

CERTIFICATE OF APPROPRIATENESS

Application Date: June 21, 2024

Applicant: Sam Gianukos, agent for Michael J. Fernbach, owner

Property: 1836 Cortlandt Street, Lot 222 & 23A, Block 106, Houston Heights Subdivision. The property includes a historic 1,884 square foot, two-story wood frame single-family residence situated on a 6,600 square foot (50' x 132') interior lot.

Significance: Contributing Bungalow residence, constructed circa 1920, located in the Houston Heights Historic District East.

Proposal: Alteration – Addition

The proposal includes adding living space on the first and second levels at the rear of the existing house.

We plan to add 1,244 square feet of living space on the first and 970 square feet on the second level.

The original roof pitch of the house is 7/12, which we intend to maintain on the new addition for the first level and change to a 6/12 pitch for the second level. The current top eave height is 11'-5", and we propose a new eave height of 22'-6" for the new roof. The existing top ridge height is 21'-1", and we propose a new ridge height of 30'-7".

The current ceiling height on the first level is 9'-8". We propose a ceiling height of 10'-0" for the first level addition and 9'-0" for the second level.

The existing exterior finish of the house is 1x10 siding and 1x6 wood siding, on the new addition there will be 1x6 fiber cement siding.

- INFO SUBJECT TO MINOR CHANGES IN THE FINAL REPORT.

See enclosed detailed application materials for further details.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: -

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

HEIGHTS DESIGN GUIDELINES

In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA

S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 9,900
 Proposed Lot Coverage: 2,753
 Proposed Percentage: 27.8%

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 9,900
 Proposed FAR: 3,720
 Proposed Percentage: 37.5%

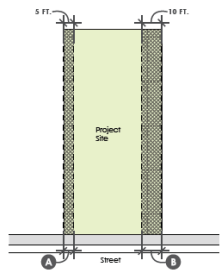
Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Rear setback is at least 22'-2"

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
A	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

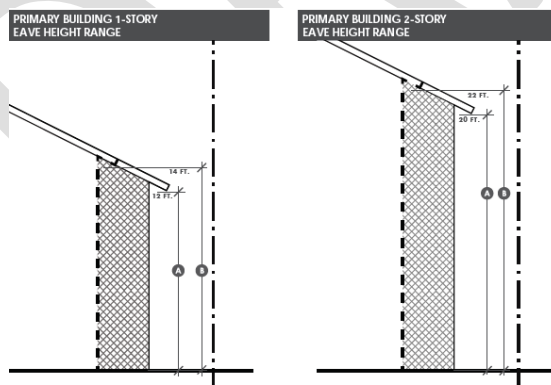
Proposed side setback (N): 5'
 Proposed side setback (S): 10'
 Cumulative side setback: 15'

Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Addition is inset, existing house not to be changed

Eave Height (Addition and New Construction)



KEY	MEASUREMENT	APPLICATION
A	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
B	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback

KEY	MEASUREMENT	APPLICATION
A	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
B	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 22'-6"
 Ridge Height is 30'-7"

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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 2'-4"

Proposed first floor plate height: 10'-1"

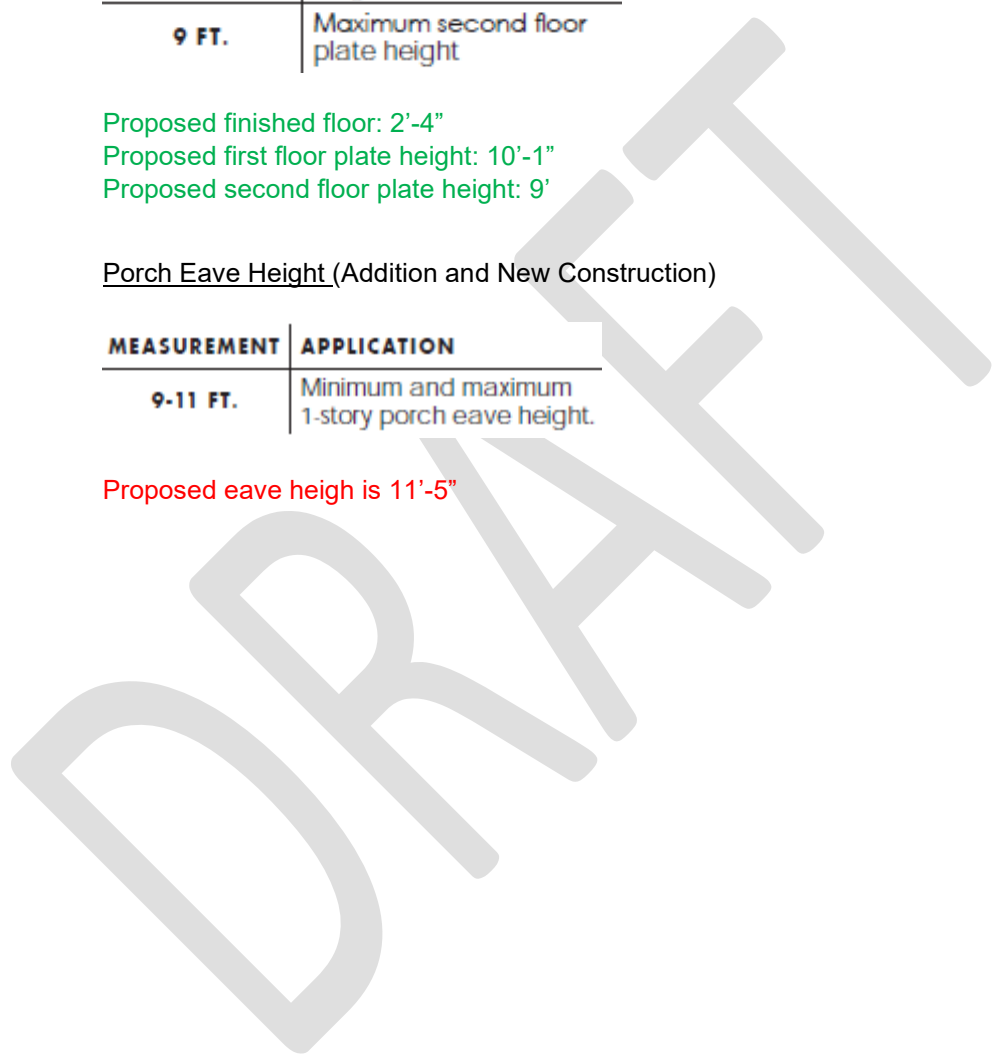
Proposed second floor plate height: 9'

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Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed eave height is 11'-5"





PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT EAST



Building Classification

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO



CONTEXT AREA



Figure 1- 1832 Cortlandt next door neighbor

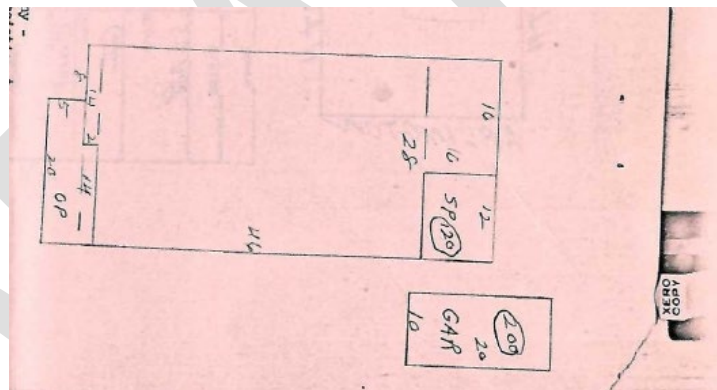
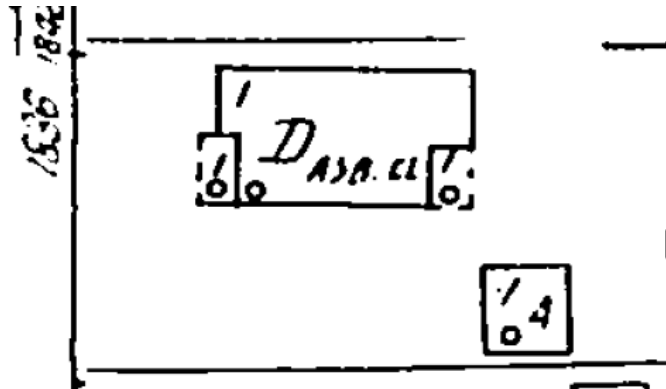


Figure 2- 1842 Cortlandt next door neighbor

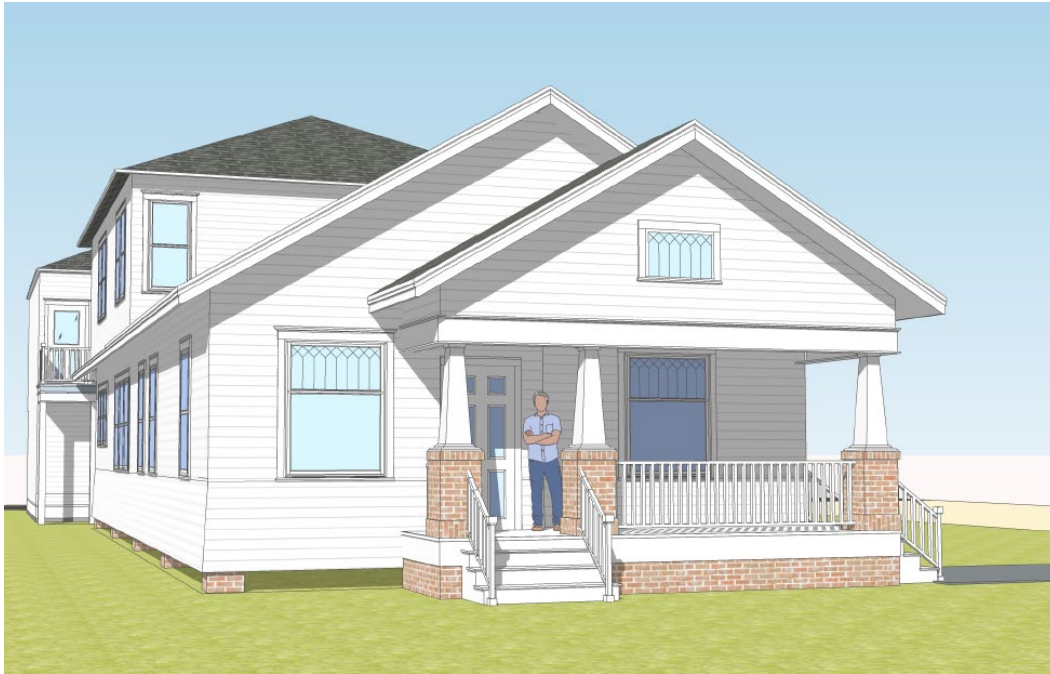
EXISTING PHOTOS



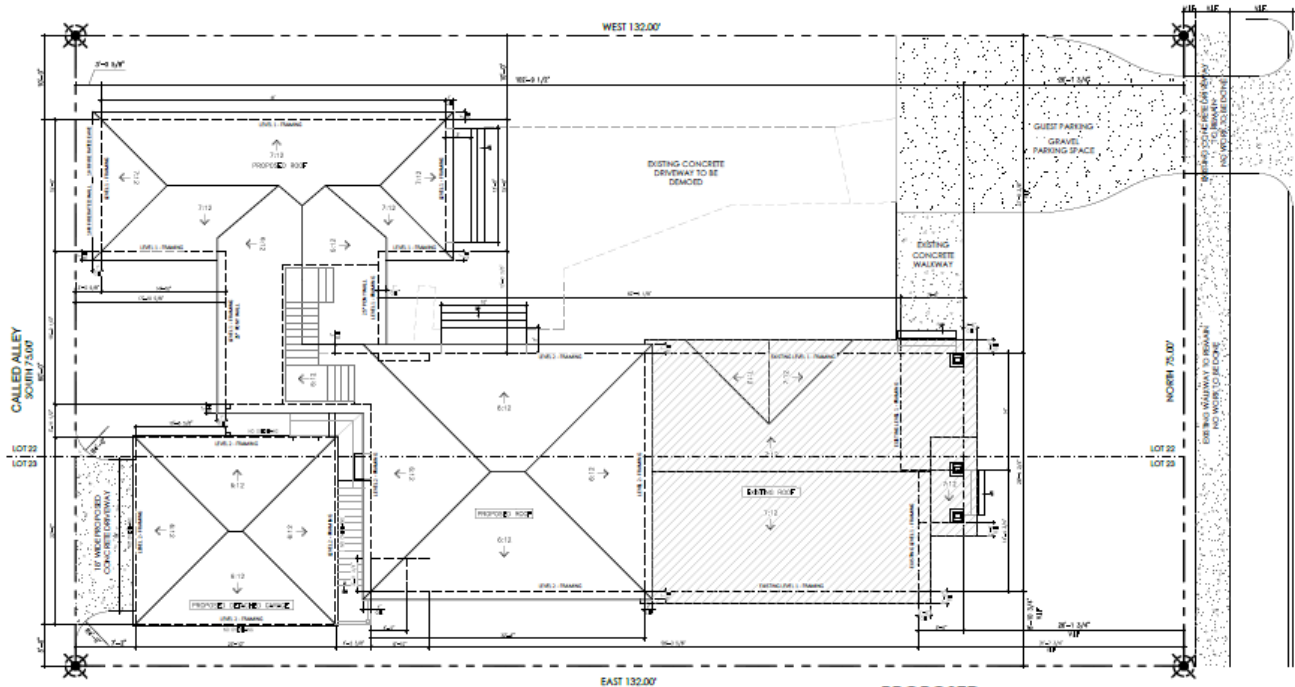
SANBORN MAP



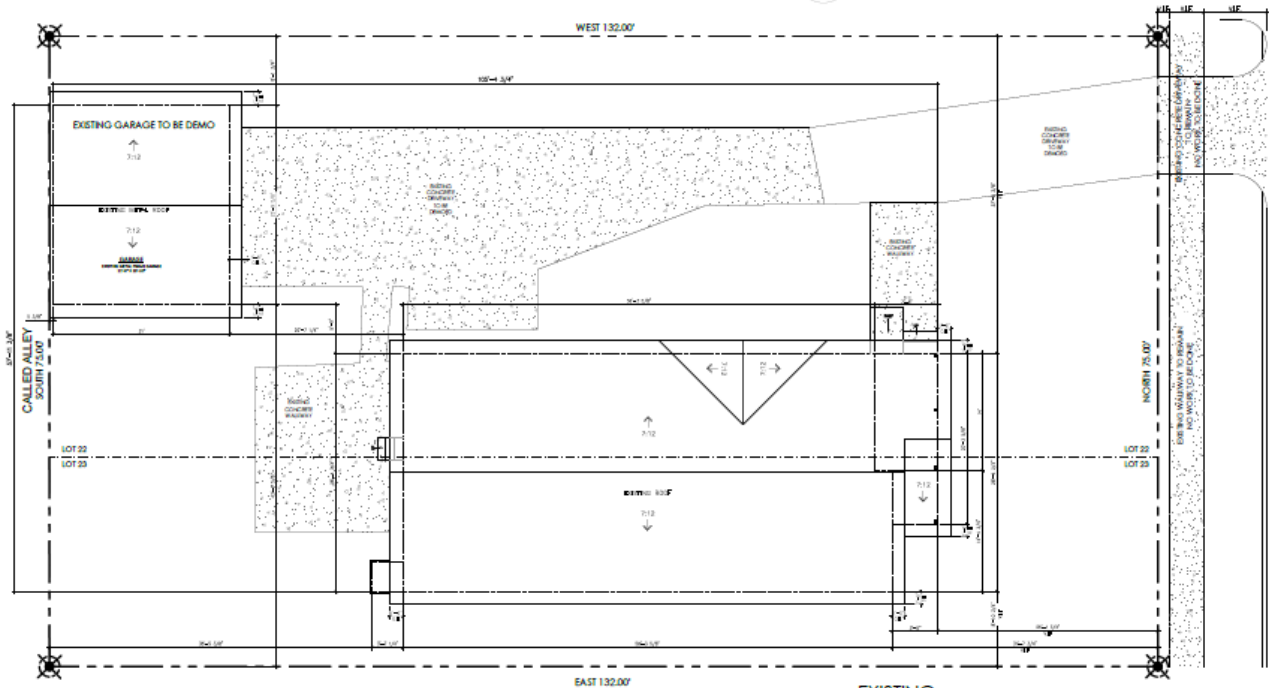
3D RENDERINGS



SITE PLAN

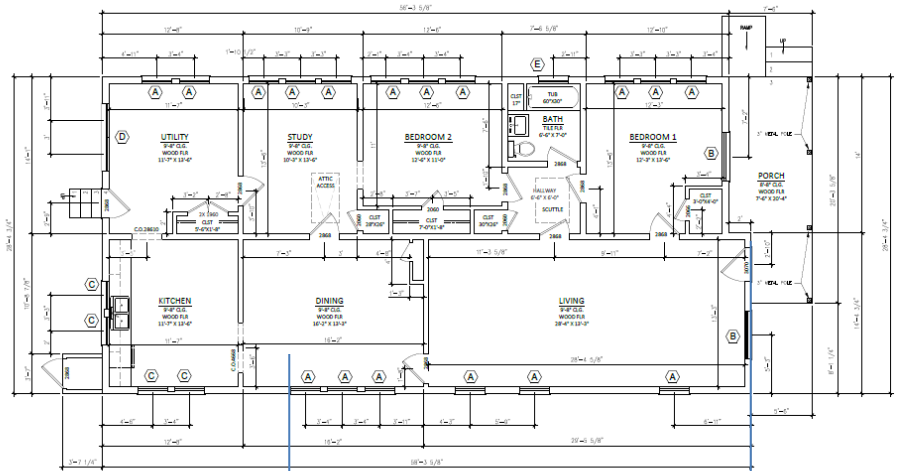


PROPOSED
SITE PLAN
Scale: 1/8" = 1'-0"



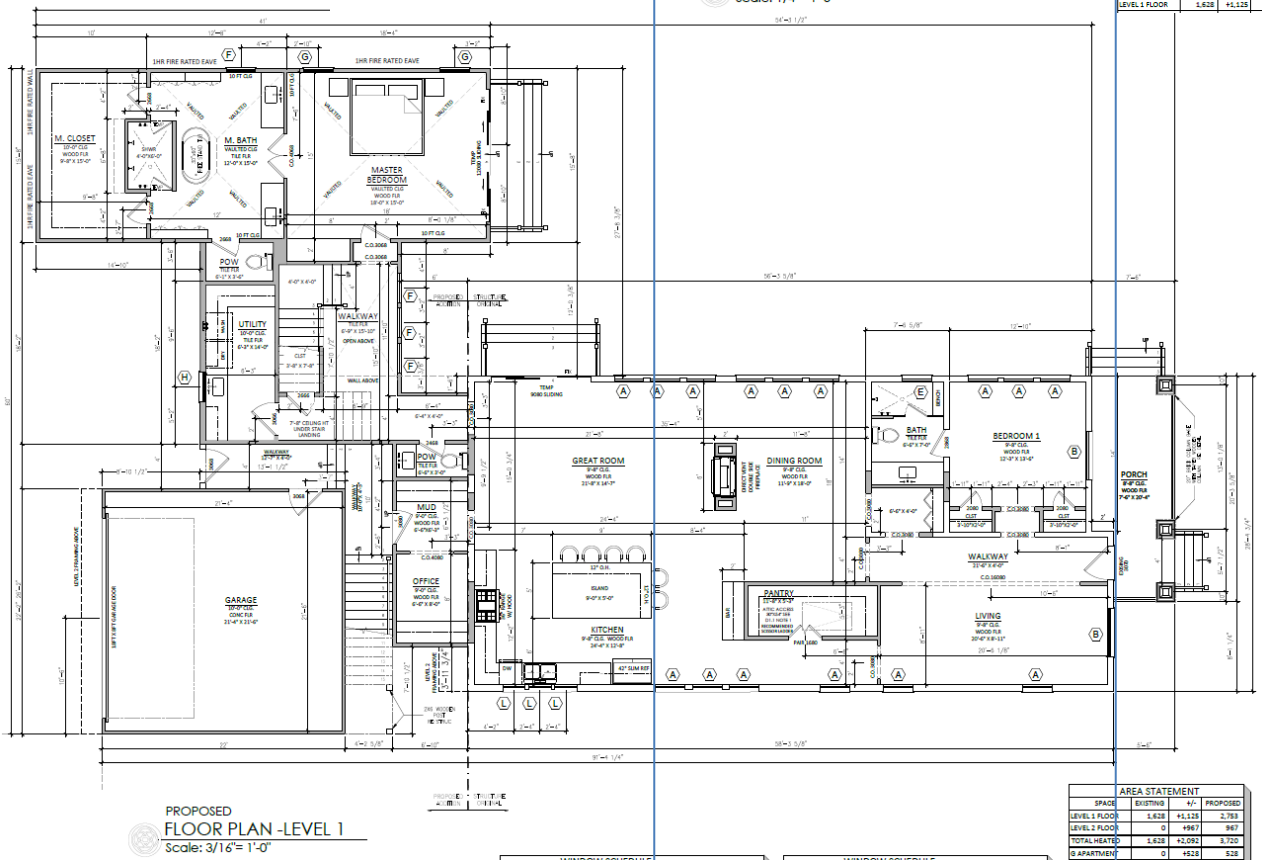
EXISTING
SITE PLAN
Scale: 1/8" = 1'-0"

FIRST FLOOR PLAN



EXISTING FLOOR PLAN -LEVEL 1
Scale: 1/4"= 1'-0"

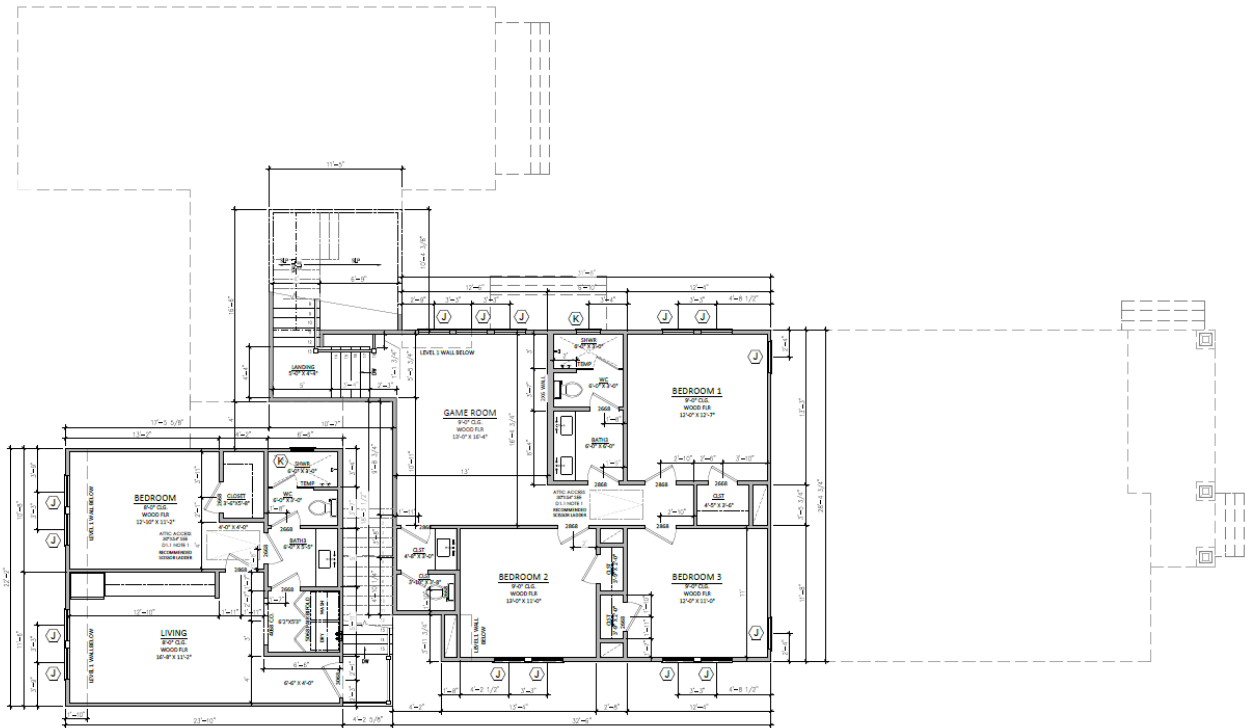
AREA STATEMENT			
SPACE	EXISTING	+/-	PS
LEVEL 1 FLOOR	1,628	+1,122	



PROPOSED FLOOR PLAN -LEVEL 1
Scale: 3/16"= 1'-0"

AREA STATEMENT			
SPACE	EXISTING	+/-	PROPOSED
LEVEL 1 FLOOR	1,628	+1,122	2,750
LEVEL 2 FLOOR	0	+162	162
TOTAL HEATED	1,628	+1,284	2,912
B APARTMENT	0	+528	528

SECOND FLOOR PLAN

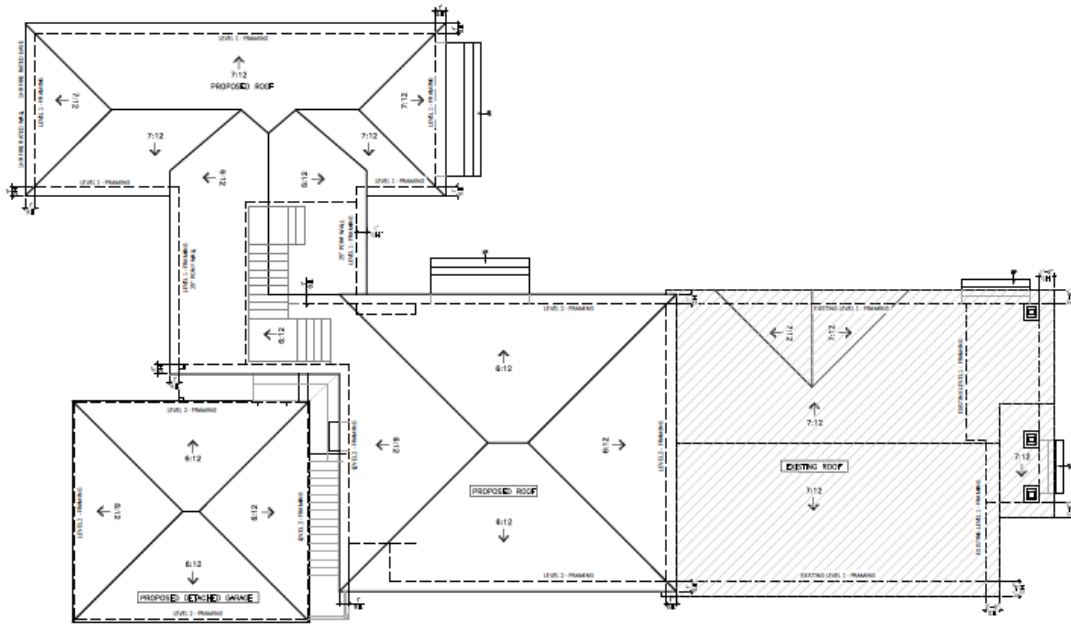


PROPOSED FLOOR PLAN - LEVEL 2

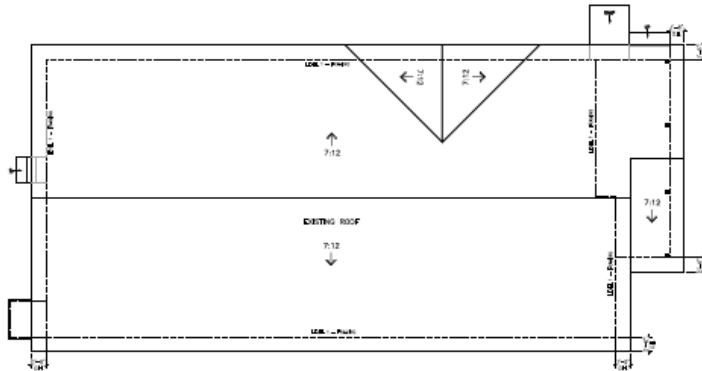
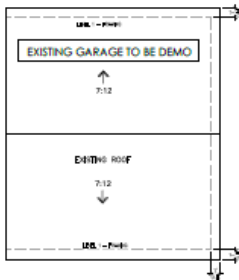
AREA STATEMENT			
SPACE	EXISTING	+-'	sq
LEVEL 1 FLOOR	1,628		+1,125
LEVEL 2 FLOOR	0		+987
TOTAL HEATED	1,628		+2,092
APARTMENT	0		+928



ROOF PLAN



PROPOSED
ROOF PLAN
Scale: 1/8"= 1'-0"

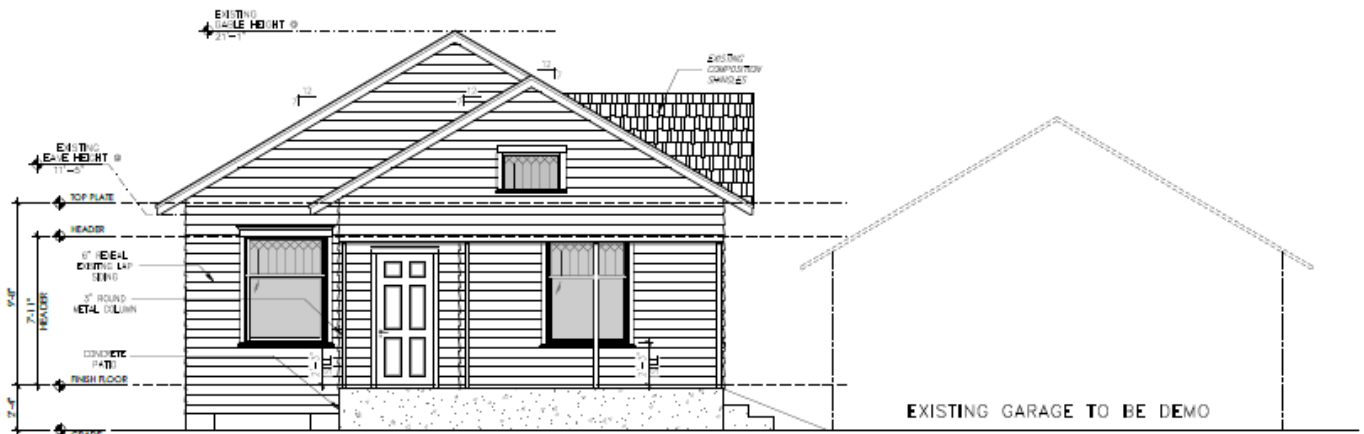


EXISTING
ROOF PLAN
Scale: 1/8"= 1'-0"

WEST ELEVATION – FRONT FACING CORTLANDT STREET



PROPOSED HOUSE
WEST ELEVATION
Scale: 1/4" = 1'-0"



EXISTING HOUSE
WEST ELEVATION
Scale: 1/4" = 1'-0"

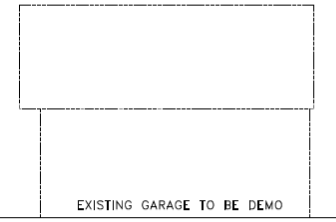
SOUTH SIDE ELEVATION



PROPOSED HOUSE
SOUTH ELEVATION
Scale: 1/4" = 1'-0"



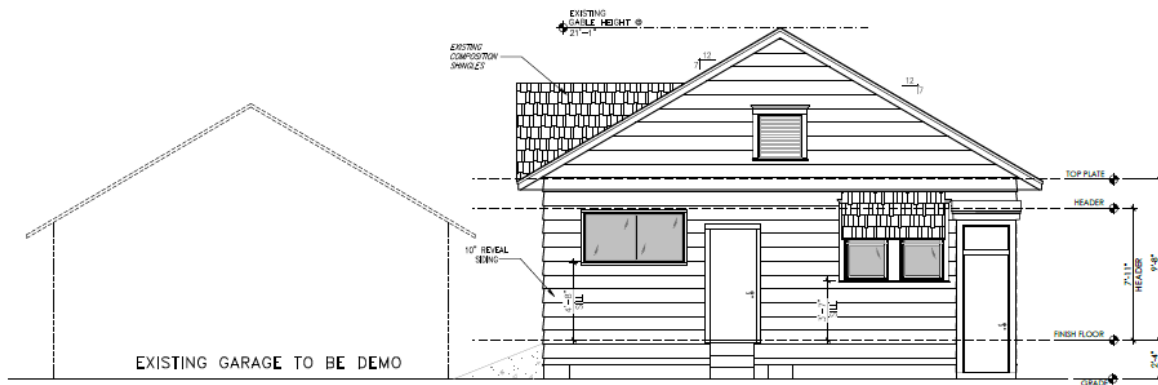
EXISTING HOUSE
SOUTH ELEVATION
Scale: 1/4" = 1'-0"



EAST REAR ELEVATION



PROPOSED HOUSE
EAST ELEVATION
Scale: 1/4" = 1'-0"



EXISTING HOUSE
EAST ELEVATION
Scale: 1/4" = 1'-0"

WINDOW SCHEDULE

WINDOW SCHEDULE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
(A1)	2	2'-8"	5'-8"	SINGLE HUNG	DEMO
(A)	15	2'-8"	5'-8"	SINGLE HUNG	EXISTING
(B)	2	4'-5"	5'-8"	SINGLE HUNG	
(C)	4	2'-7"	4'-4"	SINGLE HUNG	DEMO
(D)	2	6'-0"	3'-0"	SLIDING WINDOW	
(E)	1	2'-8"	3'-8"	SINGLE HUNG	EXISTING

DRAFT