

CERTIFICATE OF APPROPRIATENESS

Application Date: July 26, 2021

Applicant: Kelly Cusimano, agent for, Cheryl Levine, owner

Property: 3215 Morrison Street, Lot 1 & N 3.5' of Lot 2, Block 1, Manors at Woodland Heights Subdivision. The property is a vacant lot situated on a 8,580 square foot (66'x130') interior lot.

Significance: The property is a vacant lot located in the Woodland Heights Historic District. June 17, 2021 COA application for new construction was denied. Previous Certificates of Appropriateness involved relocation of a structure to the vacant lot (2011) and new construction (2014-15).

Proposal: New Construction: Two and a Half Story Single Family Residential

- First proposed square footage 4,575; Revised sq. ft. 4,226
- First proposed ridge height 35' 7"; Revised ridge height 32'
- First proposed width at 50' 5'; Revised width at 44'
- First proposed roof pitch 14:12; Revised roof pitch at 7:12
- First proposed corrugated metal roof; Standing seam metal roof
- First floor finished height at 1' 2-1/4"; *Unchanged*
- First floor plate height at 11' 2-5/8"; Revised, 10' 2-5/8"
- Second floor finished height at 12' 10-1/2"; Revised, 11' 10-1/2"
- Second floor plate height at 21' 10-7/8"; Revised, 20' 10-7/8"
- Third floor finished height at 23' 0"; Revised, 22' 0"
- Third floor plate height at 31' 5/8"; Revised, 30' 5/8"
- Hardi plank smooth siding with a 6" reveal *Unchanged*
- Front porch 6' x 16' 5-1/2"; Revised, 6' 8" x 13' 11"
- Two brick veneer chimneys with clay tops
- First proposed front door as double-door custom steel
- Revised front door as single-door wood unit with transom with cedar timber beam accent details
- First proposed windows with multiple lite pattern on both sashes
- Revised windows with a 6-over-1 or 2-over-1 lite pattern
- Windows to remain as double-hung wood windows
- See Window/Door Schedule for More Information

Public Comment: Two public comments received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

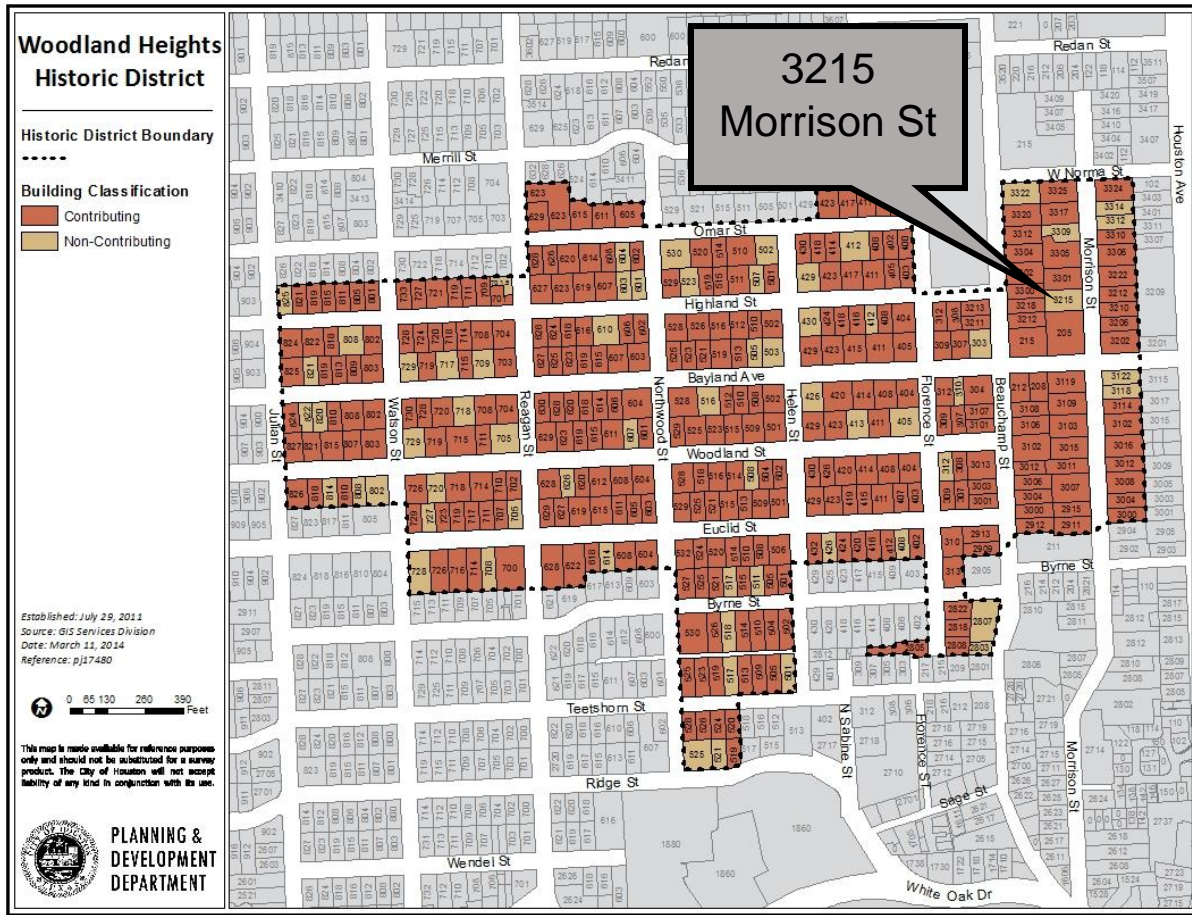
Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

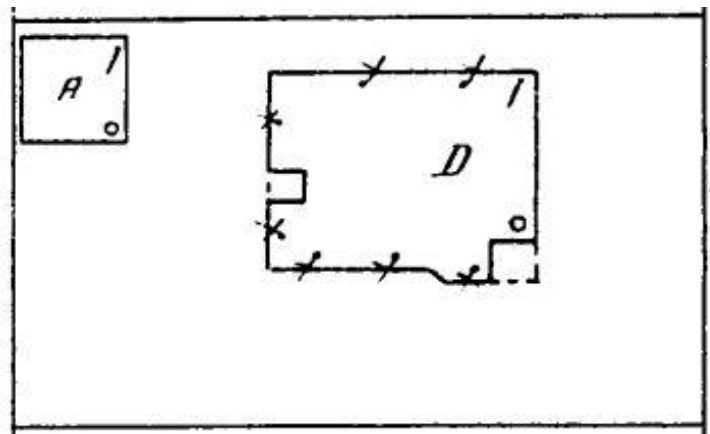
- (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;
- (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;
- (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;
- (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

District Map



Inventory Photo – 3215 Morrison St

1924 Sanborn – 3215 Morrison St

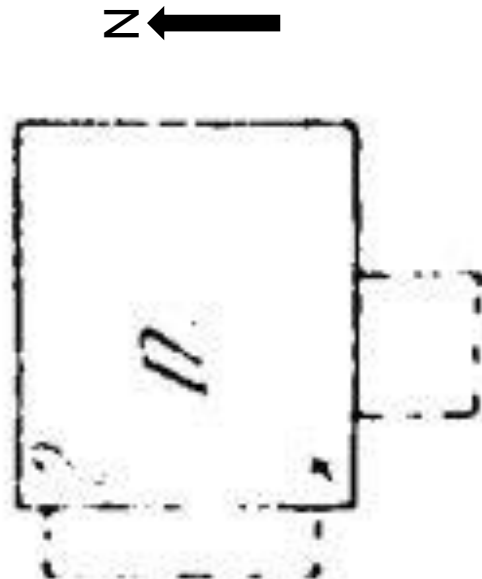
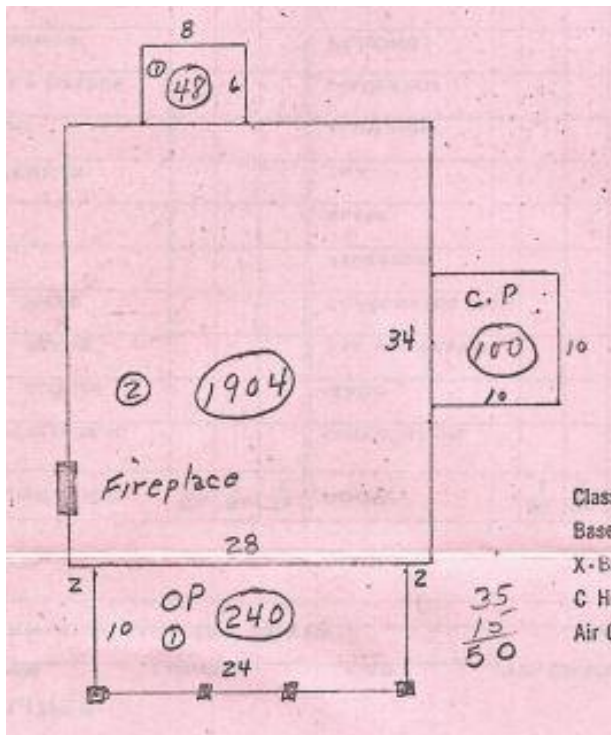


Context Area – 3202 Morrison St



Harris County Building Land Survey (6-2-1965) and Sanborn – 3202 Morrison St

Dimensions – 28'x34', ridge height = 28'

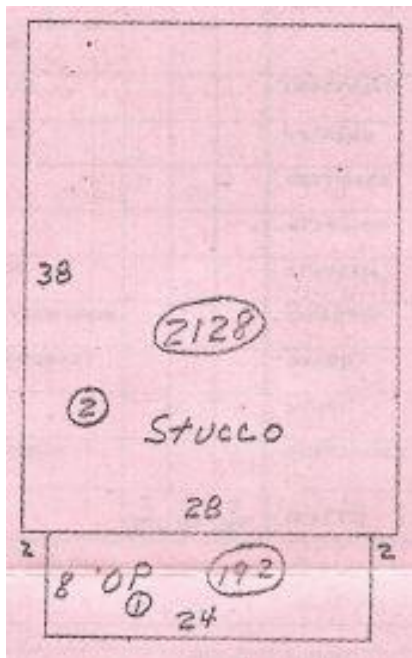


Context Area – 3210 Morrison St



Harris County Building Land Survey (6-2-1965) and Sanborn – 3210 Morrison St

Dimensions – 28'x38', ridge height = 30'

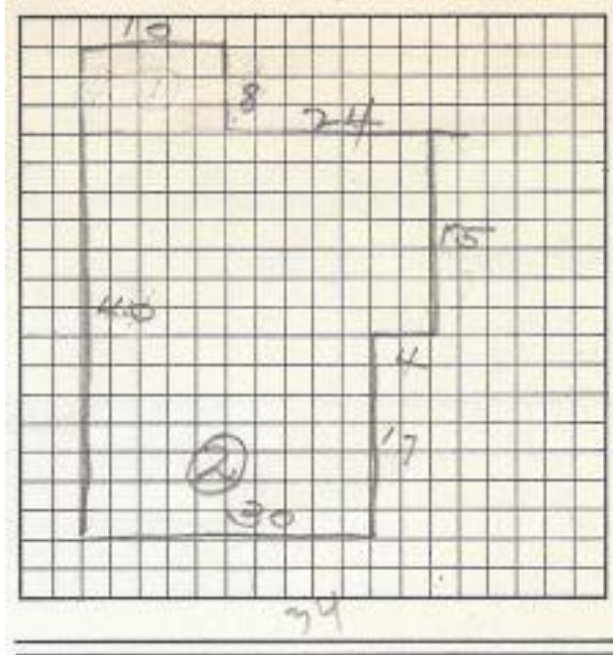


Context Area – 3222 Morrison St



Harris County Building Land Survey (6-2-1965) and Sanborn – 3222 Morrison St

Dimensions – 30'x40', ridge height = 32'

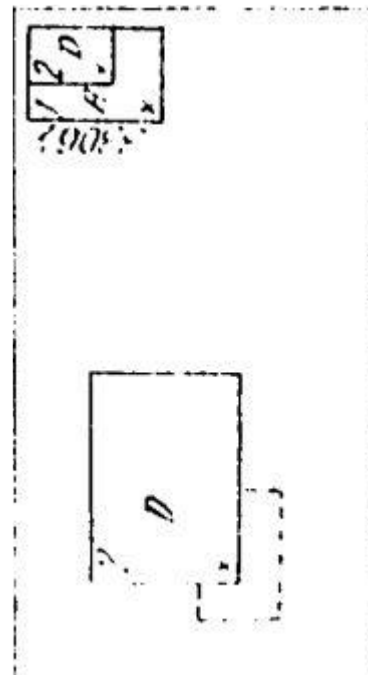
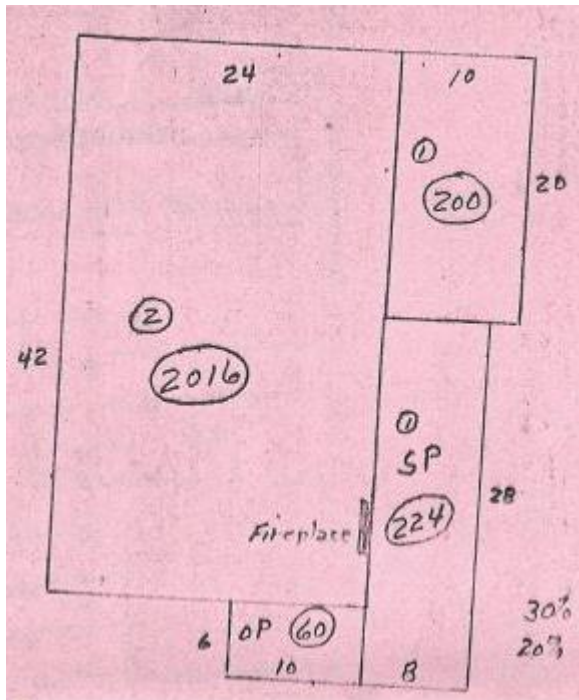


Context Area – 3306 Morrison St



Harris County Building Land Survey (8-14-1961) and Sanborn – 3306 Morrison St

Dimensions – 32'x42', ridge height = 30'

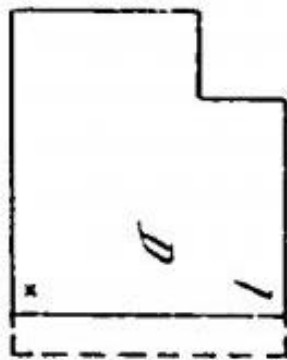
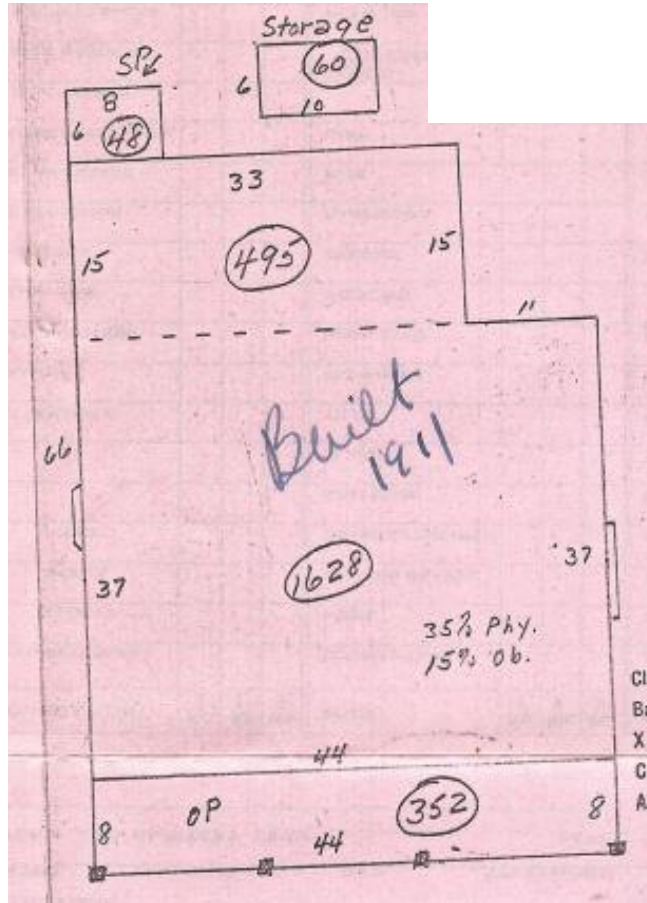


Context Area – 3301 Morrison St



Harris County Building Land Survey (6-7-1965) and Sanborn – 3301 Morrison St

Dimensions – 44'x66', ridge height = 25'



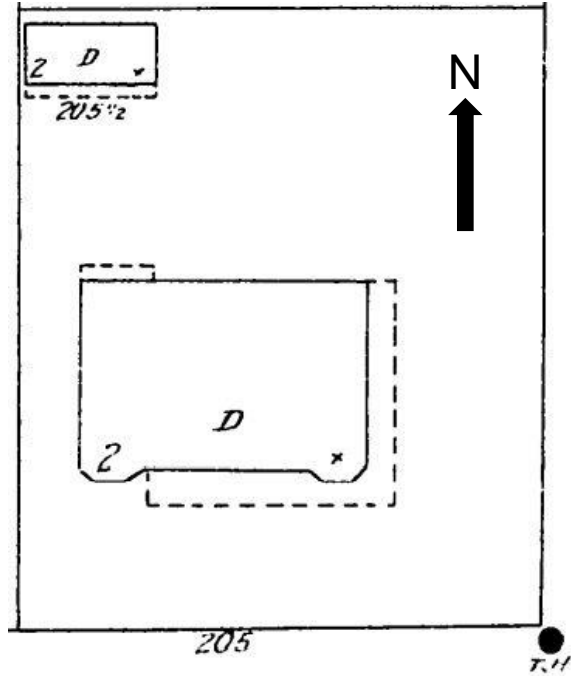
3301

Context Area – 205 Bayland St





205 Bayland St – 1924 Sanborn



Harris County Building Land Survey (1950s) – 205 Bayland St

Dimensions – 67'x45', ridge height = 40'

Map No. _____ Addition <u>Woodland Hts</u>		IMPROVEMENTS	
Block <u>4</u> Lot <u>1-2-3</u>		No. Sq. Ft. <u>6166</u>	Price Per Sq. Ft. <u>2.25</u>
OWNER <u>Home Owners Loan Corp</u>		\$ <u>13870</u>	
ADDRESS <u>205 Bayland</u>			Percent Good <u>65</u>
TYPE OF PROPERTY <u>Res</u> OCCUPIED VACANT			Other Bldgs. <u>none</u>
BASEMENT, Whole Part _____		LAND VALUE	
FOUNDATION, Concrete, Stone, Brick, Piers, Posts. _____		Front x Depth Unit Value Factor Front Ft. Value - - \$	
WALLS, Brick _____ Stone _____		_____	
HOLLOW TILE, Stucco, Metal, Concrete Blocks, Box _____		_____	
Weatherboard _____		_____	
ROOF CONS., Concrete, Steel, Wood Truss. _____		_____	
ROOF, Hip, Gable, Mansard, Flat _____		_____	
ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos _____		_____	
EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite _____		_____	
FLOORING, Pine, Hardwood, Cement, Tile, Marble, Dirt _____		_____	
INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features _____		_____	
HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas _____		_____	
LIGHTING, Electricity _____		_____	
PLUMBING, Sewer, Water, Baths _____		_____	
ELEVATORS _____		_____	
CONDITION, Good, Fair, Bad, Obsolete _____		_____	



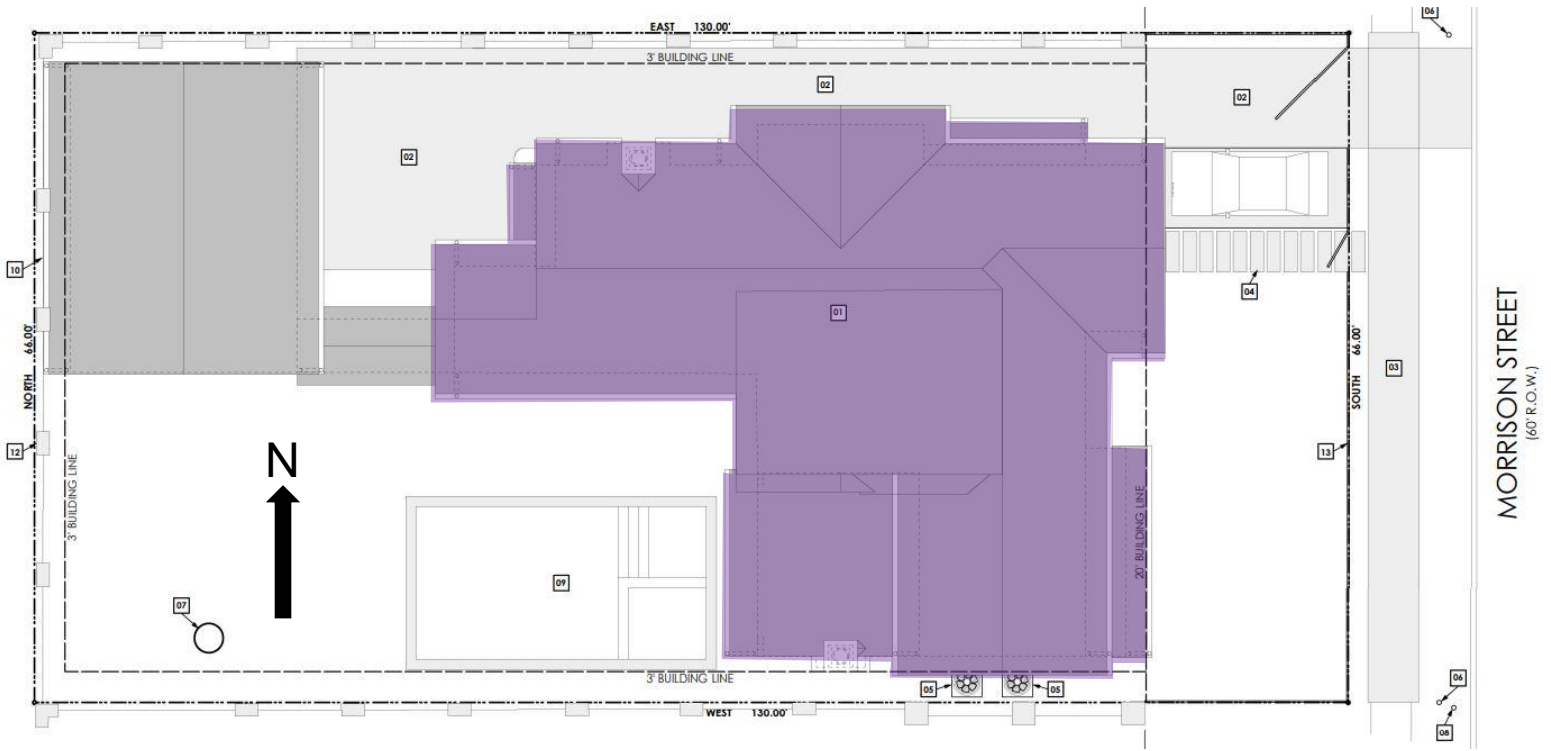
NE 3D Perspective – 8-26-2021



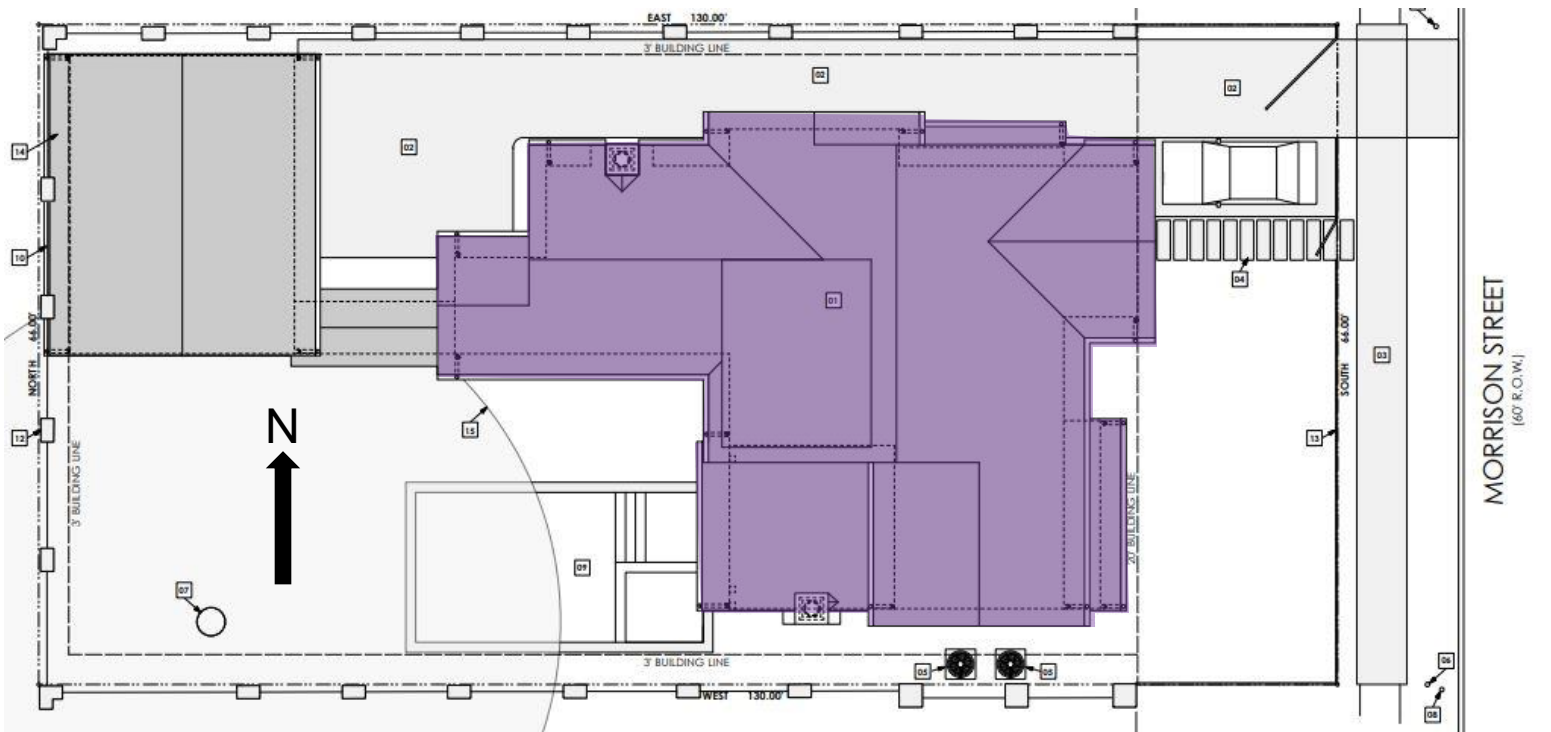
SE 3D Perspective – 8-26-2021



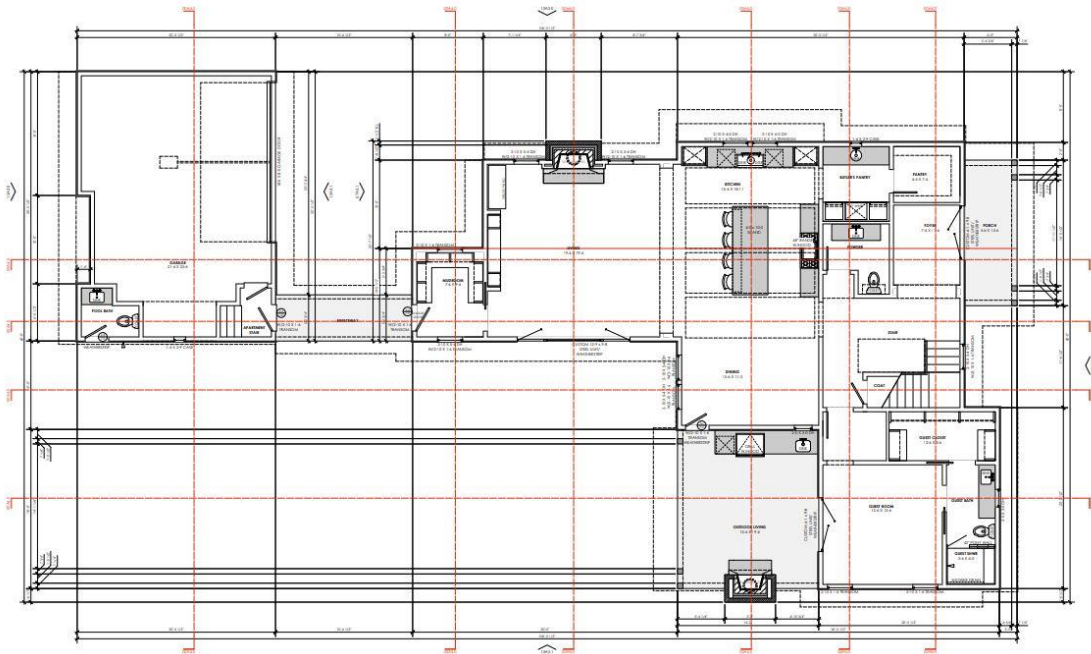
Site Plan – Proposed at HAHC 6-17-2021



Site Plan – Proposed for 8-26-2021

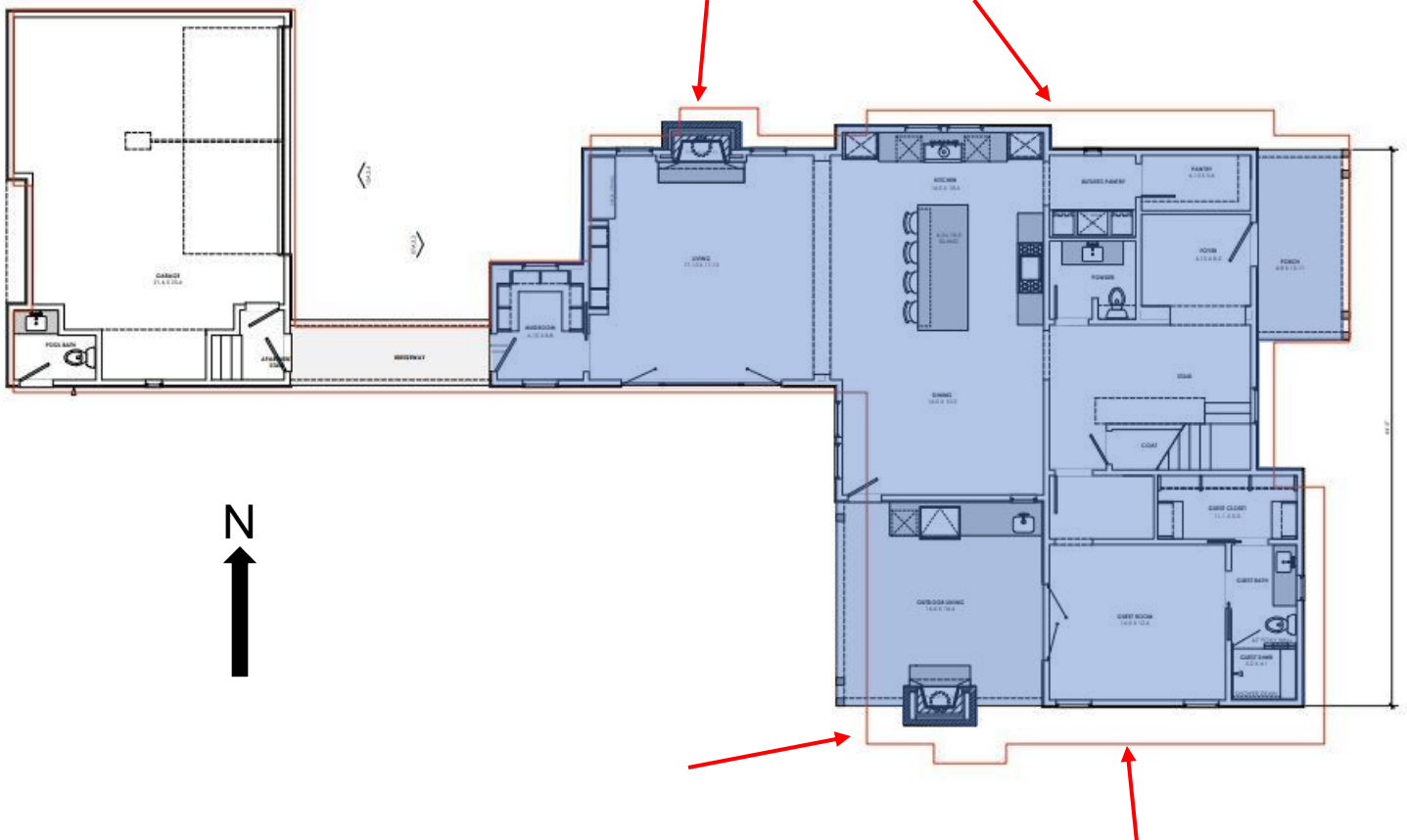


First Floor – Proposed at HAHC 6-17-2021

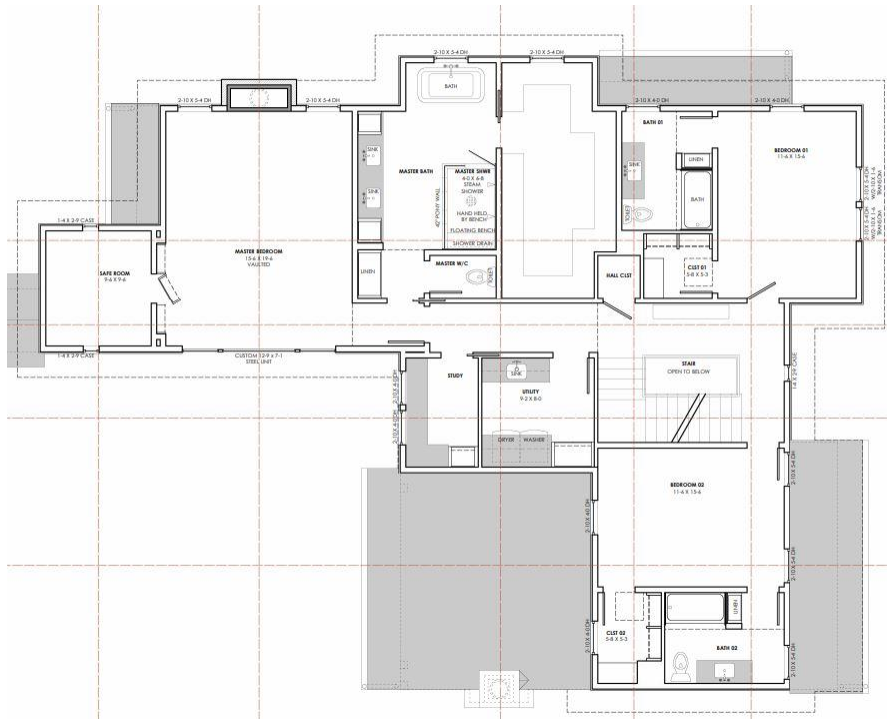


First Floor – Proposed for 8-26-2021

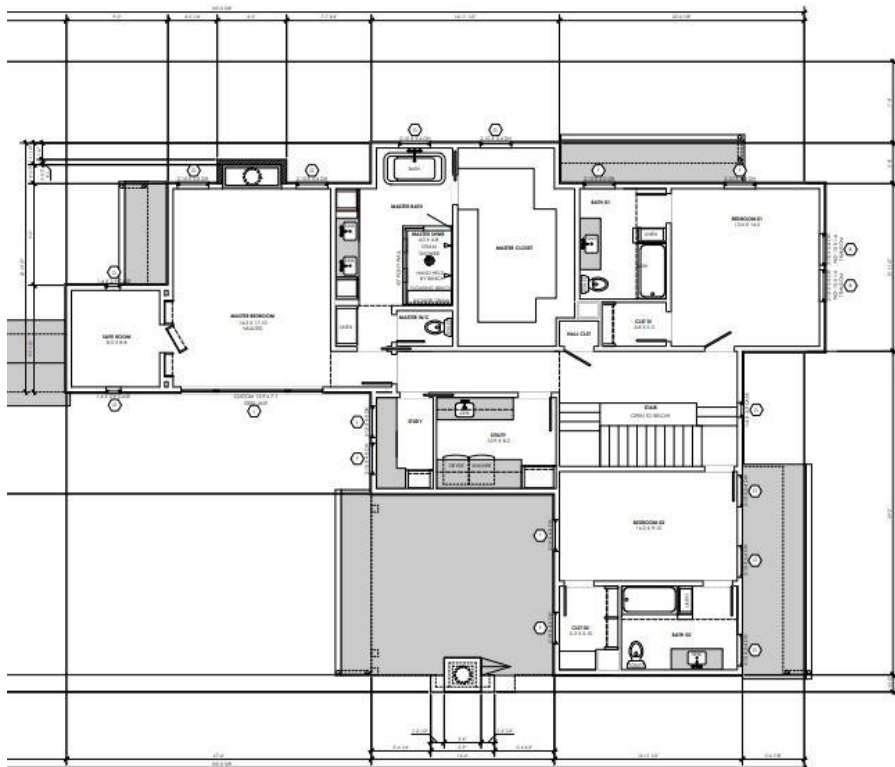
Red Outline Indicates First Proposed Floor Plan



Second Floor – Proposed at HAHC 6-17-2021



Second Floor – Proposed for 8-26-2021

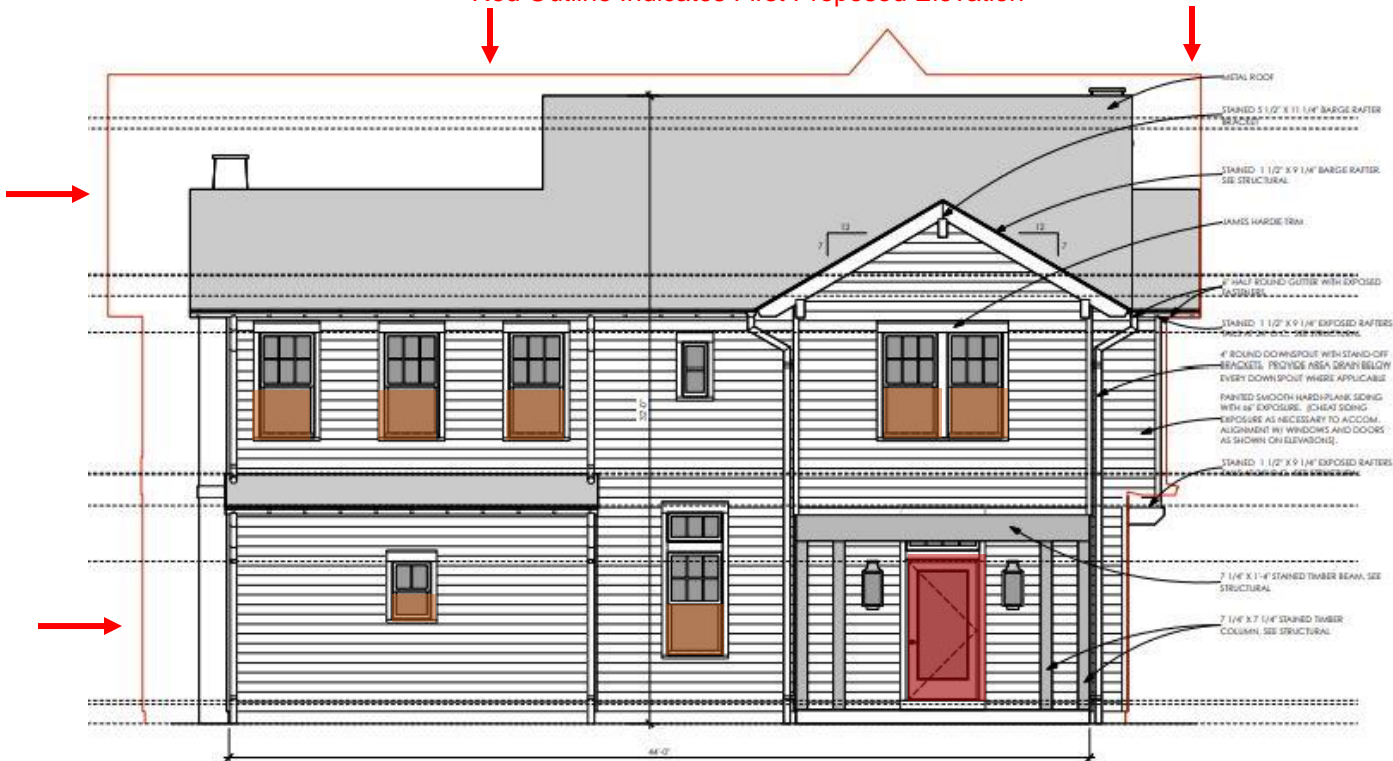


Front (East) Elevation – Proposed at HAHC 6-17-2021



Front (East) Elevation – Proposed for 8-26-2021

Red Outline Indicates First Proposed Elevation



Right (North) Elevation – Proposed at HAHC 6-17-2021



Right (North) Elevation – Proposed for 8-26-2021

Red Outline Indicates First Proposed Elevation

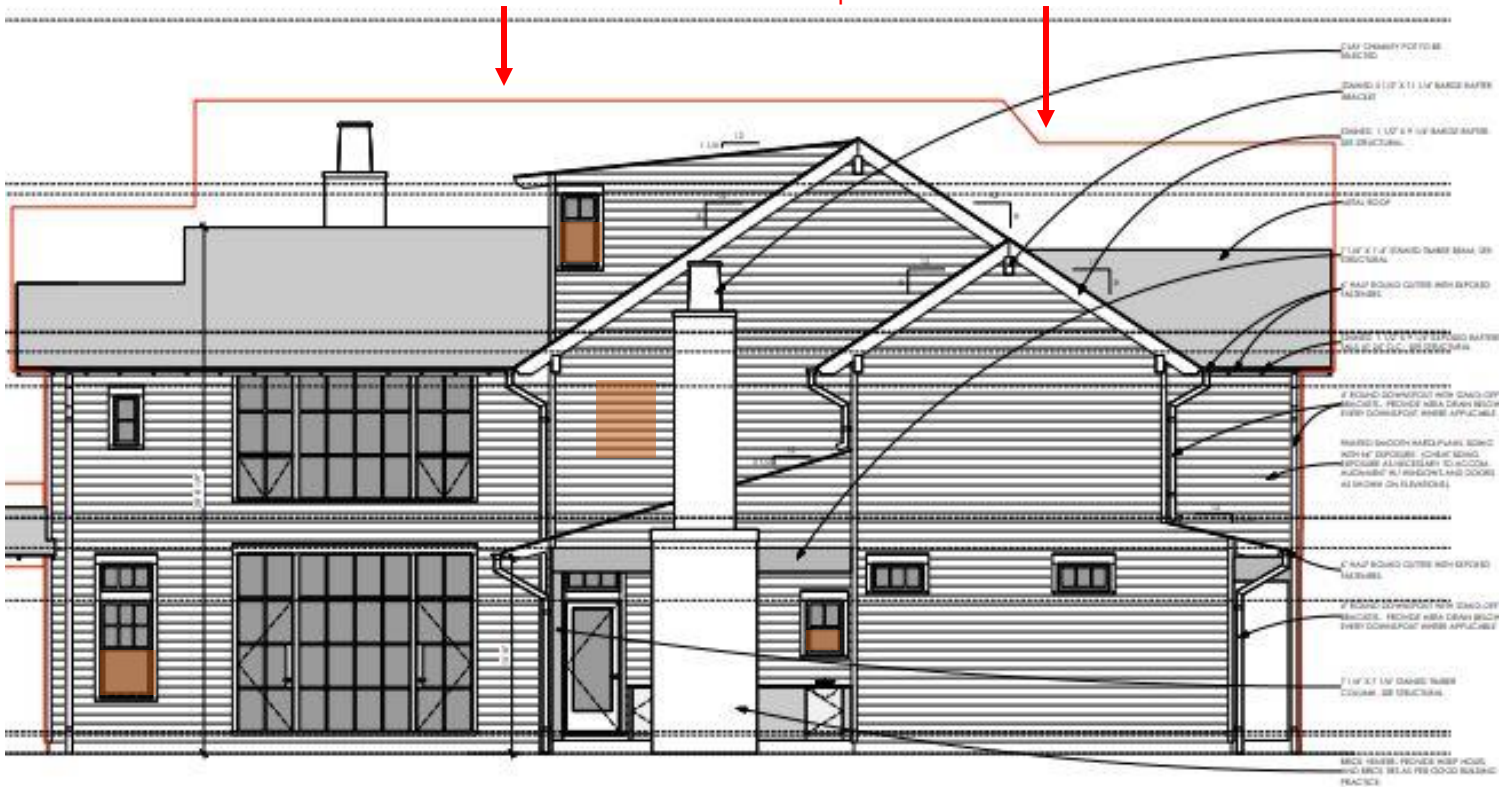


Left (South) Elevation – Proposed at HAHC 6-17-2021



Left (South) Elevation – Proposed for 8-26-2021

Red Outline Indicates First Proposed Elevation



Rear (West) Elevation – Proposed at HAHC 6-17-2021

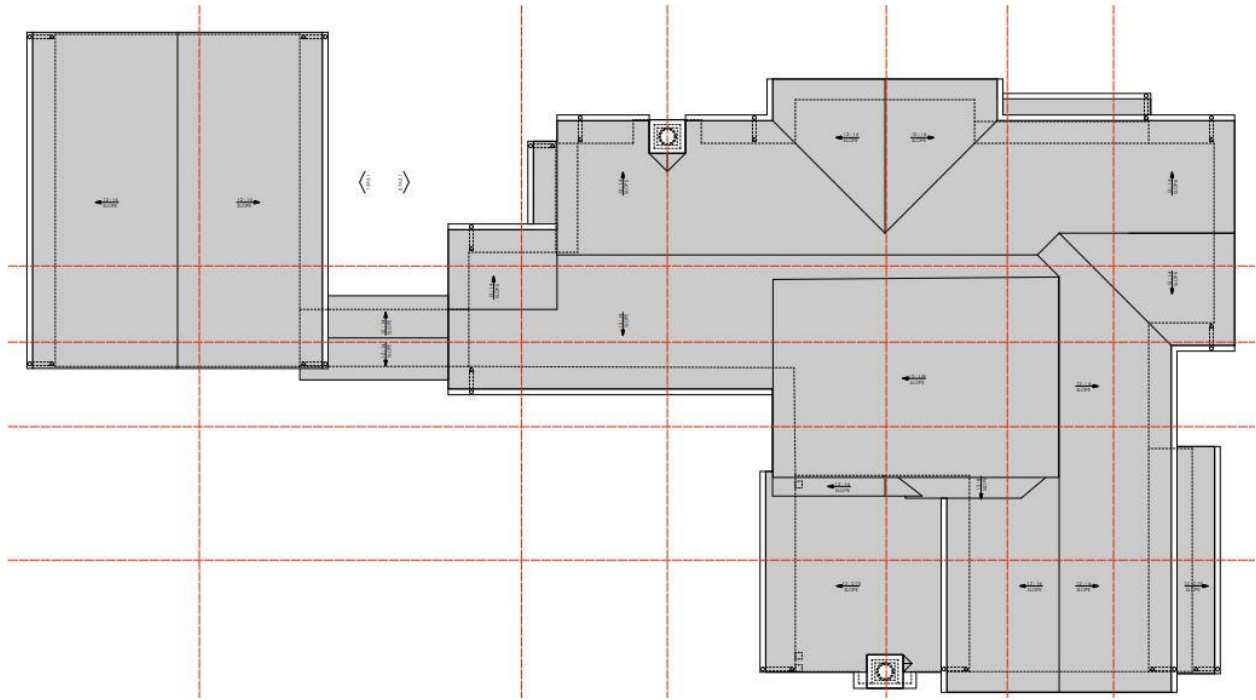


Rear (West) Elevation – Proposed for 8-26-2021

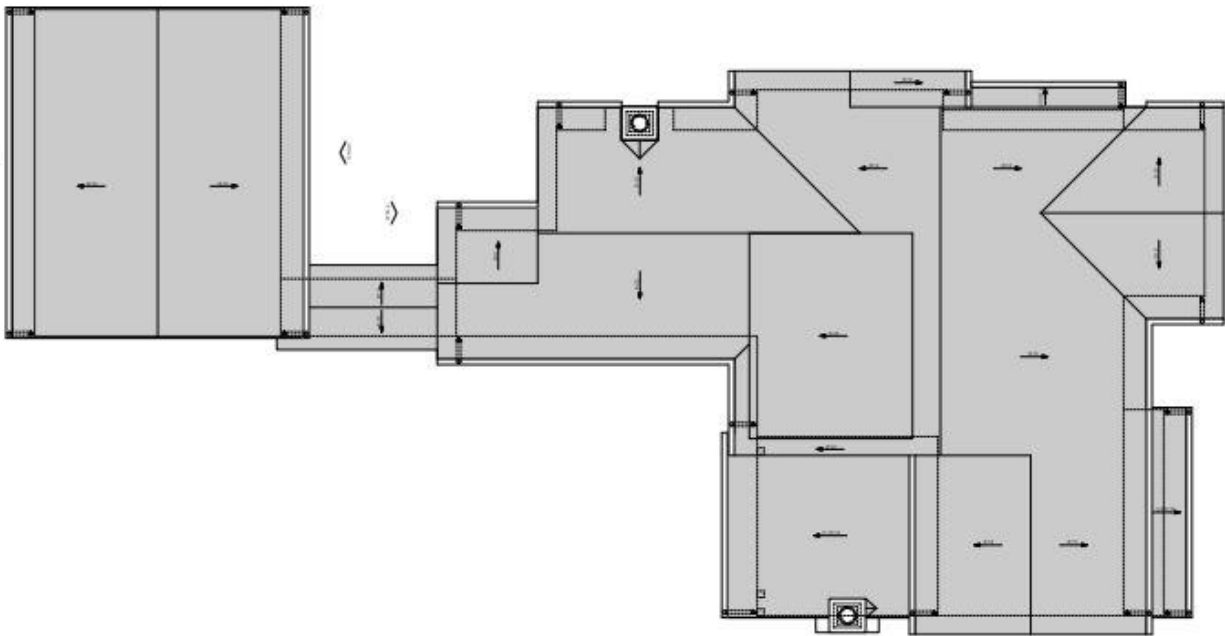
Red Outline Indicates First Proposed Elevation



Roof Plan – Proposed at HAHC 6-17-2021



Roof Plan – Proposed for 8-26-2021



Contributing Structures in Woodland Heights with Metal Roofs – 521 & 309 Euclid

521 Euclid: Nov. 20, 2014 Approved COA for a metal roof with a 6:12 roof pitch

521 Euclid: Dimensions: 26'3" x 68'; ridge height 18'; 1-story structure

309 Euclid: April 17, 2019 Approved COA for a standing seam metal roof with 6:12 pitch

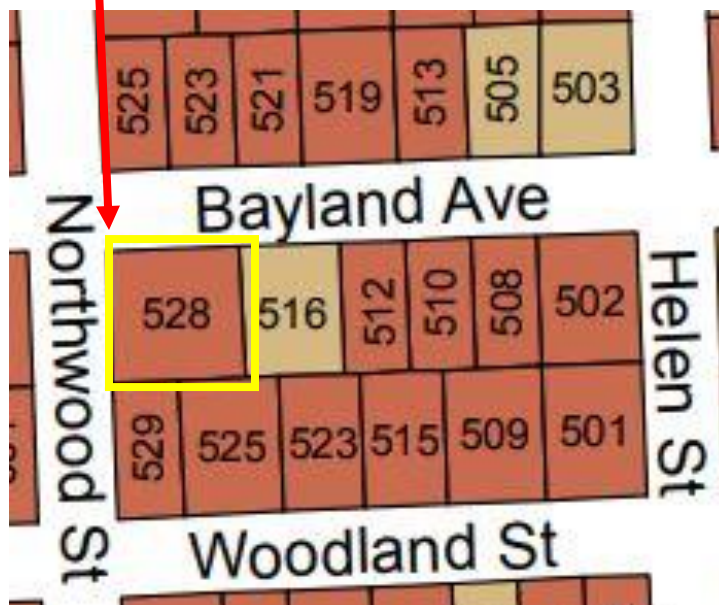
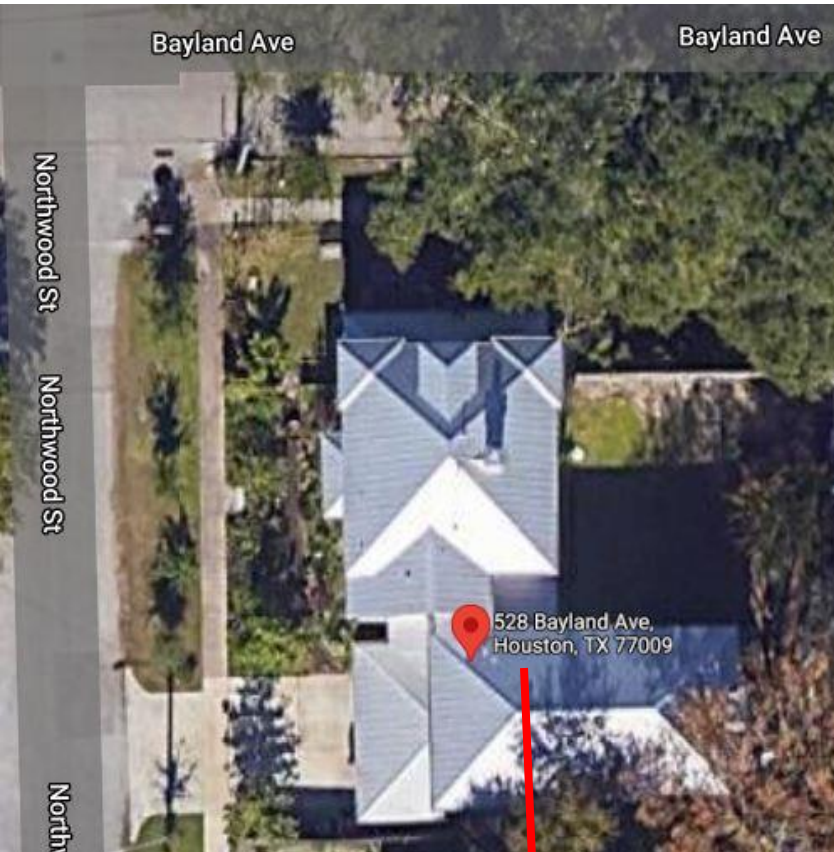
309 Euclid: Dimensions: 43'-6" x 28' 1-1/2"; ridge height 28' 10-3/4"; 2-story structure



Contributing Structures in Woodland Heights with Metal Roofs – 528 Bayland Ave

Nov. 7, 2013 Approved COA for a Galvalume Roof with a 5-over-12 roof pitch

528 Bayland Ave Dimensions: 29'-10" x 38'-4"; ridge height 32'; 2-story structure



Applicant's Comparable Structures in Woodland Heights

