

CERTIFICATE OF APPROPRIATENESS

Application Date: June 21, 2024

Applicant: Sam Gianukos, agent for Michael J. Fernbach, owner

Property: 1836 Cortlandt Street, Lot 22 & 23A, Block 106, Houston Heights Subdivision. The property includes a historic 1,628 square foot, one-story wood frame single-family residence and a one-story garage situated on a 9,900 square foot (75' x 132') interior lot.

Significance: Contributing Bungalow residence, constructed circa 1920, located in the Houston Heights Historic District East.

Proposal: Alteration – Garage

The proposal includes demolishing an existing noncontributing garage and building a two-story new garage and a two-story addition towards the rear and side of the existing house.

The applicant proposes to construct 488 square feet of garage on the first level and 528 square feet on the second level.

The roof pitch will be 6/12 and the eave height will be 20'-4". We propose a ridge height of 26'-5".

The ceiling height will be 9'-0" for the first level, and 9'-0" for the second level.

The proposed siding will be 1x6 fiber smooth cement siding.

INFO SUBJECT TO MINOR CHANGES IN THE FINAL REPORT.

See enclosed detailed application materials for further details.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: -

HAHC Action: -

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;
- (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;
- (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;
- (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that:
 - (a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and
 - (b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

HEIGHTS DESIGN GUIDELINES

In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA

S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 9,900
Proposed Lot Coverage: 2,753
Proposed Percentage: 27.8%

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 9,900
Proposed FAR: 3,720
Proposed Percentage: 37.5%

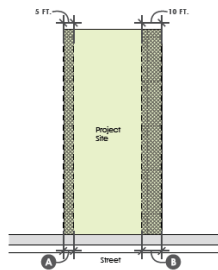
Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Rear setback is at least 22'-2"

Side Setbacks (Addition and New Construction)



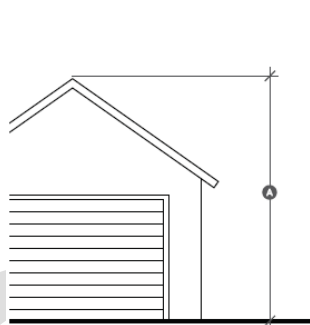
Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
A	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (N): 5'
 Proposed side setback (S): 10'
 Cumulative side setback: 15'

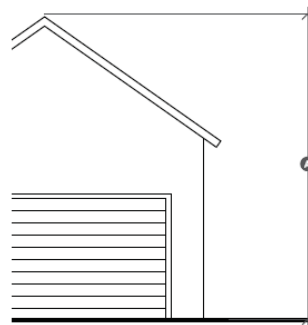
Detached Garage Ridge Height (New Construction)

GARAGE 1-STORY RIDGE HEIGHT



KEY	MEASUREMENT	APPLICATION
A	16 FT.	Maximum 1-story garage ridge height

GARAGE 2-STORY RIDGE HEIGHT



KEY	MEASUREMENT	APPLICATION
A	26 FT.	Maximum 2-story garage ridge height (for garage apartment)

The ridge height is 26'-5"



PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT EAST



Building Classification

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO



CONTEXT AREA



Figure 1- 1832 Cortlandt next door neighbor

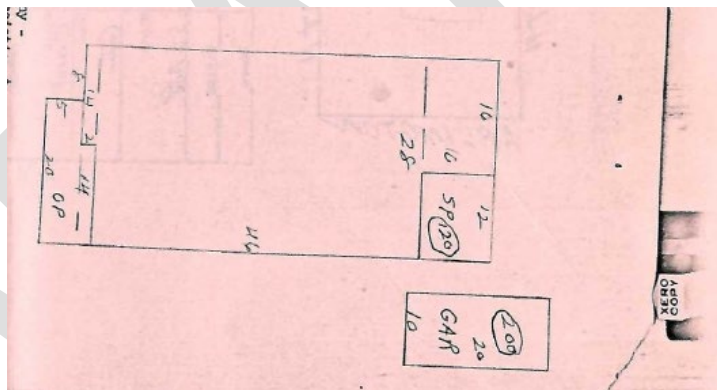
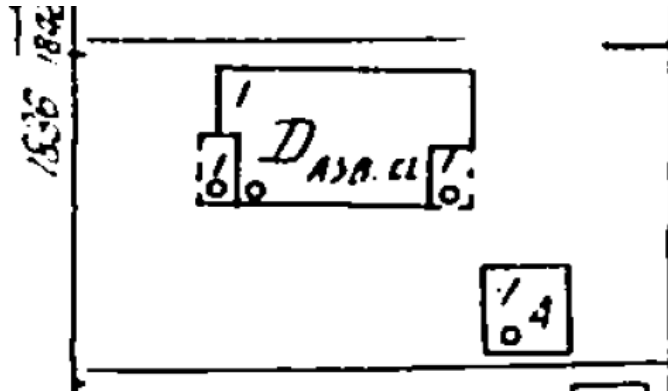


Figure 2- 1842 Cortlandt next door neighbor

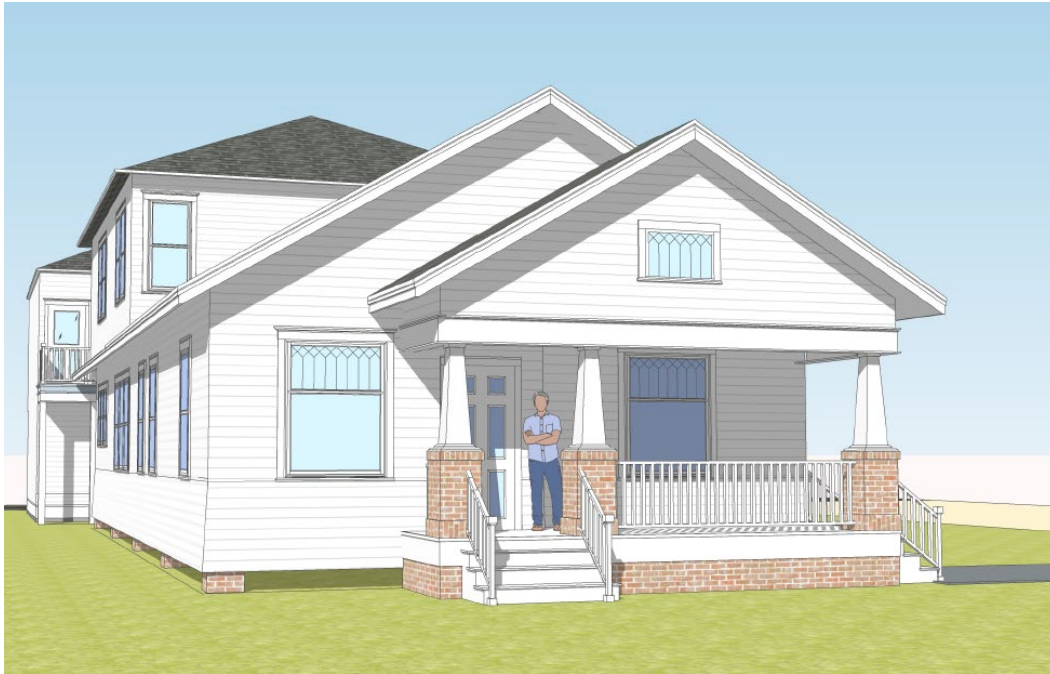
EXISTING PHOTOS



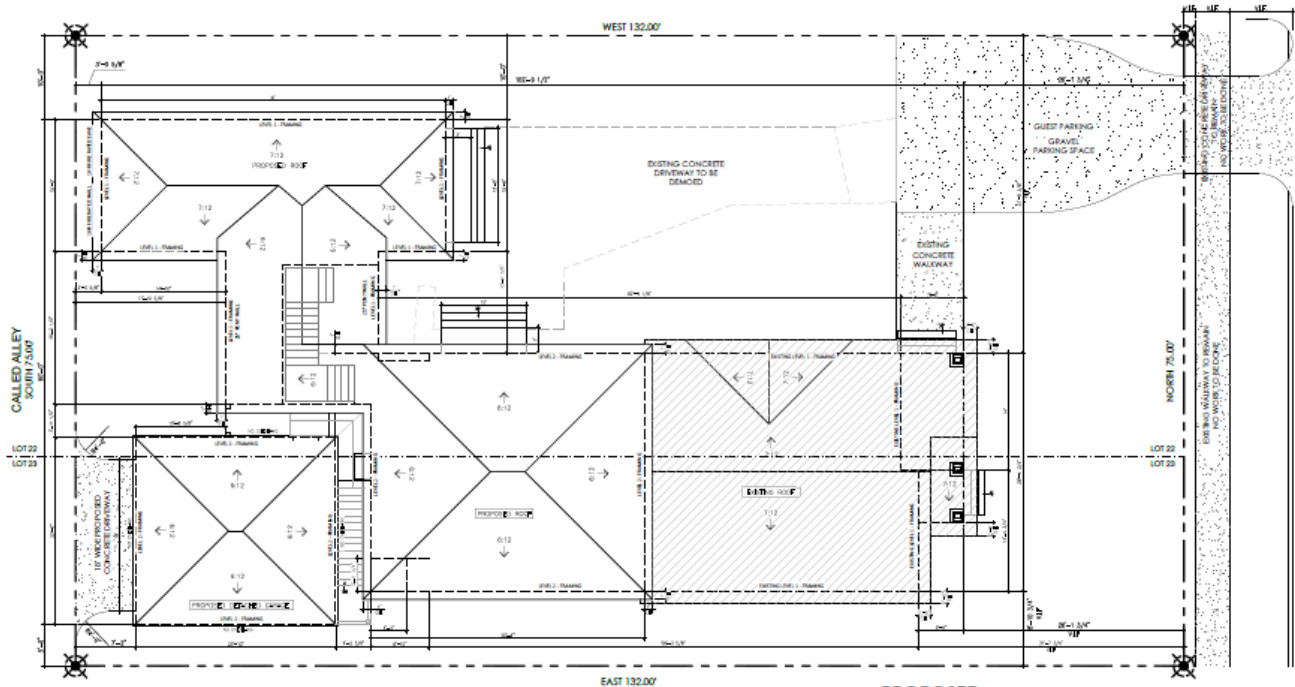
SANBORN MAP



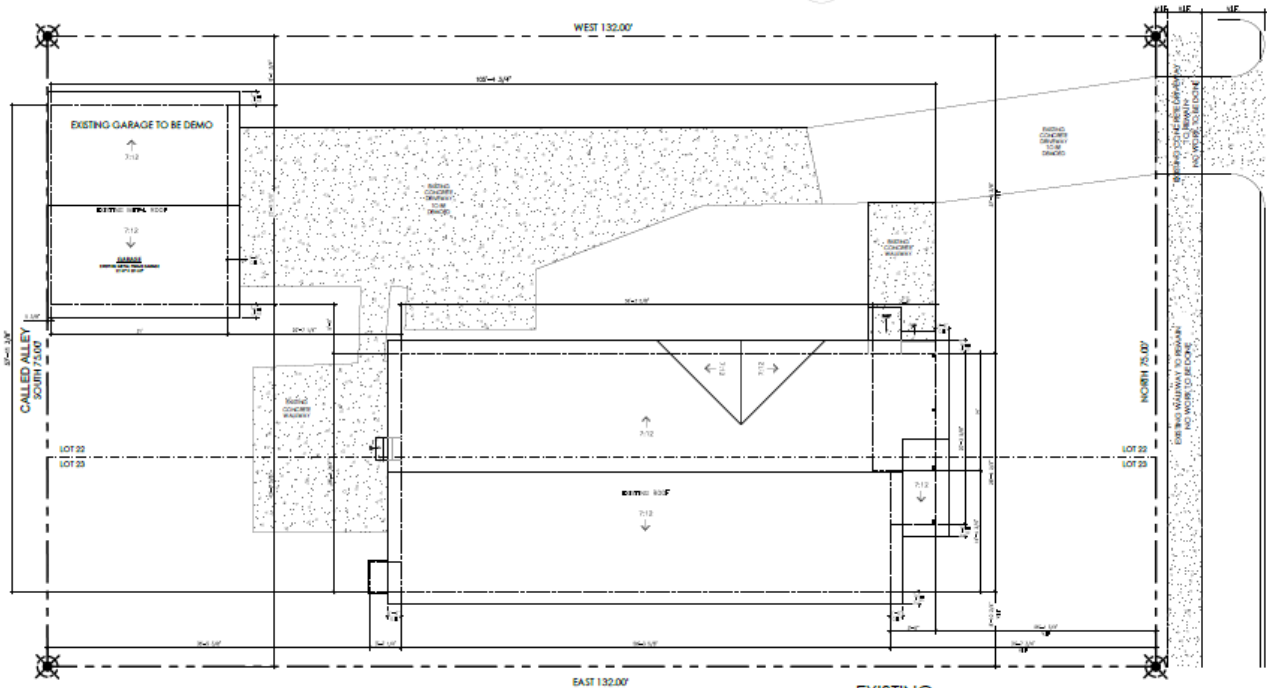
3D RENDERINGS



SITE PLAN

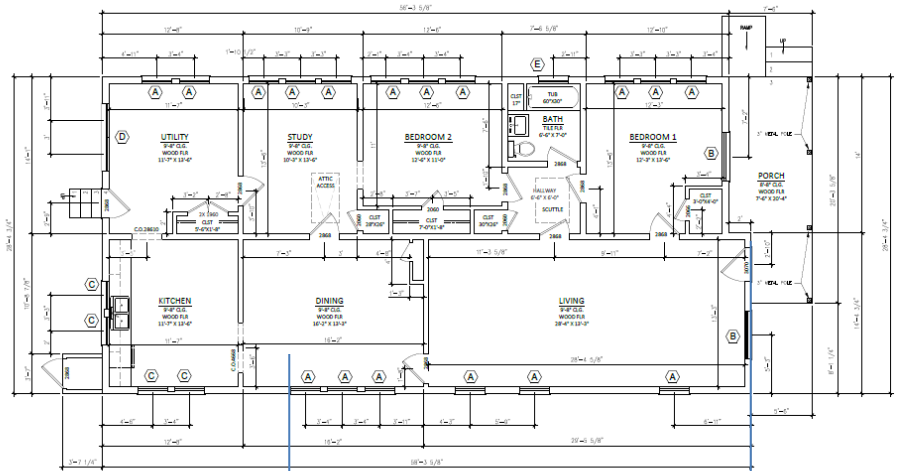


PROPOSED SITE PLAN Scale: 1/8" = 1'-0"



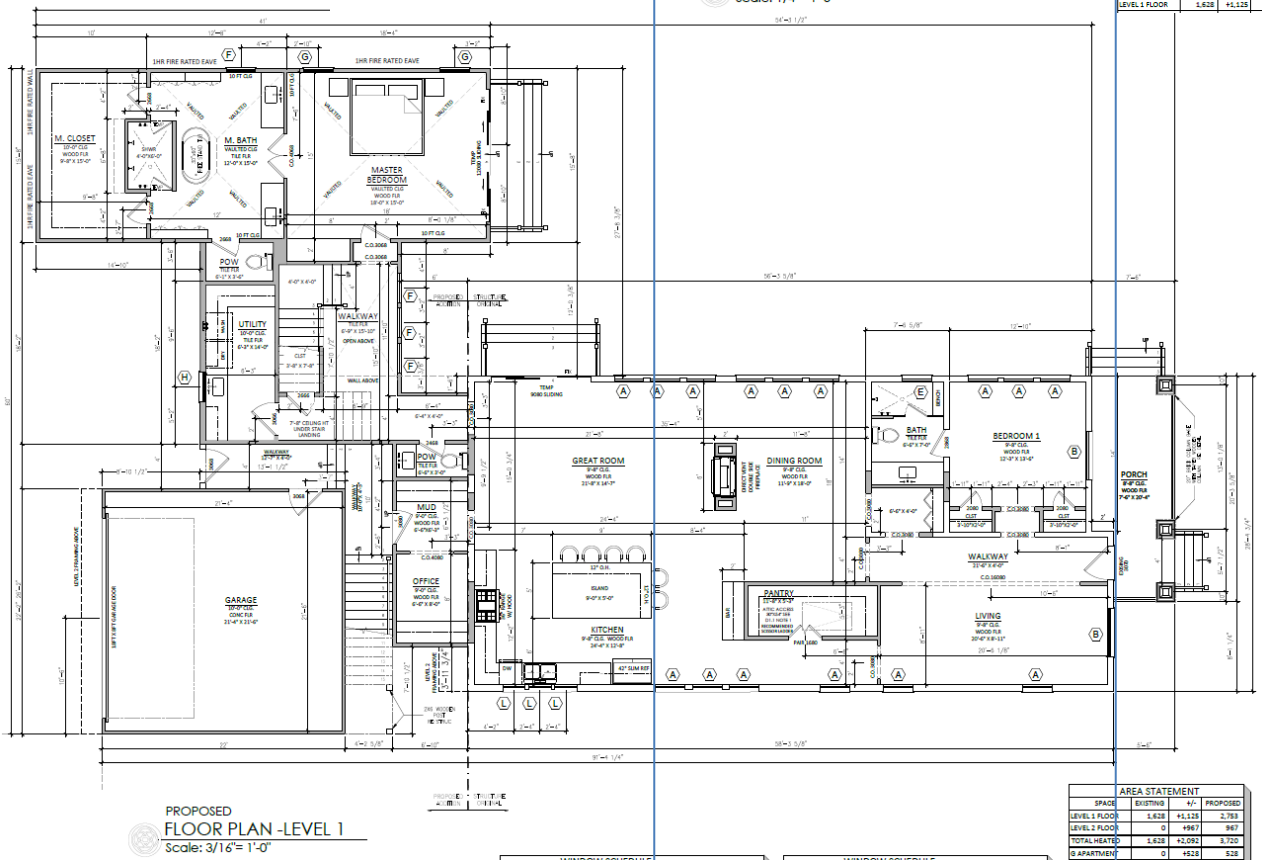
EXISTING SITE PLAN Scale: 1/8" = 1'-0"

FIRST FLOOR PLAN



EXISTING FLOOR PLAN -LEVEL 1
Scale: 1/4"= 1'-0"

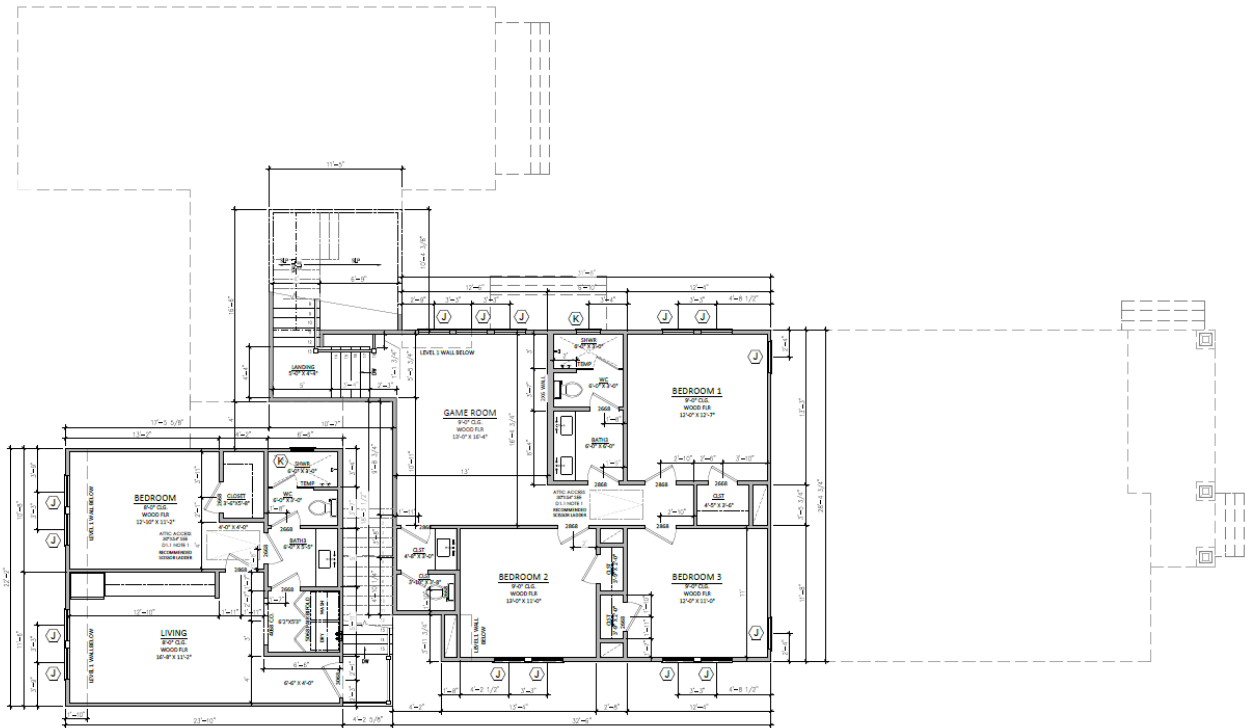
AREA STATEMENT			
SPACE	EXISTING	+/-	PS
LEVEL 1 FLOOR	1,628	+1,122	



PROPOSED FLOOR PLAN -LEVEL 1
Scale: 3/16"= 1'-0"

AREA STATEMENT			
SPACE	EXISTING	+/-	PROPOSED
LEVEL 1 FLOOR	1,628	+1,122	2,750
LEVEL 2 FLOOR	0	+162	162
TOTAL HEATED	1,628	+1,284	2,912
B APARTMENT	0	+528	528

SECOND FLOOR PLAN

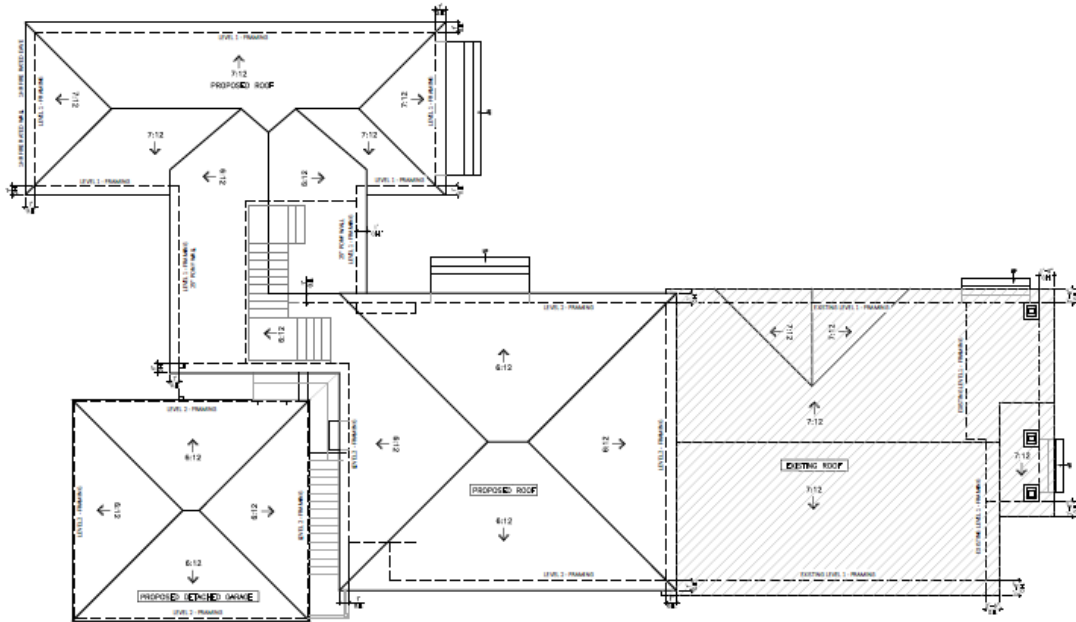


PROPOSED
FLOOR PLAN - LEVEL 2

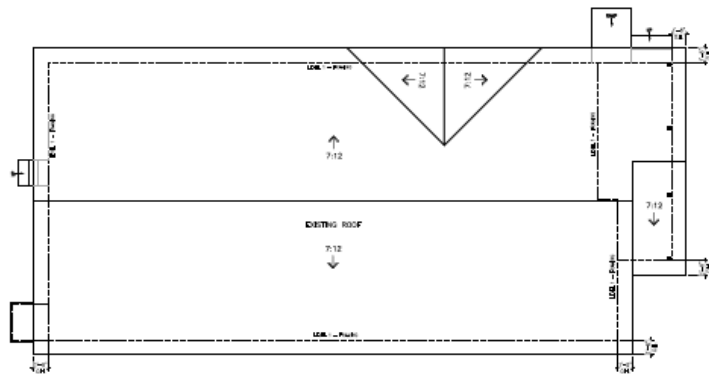
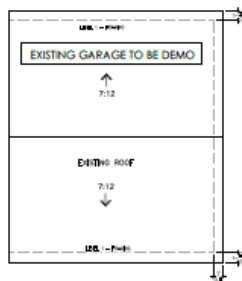
AREA STATEMENT		
SPACE	EXISTING	±' -"
LEVEL 1 FLOOR	1,622	+1,125
LEVEL 2 FLOOR	0	+987
TOTAL HEATED	1,622	+2,092
± APARTMENT	0	+926

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ROOF PLAN

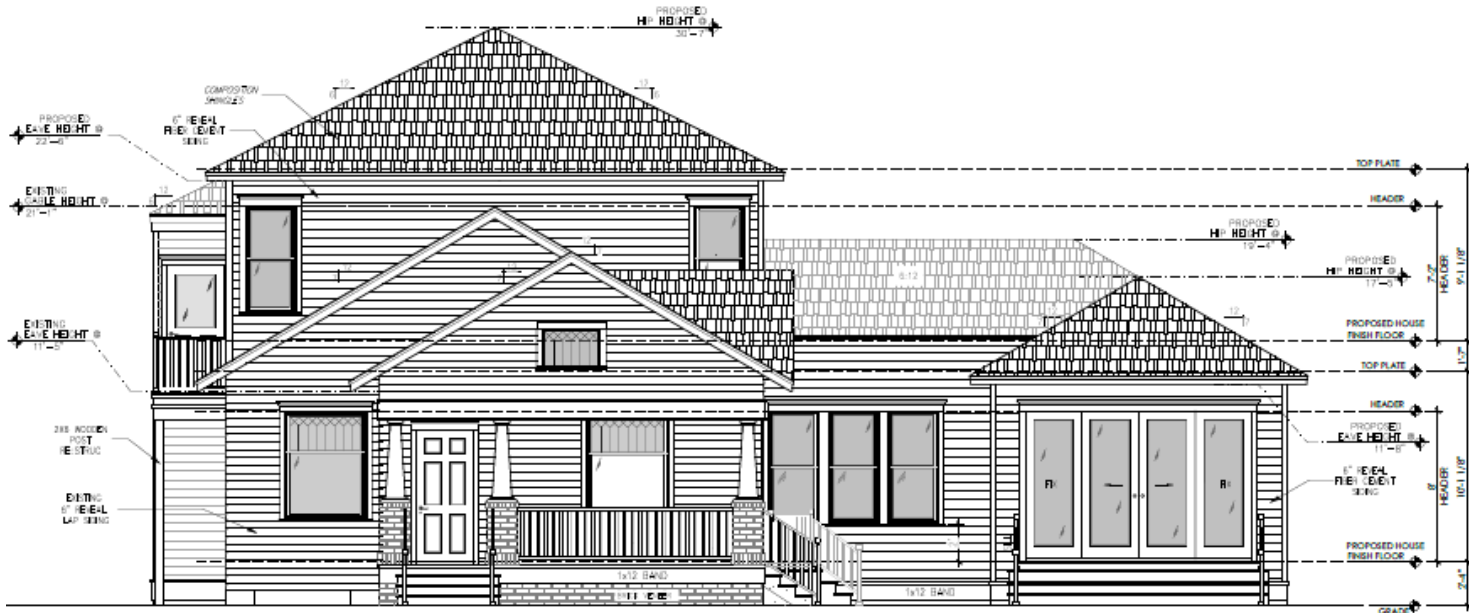


PROPOSED
 ROOF PLAN
 Scale: 1/8" = 1'-0"

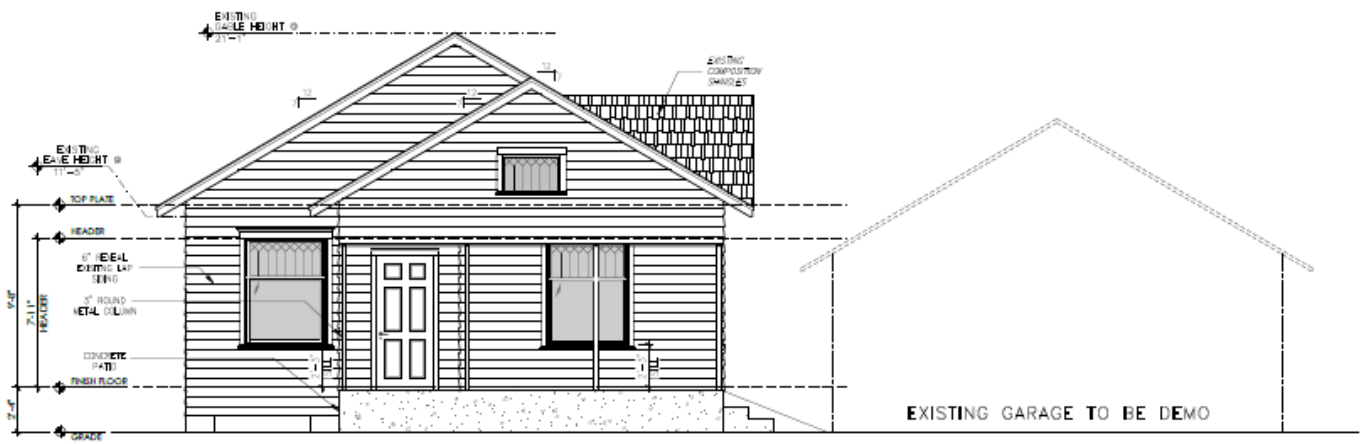


EXISTING
 ROOF PLAN
 Scale: 1/8" = 1'-0"

WEST ELEVATION – FRONT FACING CORTLANDT STREET



PROPOSED HOUSE
WEST ELEVATION
Scale: 1/4" = 1'-0"

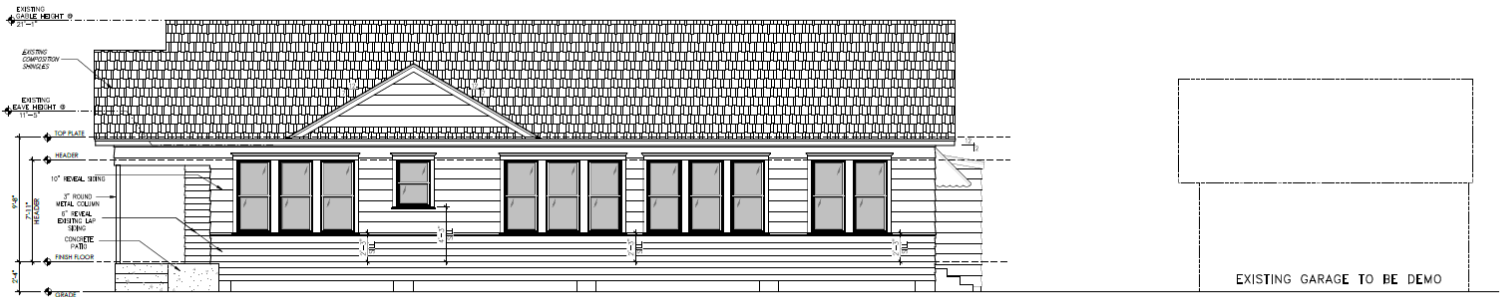


EXISTING HOUSE
WEST ELEVATION
Scale: 1/4" = 1'-0"

SOUTH SIDE ELEVATION



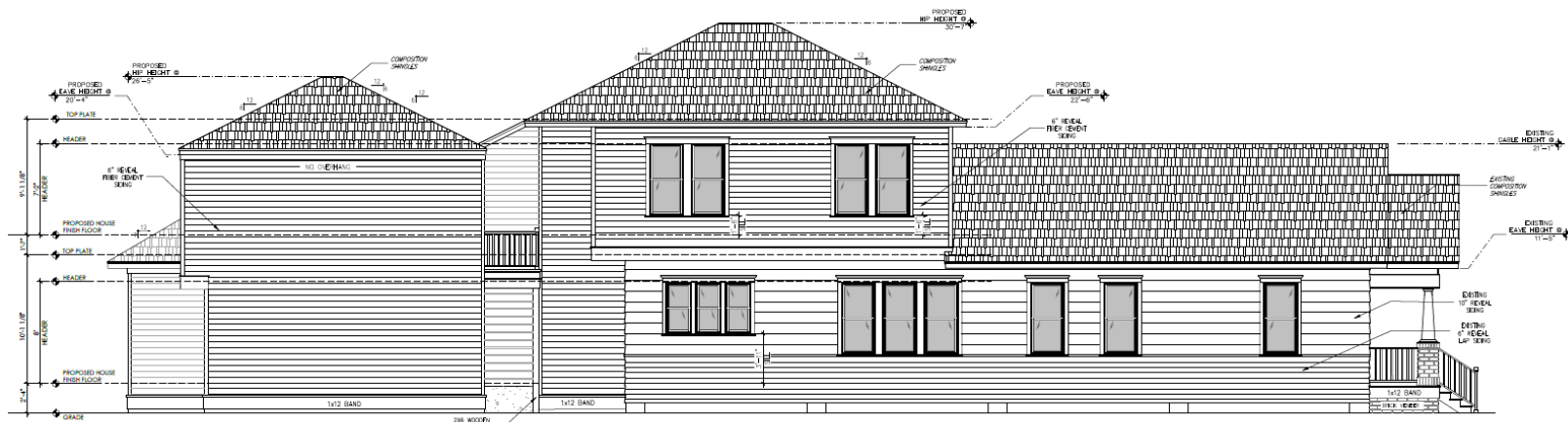
PROPOSED HOUSE
SOUTH ELEVATION
Scale: 1/4" = 1'-0"



EXISTING HOUSE
SOUTH ELEVATION
Scale: 1/4" = 1'-0"



NORTH SIDE ELEVATION



PROPOSED HOUSE
NORTH ELEVATION
Scale: 1/4"= 1'-0"

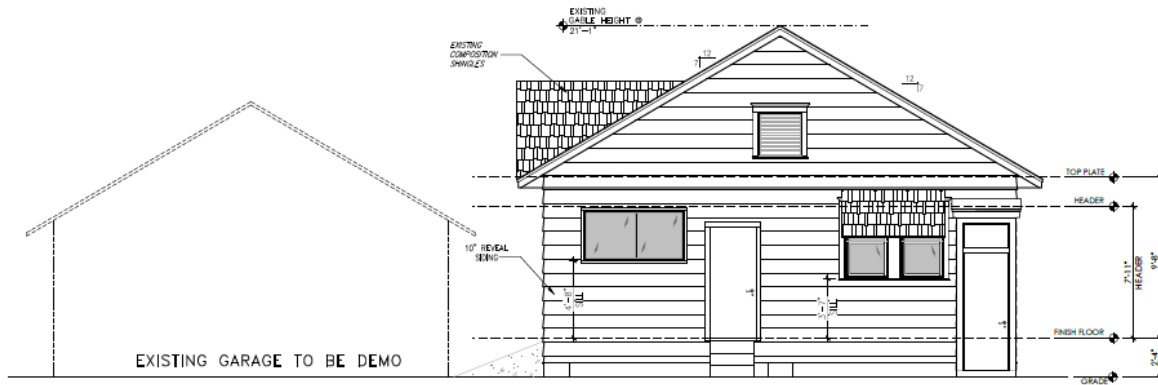


EXISTING HOUSE
NORTH ELEVATION
Scale: 1/4"= 1'-0"

EAST REAR ELEVATION

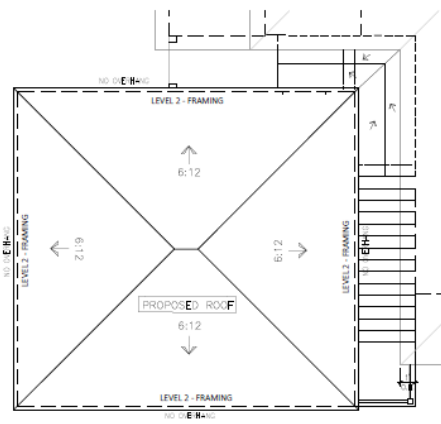


PROPOSED HOUSE
EAST ELEVATION
Scale: 1/4"= 1'-0"

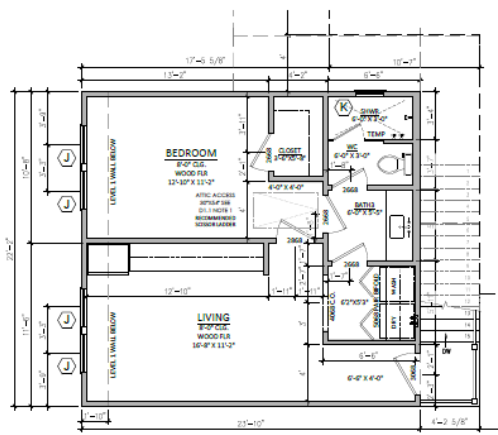


EXISTING HOUSE
EAST ELEVATION
Scale: 1/4"= 1'-0"

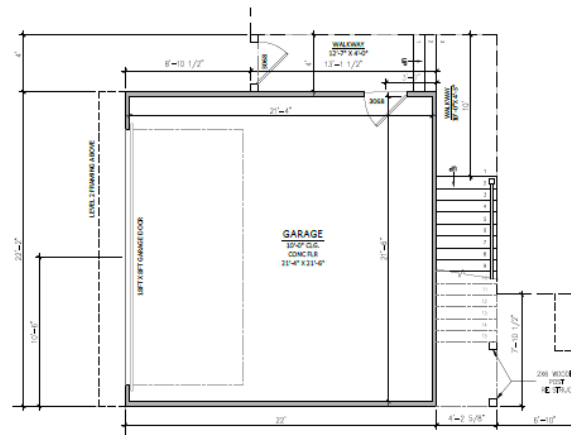
GARAGE FLOOR PLANS



PROPOSED GARAGE
ROOF PLAN
Scale: 1/4" = 1'-0"



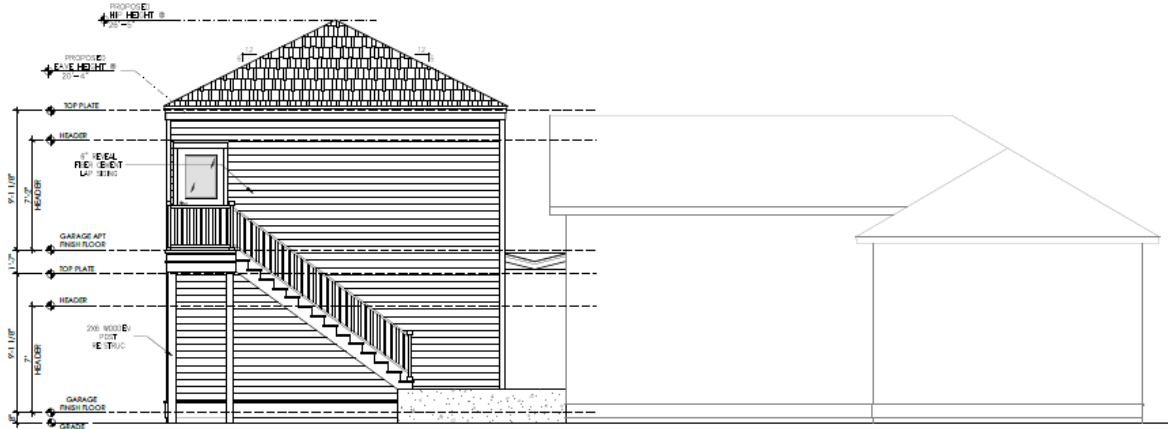
PROPOSED GARAGE
FLOOR PLAN -LEVEL 2
Scale: 1/4" = 1'-0"



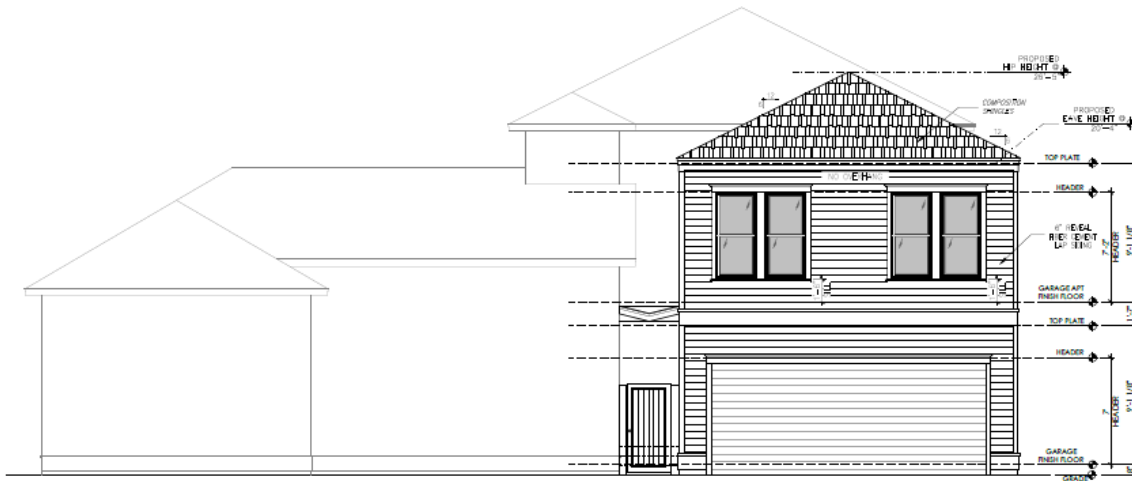
PROPOSED GARAGE
FLOOR PLAN -LEVEL 1
Scale: 1/4" = 1'-0"

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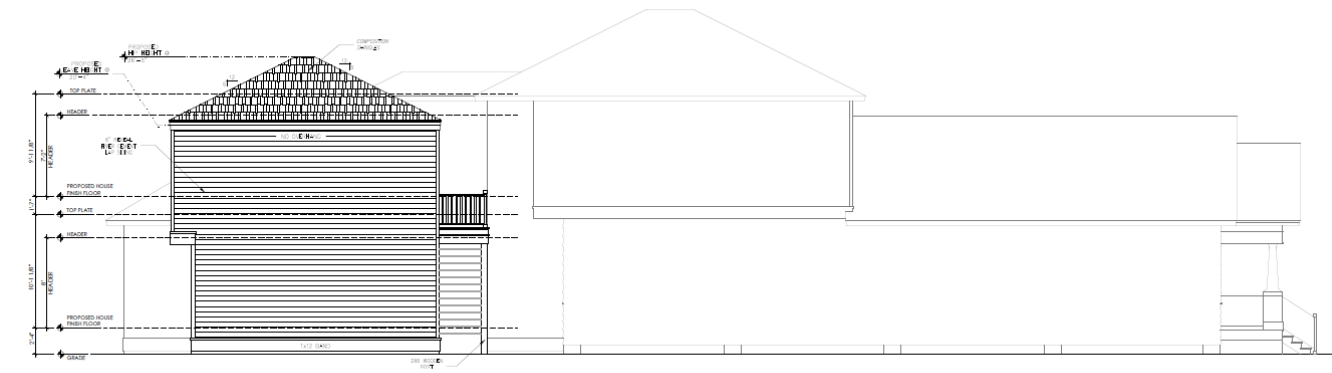
PROPOSED ELEVATIONS



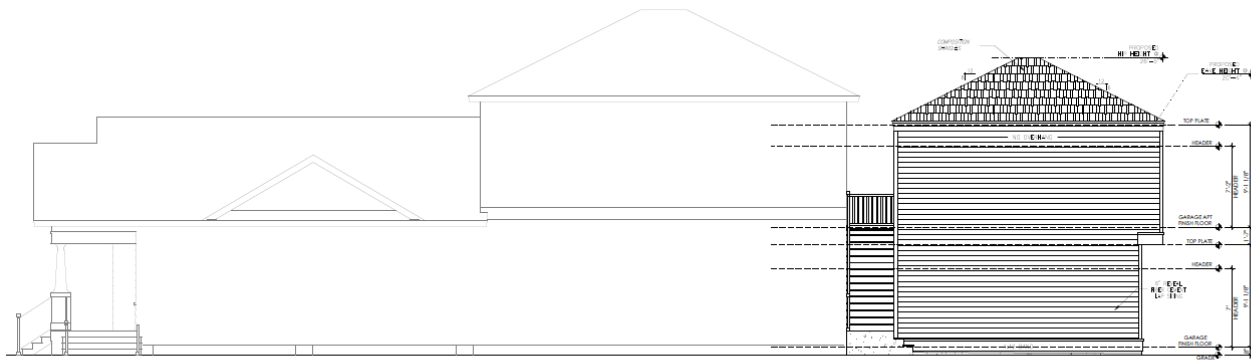
PROPOSED GARAGE
WEST ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED GARAGE
EAST ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED GARAGE
NORTH ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED GARAGE
SOUTH ELEVATION
Scale: 1/4" = 1'-0"

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