = 1'-0"

Applicable Codes:
2006 International Residential Code (with CoH Amendments)
2009 International Energy Conservation Code (with CoH Amendments)
2008 Uniform Mechanical Code (with CoH Amendments)
2006 Uniform Plumbing Code (with CoH Amendments)
2011 National Electrical Code (with CoH Amendments)

Scope of Work:
Remodel an existing 2,808 s.f. home and add a 604 s.f. addition and 1,250 s.f. garage

Occupancy Classification:
Group R-3 - Residential, Single-family

2 Code Information
12" = 1'-0"

A - 0.0	Project Information
A - 1.0	Demolition Plans
A - 1.1	Architecture Plans
A - 3.0	Elevations
x - 1.0	3D Images
x - 1.1	3D Images

1 Sheet Index
12" = 1'-0"

Project Information
Demolition Plans
Architecture Plans
Elevations
3D Images
3D Images

PROJECT NAME:
536 Harvard

PROJECT ADDRESS:
**536 Harvard
Houston, Texas**

OWNER:
Olympic REI

ISSUES & REVISIONS:

Issue SD	04.25.14
Issue COA Review	08.06.14

**Demolition
Plans**

A - 1.0

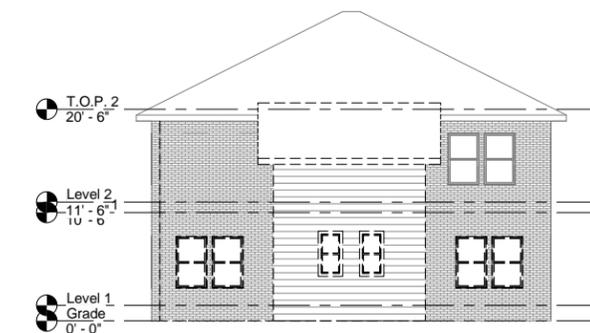
8/5/2014 5:23:04 PM



⑥ West Elevation Demo
1/8" = 1'-0"



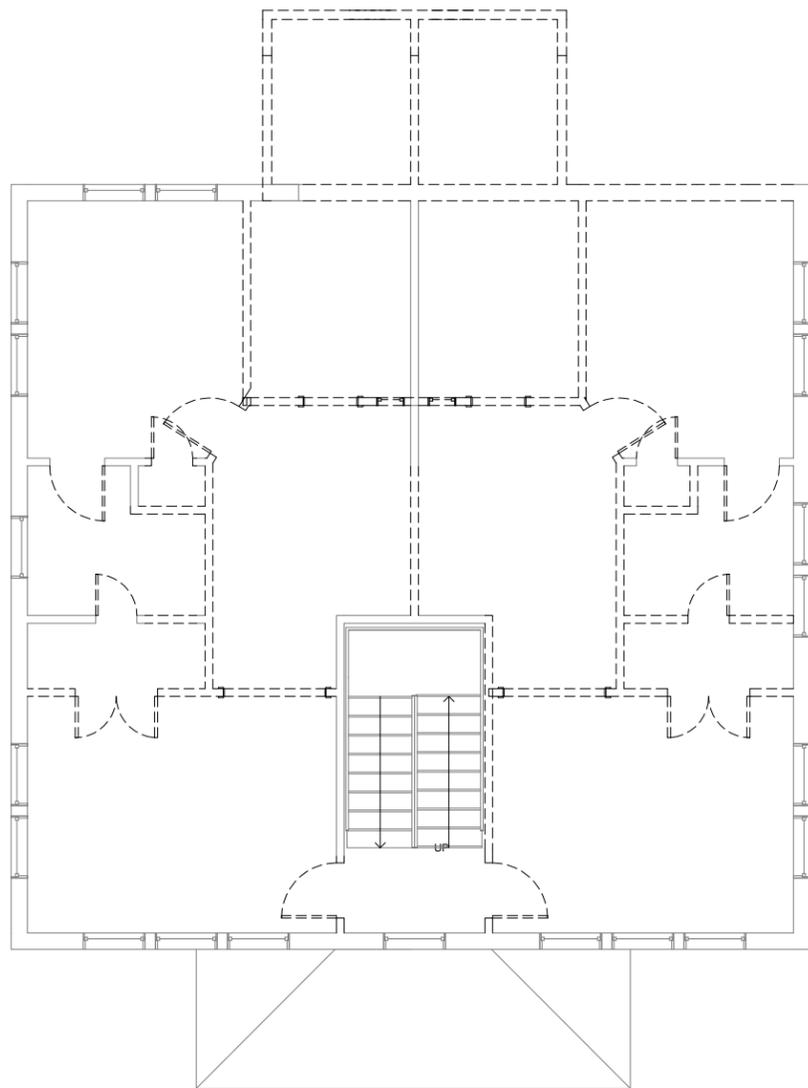
⑤ South Elevation Demo
1/8" = 1'-0"



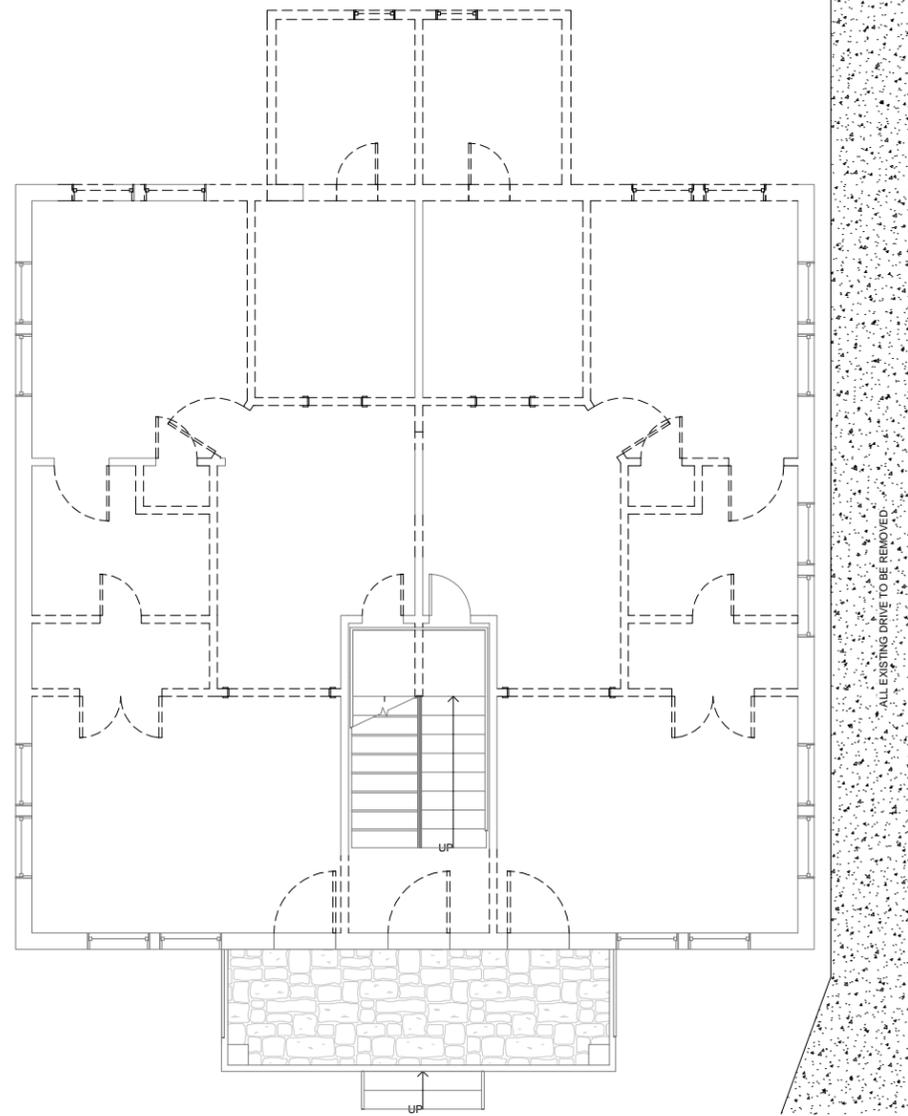
③ East Elevation Demo
1/8" = 1'-0"



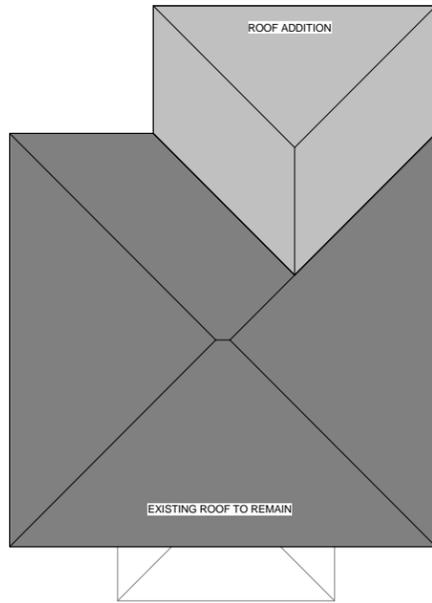
④ North Elevation Demo
1/8" = 1'-0"



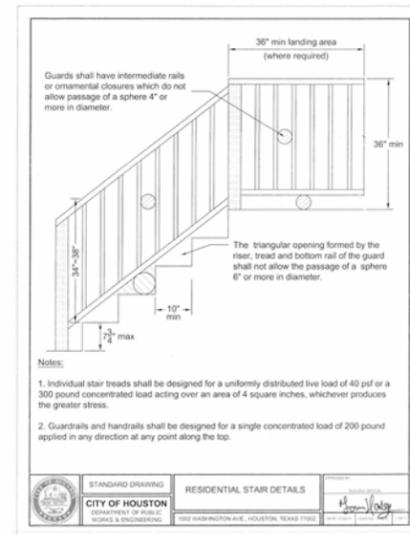
② Demolition Plan - 2nd Floor
1/4" = 1'-0"



① Demolition Plan - 1st Floor
1/4" = 1'-0"



3 Roof - Framing Plan
1/8" = 1'-0"



R311.5 Stairways.

R311.5.1 Width.
Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31.5 inches (787 mm) where a handrail is installed on one side and 27 inches (698 mm) where handrails are provided on both sides.

Exception: The width of spiral stairways shall be in accordance with Section R311.5.8

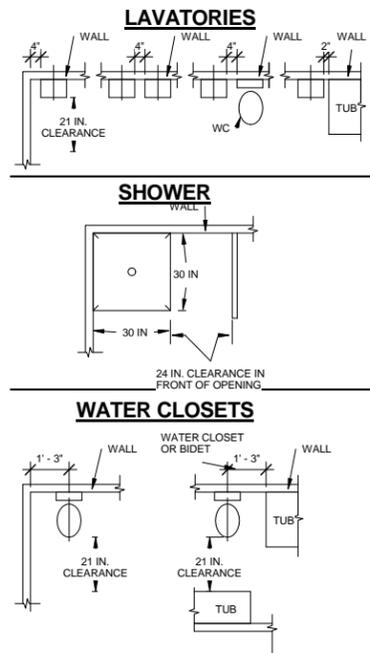
SECTION R312 GUARDS

R312.1 Guards.
Porches, balconies, ramps or raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.

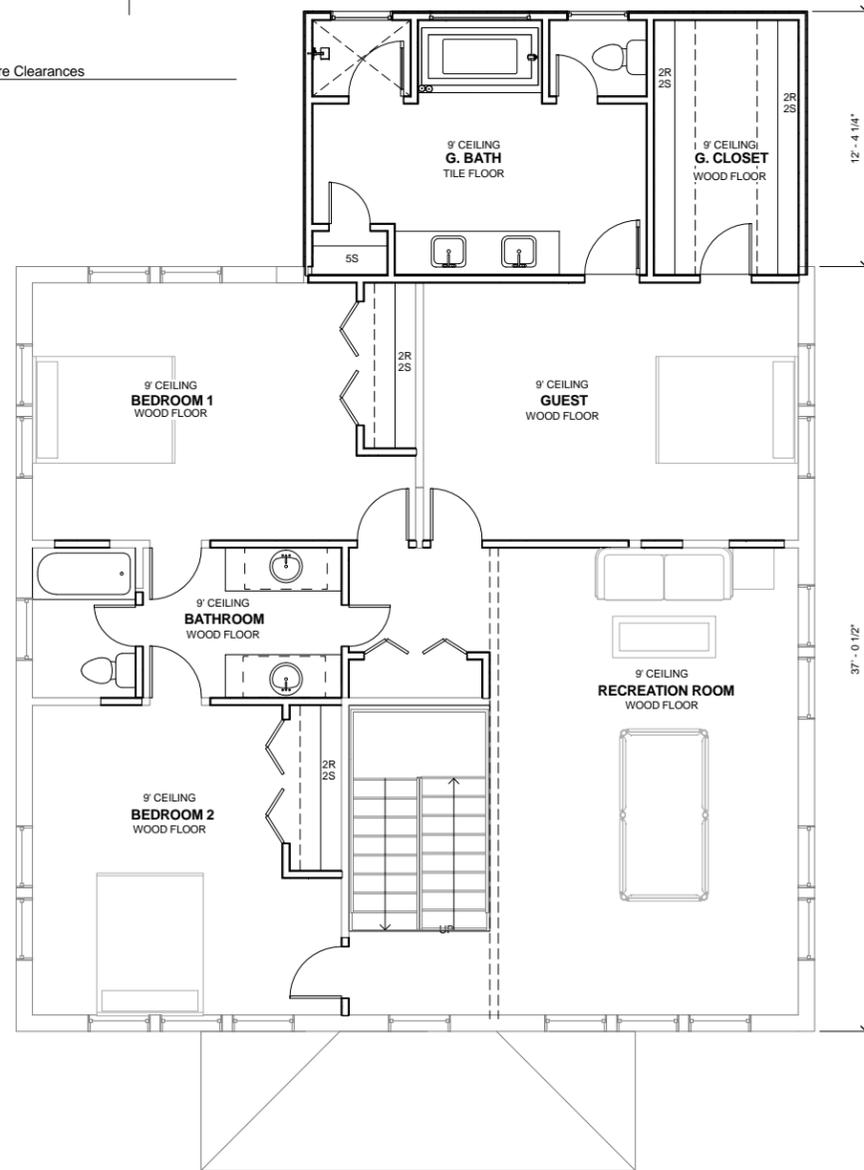
Porches and decks which are enclosed with insect screening shall be equipped with guards where the walking surface is located more than 30 inches (762 mm) above the floor or grade below.

USE	LIVE LOAD (IN POUNDS PER SQUARE FOOT)
EXTERIOR BALCONIES	40
FLOORS	40
FIRE ESCAPES	40
PASSENGER SINGLE GARAGES	50 A
VEHICLE STORAGE	50 B
ATTICS WITH STORAGE	20
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 C
LANDINGS AND HALLWAYS	100

Stair Detail
1/2" = 1'-0"



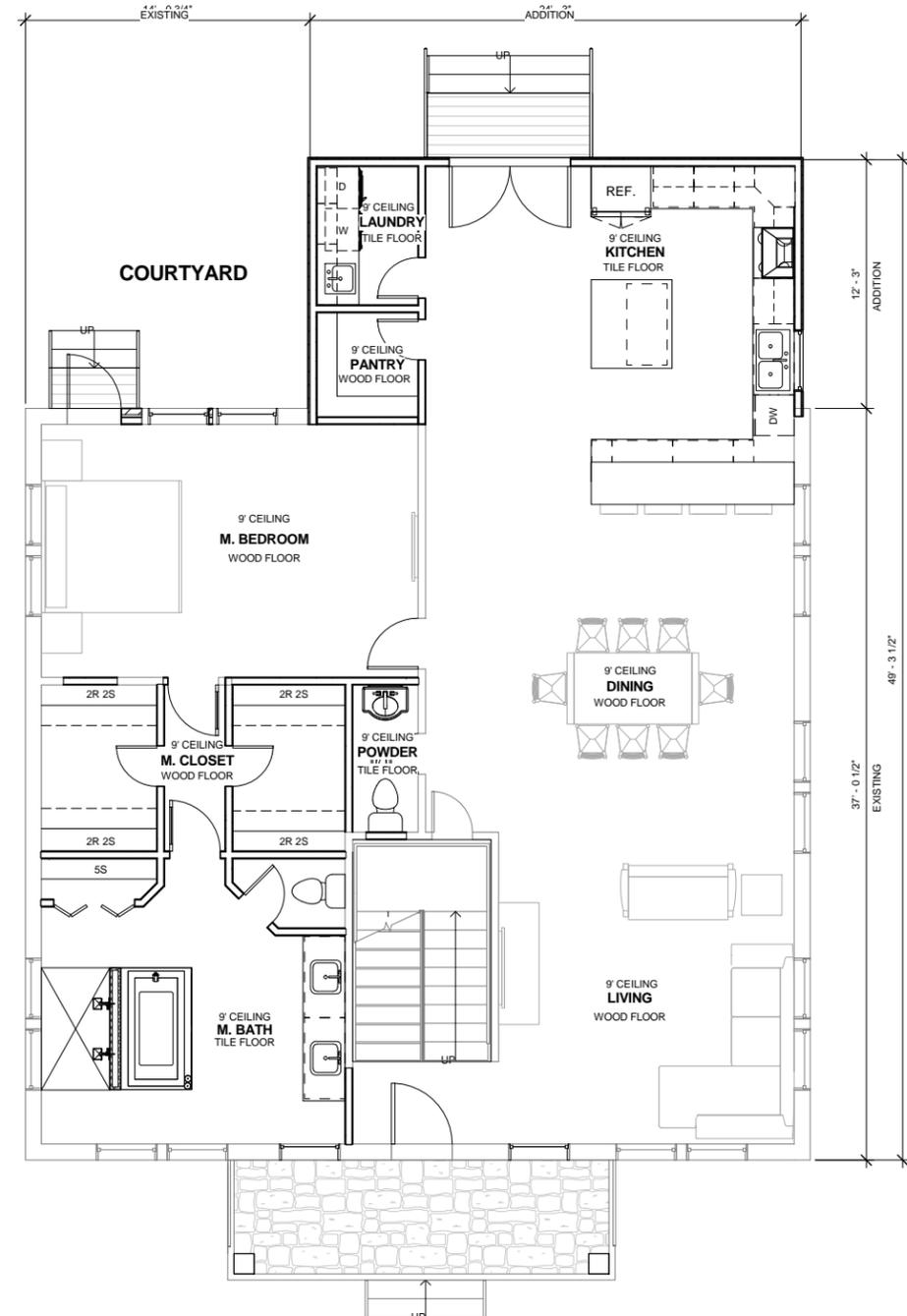
Plumbing Fixture Clearances
3/8" = 1'-0"



Architectural Plan - 2nd Floor
1/4" = 1'-0"

- DOOR HEIGHTS TO BE 8'-0" (NOMINAL - 8'-2" HEADER) UNLESS NOTED OTHERWISE.
- ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN FROM THE FACE OF WALL UNLESS NOTED OTHERWISE.
- ALL WINDOW DIMENSIONS TAKEN TO CENTERLINE OF WINDOW TO FRAMING.
- CONFIRM ALL WINDOW SIZES WITH WINDOW ORDER PRIOR TO FRAMING.
- LOCATE HINGE SIDE OF DOOR 4" FROM ADJACENT WALL OR CENTERED ON SPACE UNLESS NOTED OTHERWISE.
- BEDROOM WINDOW SILLS TO BE MAXIMUM 44" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE OR INFERRED TO BE OTHERWISE BASED ON HEADER HEIGHT AND WINDOW HEIGHT.
- PROVIDE CEMENTITIOUS BACKER BOARD AT ALL BATHROOM WET AREAS.
- FRAMER TO PROVIDE CABINET NAILERS AS REQUIRED.
- SMOKE DETECTORS SHALL BE PLACED IN ACCORDANCE WITH 2006 IRC STANDARDS.
- ALIGN ALL FIRST FLOOR WINDOW HEADS W/ EXTERIOR DOOR HEAD HEIGHT UNLESS NOTED OTHERWISE.
- ALL FURNACES & WATER HEATERS TO BE LOCATED IN ATTIC ABOVE SECOND FLOOR UNLESS NOTED OTHERWISE.
- VERIFY W/ OWNER FOR ALL FINAL FINISH SELECTIONS & COLORS PRIOR TO ORDERING & INSTALLING.
- VERIFY W/ OWNER FOR SPECIFIC MAKE, CAPACITY & SEQUENCING OF ALL PLUMBING FIXTURES, FITTINGS, AND ACCESSORIES.
- VERIFY W/ OWNER FOR EXACT APPLIANCES, MAKE & MODEL PRIOR TO ORDERING. VERIFY APPLIANCE DIMENSIONS BEFORE FABRICATION OF MILLWORK & INSTALL PER MANUFACTURERS INSTRUCTIONS.
- NOTIFY BUILDING DESIGNER IN THE EVENT OF ANY AND ALL DISCREPANCY OR CONFLICT BEFORE WORK PROCEEDS.

Notes - General Plan Notes
12" = 1'-0"



Architectural Plan - 1st Floor
1/4" = 1'-0"



Copyright 2014 - Sun Collective Design Group's (SCDG) drawings and specifications are instruments of service and shall remain the property of SCDG. They are not to be used on other projects or extensions of this project except by written agreement and with the appropriate compensation to SCDG.

PROJECT NAME:
536 Harvard

PROJECT ADDRESS:
**536 Harvard
Houston, Texas**

OWNER:
Olympic REI

ISSUES & REVISIONS:

Issue SD	04.25.14
Issue DD1	04.29.14
Issue COA Review	08.06.14

Architecture
Plans

PROJECT NAME:

536 Harvard

PROJECT ADDRESS:

**536 Harvard
Houston, Texas**

OWNER:

Olympic REI

ISSUES & REVISIONS:

Issue SD	04.25.14
Issue DD1	04.29.14
Issue COA Review	08.06.14

Elevations

A - 3.0

8/5/2014 5:23:06 PM



④ East Elevation
1/4" = 1'-0"



① North Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"



③ South Elevation
1/4" = 1'-0"



② Street View



① Street View 2



③ Street View 3



1245 W. 18th St
Houston, TX

Copyright 2014 - Sun Collective Design Group's (SCDG) drawings and specifications are instruments of service and shall remain the property of SCDG. They are not to be used on other projects or extensions of this project except by written agreement and with the appropriate compensation to SCDG.

PROJECT NAME:
536 Harvard

PROJECT ADDRESS:
**536 Harvard
Houston, Texas**

OWNER:
Olympic REI

ISSUES & REVISIONS:

Issue SD	04.25.14
Issue DD1	04.29.14
Issue COA Review	08.06.14

3D Images

x - 1.0