

CITY OF HOUSTON

21119664

COH Project Number

Building Code Enforcement

APPROVED
FOR BUILDING PERMIT ONLY
CITY OF HOUSTON
CODE ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approved plans and specifications shall not be changed, modified or altered without authorization from the building official, and all work shall be done in accordance with the approved plans.
Arnold Cotton 4/13/2022

Structural

APPROVED

Traffic Design

Lei Lei 5/6/2022

1. Keep culvert length the same as driveway width.
2. Upload approved sidewalk modification letter in ProjectDox.

Traffic

Electrical

Mechanical

Plumbing

Storm

RECOMMENDED APPROVAL

PLANNING AND
DEVELOPMENT DEPARTMENT

DEVELOPMENT SERVICES

Cristal Romero 5/5/2022

LANDSCAPING REQUIRED

Planning

APPROVED

PUBLIC WORKS & ENGINEERING
UTILITY ANALYSIS SECTION

Pankaj Paudel 4/26/2022

Utility Analysis

Airport (HAS)

Flood

Health

Health/ Pools

Fire Marshal

High Pile/HazMat

LPG Tank

Sprinkler



D&E STRUCTURES

Consulting Engineers, LLP

01-Mar-22

bcWorkshop
 Client Job No.

Reference:	<u>Address</u> 7802 Willow Street, Lot: 14 & 15, Block: 12 Highland Addition, L14/12 - Houston, Texas	<u>Plan No.</u> A Option 2 <u>Design Code</u> See Plan
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This letter authorizes the use of the attached foundation and framing plans for construction at the address and legal description shown above.

The foundation has been designed based on the following soils conditions:

<u>P.I.</u>	<u>PVR</u>	<u>Bearing Pressure</u>	<u>Soils Report</u>	<u>Report Date</u>
30	1.5"	1350 psf	Geotech Engineering and Testing - 20-1120E	1/12/21

The foundation and framing designs are in accordance with the applicable provisions of the 2012 International Building & Residential Codes, the Design of Post-Tensioned Slabs-on-Ground, Third Edition, 2004 by the Post-Tensioning Institute, applicable provisions of the Building Research Advisory Board (BRAB) Publication 33, and accepted engineering practice.

Per City of Houston Housing Department Standards, foundation drops at all entry doors shall be limited to 1/2", and all roof rafters shall have a maximum 16" spacing.

Please call us if you have any questions or if we may be of further service.

Sincerely,

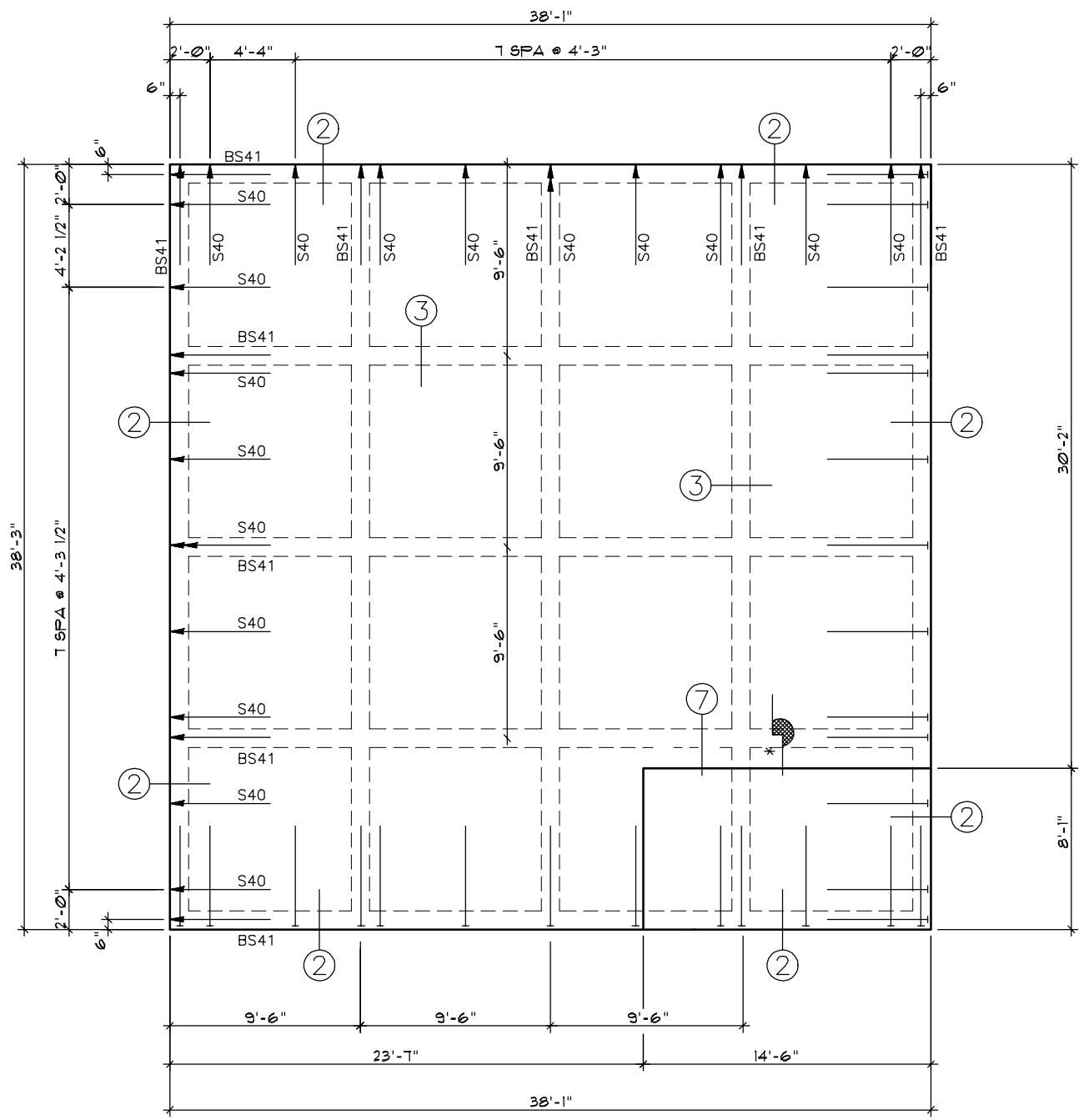


Steven L. Dickson, P.E.
 Texas License No. 64813
 Firm Registration No. F-870

cc: D&E Job No. 270593 - 2



REVIEWED FOR COMPLIANCE WITH CITY OF HOUSTON ORDINANCE 100.01, CHAPTER 100.01, ARTICLE 100.01, SECTION 100.01.01. THIS REVIEW DOES NOT CONSTITUTE A GUARANTEE OF ACCURACY OR LIABILITY FOR ANY OTHER PURPOSES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. DATE: 05/10/22



THIS FOUNDATION IS APPROXIMATELY 1450 SQUARE FEET IN AREA AND SHOULD CONTAIN ROUGHLY 41 CUBIC YARDS OF CONCRETE. THIS APPROXIMATION IS THEORETICAL AND SHOULD NOT BE CONSIDERED ACCURATE FOR CONSTRUCTION OR ORDERING OF MATERIALS.

SITE NOTES:

1. BY BUILDING FROM THIS PLAN CLIENT UNDERSTANDS AND ACCEPTS THAT D&E STRUCTURES HAS RELIED ON THE PUBLISHED FOUNDATION DESIGN VALUES CONTAINED IN THE CLIENT PROVIDED REPORT NO. 20-1120E BY GEOTECH ENGINEERING & TESTING IN THE DESIGN OF THIS FOUNDATION. CLIENT ALSO ACCEPTS FULL RESPONSIBILITY FOR ENSURING THAT ANY AND ALL REMEDIAL ACTION REQUIRED TO ACHIEVE THE PUBLISHED DESIGN VALUES HAS BEEN COMPLETED AND ACCEPTED BY THE GEOTECHNICAL ENGINEER. CLIENT ALSO CERTIFIES THAT ALL SITE IMPROVEMENTS AND MOISTURE CONTROL RECOMMENDATIONS CONTAINED IN THE ABOVE MENTIONED REPORT HAVE BEEN IMPLEMENTED AND WILL BE MAINTAINED FOR THIS SITE.
2. NO FIELD CHANGES WILL BE ALLOWED TO THIS PLAN. CLIENT MUST CHECK THIS PLAN. IF THIS PLAN IS INCORRECT OR REQUIRES MODIFICATIONS DUE TO SITE CONDITIONS CLIENT MUST CONTACT D&E STRUCTURES BEFORE STARTING CONSTRUCTION. IN NO EVENT SHALL D&E STRUCTURES BE HELD LIABLE FOR INCORRECT FORM PLACEMENT IF CONTRACTOR SETS FORMS BY OR SCALES DIMENSIONS FROM THIS PLAN. THIS PLAN MAY BE FLIPPED IN THE FIELD AT BUILDERS DISCRETION.
3. CONTRACTOR SHALL BE AWARE OF, UNDERSTAND AND IMPLEMENT AS REQUIRED ALL SECTIONS, DETAILS AND GENERAL NOTES PRINTED ON THE REVERSE OF THIS PLAN, OR ON A SEPARATE SHEET AND INCORPORATED HEREIN BY REFERENCE.
4. A COPY OF THIS PLAN SHALL BE PROVIDED BY CLIENT FOR INSPECTION PURPOSES. IF NO PLAN IS AVAILABLE WHEN THE INSPECTOR ARRIVES NO INSPECTION WILL BE PERFORMED AND AN ADDITIONAL CHARGE WILL BE INCURRED.
5. THIS SLAB SHALL BE 4" THICK 3000 PSI CONCRETE.
6. ALL POST-TENSION CABLES SHALL BE 1/2" - 270KSI.
7. ALL BEAMS SHALL BE 10" WIDE BY 24" DEEP.

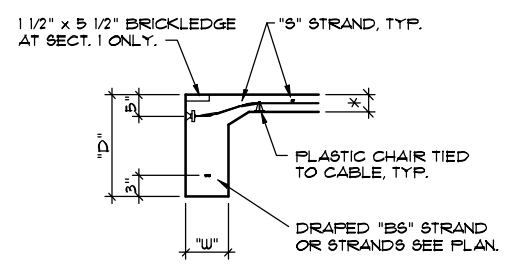
D&E STRUCTURES
CONSULTING ENGINEERS
1010 E. ARAPAHO, SUITE 106, RICHARDSON, TEXAS 75081
214-741-3086
TEXAS FIRM REGISTRATION NO. F-570

NEW HOME DEVELOPMENT PROGRAM
HIGHLAND ADDITION - HOUSTON, TEXAS
LOTS: 14 & 15 BLOCK: 12
PLAN: "A" SERIES - OPTION 2
7802 WILLOW STREET
DESIGN CODE: 1024

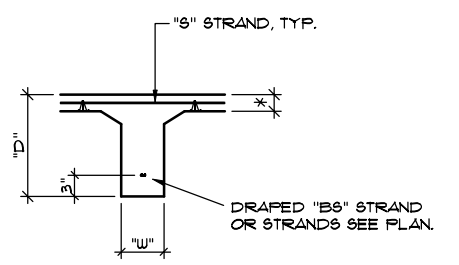
JOB # 270593-2
DATE 03-01-22
DRAWN BY PL
CHECKED BY SD
SHEET S1



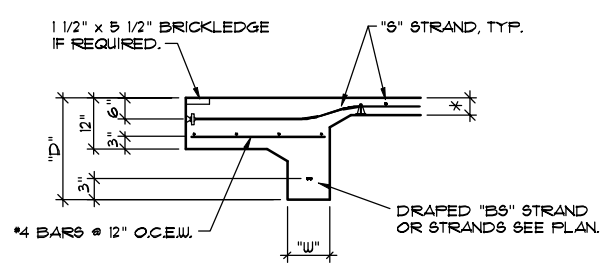
REVIEWED FOR COMPLIANCE WITH THE CITY OF HOUSTON REGULATIONS. THE ENGINEERS SEAL ON THIS PLAN WAS ELECTRONICALLY AFFIXED BY THE ENGINEER ON 05/10/22. NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE SIGNATURE APPEARING ON THIS PLAN FOR A SPECIFIC ADDRESS.



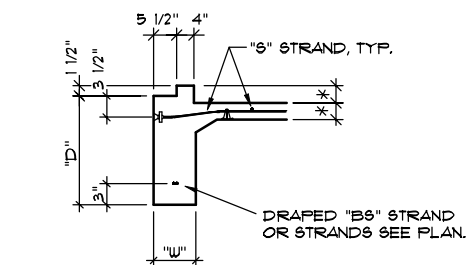
SECTION 1 & 2



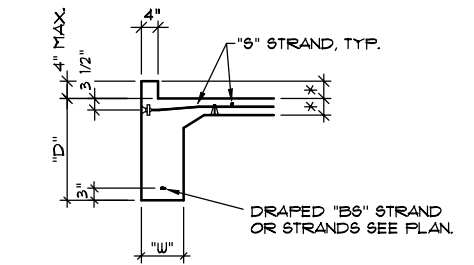
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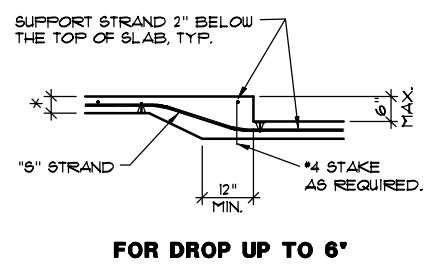
SECTION 4



SECTION 5

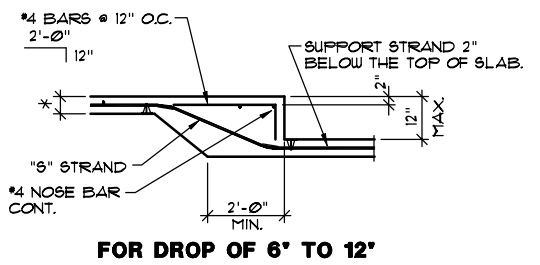


SECTION 6

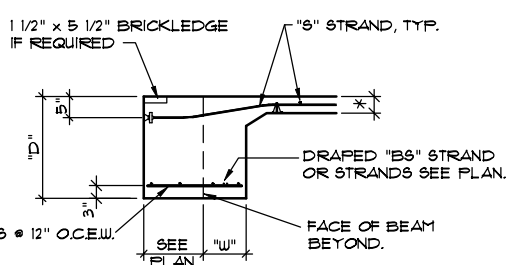


FOR DROP UP TO 6"

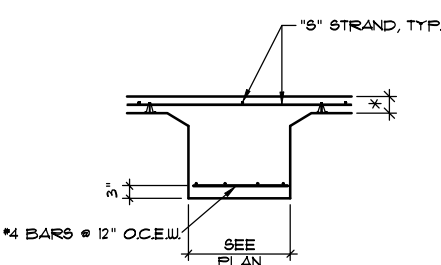
SECTION 7



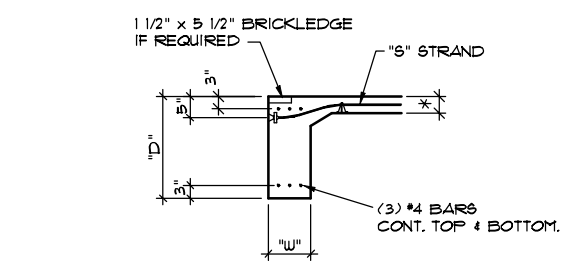
FOR DROP OF 6" TO 12"



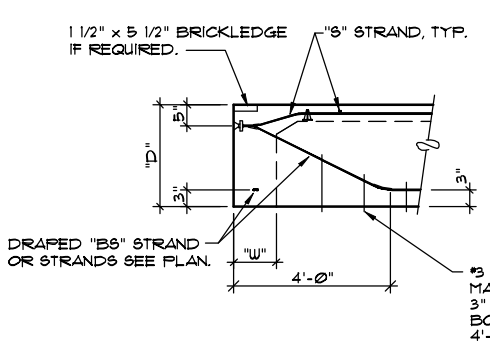
SECTION 9



SECTION 10

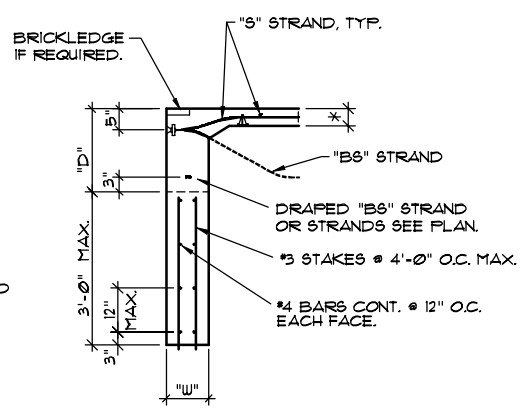


SECTION 10

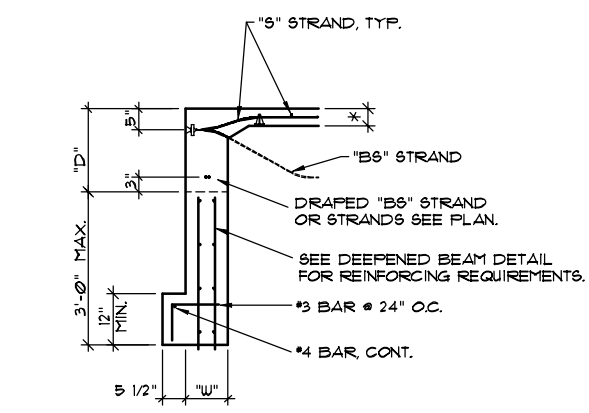


BEAM STRAND DRAPE PROFILE

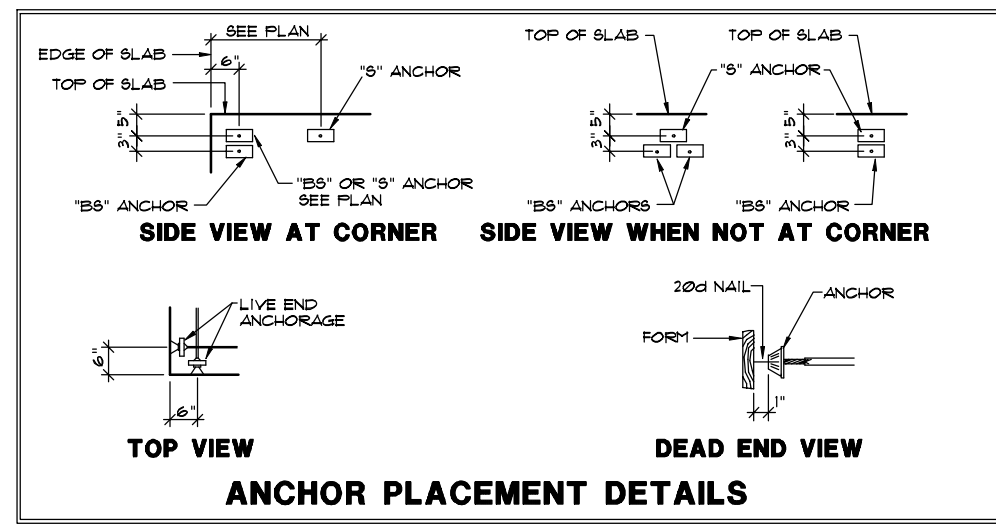
IF (2) "B6" STRANDS ARE REQUIRED SEE THE ANCHOR PLACEMENT DETAILS FOR PROPER ANCHOR LOCATION.



DEEPENED BEAM DETAIL



DROPPED BRICKLEDGE DETAIL



ANCHOR PLACEMENT DETAILS

DESIGN NOTES

- 1. THIS FOUNDATION DESIGN HAS BEEN DESIGNED ACCORDING TO THE PROVISIONS OF THE POST-TENSIONING INSTITUTE'S "DESIGN OF POST-TENSIONED SLABS-ON-GROUND" THIRD EDITION.
2. ALL FOUNDATION DESIGNS ARE SITE SPECIFIC. USE OF THIS DESIGN AT OTHER LOCATIONS IS PROHIBITED.
3. D&E STRUCTURES HAS RELIED ON THE PUBLISHED SOIL VALUES CONTAINED IN THE CLIENT PROVIDED SOIL REPORT IN THE DESIGN OF THIS FOUNDATION.
4. COORDINATE THESE DRAWINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ALL DIMENSIONS, OPENINGS, DROPS, SLOPES, LEAVE-OUTS AND EMBEDDED ITEMS NOT SHOWN. IF DIMENSIONAL DISCREPANCIES EXIST BETWEEN THESE DRAWINGS AND THE ARCHITECTURAL DRAWINGS, THE ARCHITECTURAL DRAWINGS SHALL GOVERN AND CONTROL.
5. CONTRACTOR, BUILDER OR OWNER IS RESPONSIBLE FOR ENSURING THAT THESE DRAWINGS ARE CORRECT BEFORE STARTING CONSTRUCTION. D&E STRUCTURES SHALL NOT BE LIABLE FOR THE INCORRECT PLACEMENT OF FORMS OR DIMENSIONAL DISCREPANCIES BETWEEN THIS PLAN AND THE ARCHITECTURAL DRAWINGS.
6. D&E STRUCTURES SHALL BE HELD HARMLESS IF THE CONTRACTOR, BUILDER OR OWNER SETS FORMS BY, OR SCALES DIMENSIONS FROM THIS PLAN.
7. PIERS SHALL ONLY BE USED IF SHOWN AND SPECIFIED ON THE ACCOMPANYING FOUNDATION PLAN.
8. DUE TO THE UNIQUE NATURE OF CONCRETE AND THE CURING PROCEDURES USED BY CONCRETE FINISHERS, D&E STRUCTURES IS NOT RESPONSIBLE FOR, AND SHALL BE HELD HARMLESS FOR THE FINISHED APPEARANCE OF ANY CONCRETE USED IN THIS PROJECT.
9. THIS DETAIL SHEET IS AN CRITICAL PART OF THE FOUNDATION DESIGN. CONTRACTOR SHALL BE AWARE OF, UNDERSTAND AND IMPLEMENT AS REQUIRED ALL SECTIONS, DETAILS AND NOTES PRINTED ON THIS PAGE.

PLUMBING NOTES

- 1. PLUMBING LINES 2" OR LESS IN DIAMETER MAY BE LOCATED ANYWHERE WITHIN A BEAM TRENCH.
2. BEAM TRENCHES CONTAINING PLUMBING LINES IN EXCESS OF 2" IN DIAMETER, AND HAVING MORE THAN A 2'-0" LENGTH OF PLUMBING LINE EXPOSED, SHALL BE WIDENED THE DIAMETER OF THE PLUMBING LINE FOR A DISTANCE 2'-0" BEYOND THE PLUMBING LINE IN BOTH DIRECTIONS. REINFORCE THE WIDENED BEAM WITH THREE (3) #4 BARS IN THE TOP OF THE BEAM.
3. NO ELECTRICAL CONDUIT OR PLUMBING LINES SHALL BE LOCATED IN THE SLAB AREA OF THIS FOUNDATION. BURY ALL CONDUIT OR PLUMBING LINES AT LEAST SIX INCHES (6") BELOW THE TOP-OF-SLAB.

SITE PREPARATION

- 1. UNLESS NOTED ON THE FOUNDATION PLAN SHEET, THIS DESIGN IS BASED ON THE EXISTING OR "UNIMPROVED" SOIL CONDITIONS NOTED IN THE CLIENT PROVIDED SOIL REPORT.
2. FINAL GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING PERIMETER FOR THE LIFE OF THE STRUCTURE.
3. FINAL GRADES SHALL PROVIDE A MINIMUM OF SIX INCHES CLEARANCE BETWEEN THE FINAL GRADE AND THE TOP OF THE SLAB OR BRICK LEDGE.
4. A MAXIMUM OF EIGHT INCHES OF CUT OR FILL IS ALLOWED BENEATH THE BUILDING PAD WITHOUT AFFECTING THIS FOUNDATION DESIGN. IF GREATER AMOUNTS OF CUT OR FILL ARE REQUIRED, CONTACT THE GEOTECHNICAL ENGINEER FOR ADDITIONAL RECOMMENDATIONS.
5. SITE PREPARATION SHALL CONFIRM TO THE AMERICAN CONCRETE INSTITUTE'S "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION", ACI 302, LATEST EDITION.
6. ALL SOFT OR COMPRESSIBLE SOILS SHALL BE REMOVED AND REPLACED WITH ON-SITE FILL OR SELECT FILL. SOFT OR COMPRESSIBLE SOILS ARE DEFINED AS THOSE SOILS THAT DEFLECT MORE THAN FOUR INCHES UNDER THE WEIGHT OF HEAVY TRACK-MOUNTED OR RUBBER-TIRED CONSTRUCTION EQUIPMENT.
7. THE MINIMUM LEVEL OF COMPACTION FOR ALL SITE MATERIAL SHALL BE 95% OF ASTM D698 STANDARD PROCTOR DENSITY. IF MORE STRINGENT REQUIREMENTS ARE LISTED IN THE GEOTECHNICAL REPORT, THEY SHALL GOVERN.
8. AT THE CONTRACTOR'S OPTION, A SAND CUSHION, SELECT FILL OR EXPOSED SITE SOIL MAY BE USED FOR FINAL GRADING OF THE BUILDING PAD, SO LONG AS THEY DO NOT PRESENT A HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
9. THE MAXIMUM FINISHED GRADE SLOPE AWAY FROM THE FOUNDATION SHALL NOT EXCEED FIFTEEN INCHES OVER FIVE FEET. RETAINING WALLS ARE REQUIRED WHERE THE ABOVE SLOPE LIMITATION CAN NOT BE MET. ALL RETAINING WALLS WITHIN FIVE FEET OF THE FOUNDATION HAVING HEIGHTS OVER 2'-6" BETWEEN FINAL GRADE LEVELS MUST BE DESIGNED BY A PROFESSIONAL ENGINEER.

INSPECTION NOTE

- 1. THE CONTRACTOR SHALL NOTIFY THE TESTING LABORATORY AT LEAST 24 HOURS IN ADVANCE TO PERFORM A PREPOUR FOUNDATION INSPECTION TO VERIFY THE PROPER IMPLEMENTATION OF THIS FOUNDATION DESIGN.

CONSTRUCTION NOTES

- 1. ALL BEAMS SHALL BE FREE OF DEBRIS AND BEAR A MINIMUM OF SIX INCHES INTO UNDISTURBED SOIL OR PROPERLY COMPACTED FILL. SEE DEEPENED BEAM DETAIL FOR ADDITIONAL REINFORCING FOR BEAM DEPTHS ("D") GREATER THAN THOSE SHOWN IN THE "SITE NOTES".
2. BEAM SIZES SHOWN IN THE "SITE NOTES" SHALL NOT BE DECREASED WITHOUT WRITTEN PERMISSION FROM D&E STRUCTURES. EXCEPTION: IF SOLID ROCK IS ENCOUNTERED DURING BEAM EXCAVATIONS, THE BEAM DEPTH ("D") MAY BE DECREASED AS NECESSARY TO A MINIMUM DEPTH OF 12 INCHES.
3. PROVIDE A MINIMUM 4-MIL POLYETHYLENE VAPOR BARRIER BENEATH ALL SLAB AREAS. DO NOT ALLOW THE POLY TO EXTEND ACROSS THE BEAM BOTTOMS.
4. PROVIDE A MINIMUM OF TWO INCHES CLEARANCE BETWEEN STRANDS AND CONCRETE EDGES AT CORNERS, DROPS AND BLOCKOUTS. SLAB STRAND LOCATIONS MAY BE ALTERED UP TO TWELVE INCHES HORIZONTALLY TO ACHIEVE ADEQUATE CLEARANCE. STRAND CURVATURE SHALL BE GRADUAL. USE CHAIRS AS NECESSARY TO MAINTAIN CLEARANCE.
5. DO NOT ALLOW STRANDS TO SAG OVER BEAM TRENCHES. USE REBAR SUPPORTED ON PLASTIC CHAIRS OR REBAR STAKES AS REQUIRED TO SUPPORT STRANDS OR REBAR IN THE PROPER LOCATION. USE TIE WIRES TO SECURE ALL STRANDS AND REBAR TO INSURE STRAIGHT AND LEVEL INSTALLATION.
6. TORN OR MISSING STRAND SHEATHING MUST BE REPLACED TO PREVENT BOND WITH CONCRETE. EXCEPTION: SHEATHING WITHIN TWELVE INCHES OF A "DEAD END" ANCHOR NEED NOT BE REPLACED.
7. CONCRETE SLAB CONSTRUCTION AND CURING SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE'S "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION", ACI 302, LATEST EDITION.
8. CONSTRUCTION JOINTS OR "COLD" JOINTS IN SLABS OR BEAMS ARE NOT PERMITTED UNLESS SHOWN ON THE DRAWINGS. CONTACT D&E STRUCTURES FOR ADDITIONAL RECOMMENDATIONS.
9. ALL PLASTIC SUPPORT CHAIRS SHALL BE SECURED TO THE CABLE WITH THE WIRE.
10. EXERCISE CARE IN PLACING CONCRETE TO ENSURE THAT PROPER STRAND AND REBAR LOCATIONS ARE MAINTAINED.
11. CONSOLIDATE ALL CONCRETE. USE EXTRA CARE AROUND ALL STRAND ANCHORAGE LOCATIONS AND OTHER EMBEDDED ITEMS.
12. THIS PLAN MAY BE FLIPPED IN THE FIELD AT BUILDERS OPTION.
13. CABLE LIVE ENDS MAY BE REVERSED IN THE FIELD AT BUILDERS DISCRETION.

MATERIAL NOTES

- 1. ALL POST-TENSIONING MATERIALS AND ANCHORAGES SHALL CONFORM TO THE REQUIREMENTS OF THE POST-TENSIONING INSTITUTE'S "SPECIFICATIONS FOR UNBONDED SINGLE STRAND TENDONS," LATEST EDITION.
2. ALL POST-TENSIONING MATERIALS AND ANCHORAGES SHALL BE OBTAINED FROM A PLANT CURRENTLY CERTIFIED BY THE POST-TENSIONING INSTITUTE'S PROGRAM FOR "CERTIFICATION OF PLANTS PRODUCING UNBONDED SINGLE STRAND TENDONS."
3. ALL TENDONS SHALL BE FABRICATED FROM 7-WIRE, 270 KSI, 1/2" DIAMETER, LOW RELAXATION STRAND, CONFORMING TO ASTM A416. TENDONS SHALL BE GREASED WITH CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH.
4. TENDON LENGTHS ARE THE RESPONSIBILITY OF THE SUPPLIER OR CONTRACTOR.
5. ALL CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED CONCRETE CONFORMING TO ACI 318, ACI 301, AND ASTM C94, LATEST EDITIONS.
6. ADMIXTURES CONTAINING CHLORIDE IONS ARE NOT PERMITTED.
7. UNLESS NOTED ON THESE PLANS, THE MINIMUM 28-DAY CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI PER ASTM C39. ADDITIONALLY, THE CONCRETE MUST HAVE A 7-DAY COMPRESSIVE STRENGTH OF AT LEAST 2000 PSI.
8. ALL CONVENTIONAL REINFORCING (REBAR) SHALL CONFORM TO ASTM A615. REBAR SIZES #3 AND #4 MAY BE GRADE 40. REBAR SIZES #5 OR GREATER SHALL BE GRADE 60.

STRESSING NOTES

- 1. PARTIAL STRESSING TO 30% OF FULL STRESS WITHIN 18 TO 36 HOURS OF CONCRETE POUR IS RECOMMENDED TO MINIMIZE SHRINKAGE CRACKS.
2. AT THE TIME OF FULL STRESSING OPERATIONS, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI.
3. AT THE TIME OF FULL STRESSING OPERATIONS, EACH STRAND SHALL BE INITIALLY STRESSED TO 33,000# AND SEATED AT 28,900#.
4. IF TENDON ELONGATIONS ARE TO BE MEASURED FOR QUALITY CONTROL PURPOSES, CONTRACTOR SHALL FURNISH D&E STRUCTURES WITH A REPORT LISTING THE CABLE DESIGNATION AND MEASURED ELONGATION. D&E STRUCTURES WILL THEN REVIEW AND APPROVE OR COMMENT ON THE ELONGATION REPORT.

LIMITATIONS

- 1. IF A PREPOUR INSPECTION OF THIS FOUNDATION IS NOT PERFORMED BY AN AUTHORIZED REPRESENTATIVE OF D&E STRUCTURES PRIOR TO CONCRETE PLACEMENT, D&E STRUCTURES WILL NOT BE HELD RESPONSIBLE FOR THE PROPER IMPLEMENTATION OF THIS FOUNDATION DESIGN.
2. LIKE ALL SOIL-SUPPORTED FOUNDATION SYSTEMS, THIS FOUNDATION WILL EXHIBIT VERTICAL MOVEMENT WHEN THE EXPANSIVE SOILS EXPERIENCE A CHANGE IN MOISTURE CONTENT.
3. FOR THE FOUNDATION TO PERFORM AS DESIGNED, THE OWNER MUST MAINTAIN A CONSISTENT LEVEL OF SOIL MOISTURE AROUND THE PERIMETER OF THE FOUNDATION. DO NOT ALLOW THE SOIL TO DRY OUT TO THE POINT WHERE IT CRACKS OR PULLS AWAY FROM THE FOUNDATION.
4. THE OWNER SHOULD NOT PLANT TREES OR SHRUBS OVER SIX FEET HIGH WITHIN 15 FEET OF THE BUILDING PERIMETER.
5. THE CONTRACTOR AND / OR OWNER SHALL ALLOW FOR VERTICAL MOVEMENT OF THE SLAB, BRICK VENEER, STUCCO, TILE, AND SIMILAR BRITTLE FINISHES SHOULD BE INSTALLED TO ACCOMMODATE UP TO 1/4" DIFFERENTIAL VERTICAL FOUNDATION MOVEMENT OVER 10 FEET.
6. DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY D&E STRUCTURES ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. D&E STRUCTURES SHALL BE DEEMED THE AUTHORS AND OWNERS OF THESE INSTRUMENTS OF SERVICE, AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY ANYONE OTHER THAN D&E STRUCTURES FOR FUTURE ADDITIONS OR ALTERATIONS OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF D&E STRUCTURES. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE AT THE PARTY'S SOLE RISK AND WITHOUT LIABILITY TO D&E STRUCTURES.

SYMBOLS

- 1. BEAM DIMENSIONS "D" AND "W" ARE SPECIFIED IN THE "SITE NOTES" LOCATED ON THE FOUNDATION PLAN.
2. S-XX DENOTES SLAB STRAND.
3. BS-XX DENOTES BEAM STRAND. REFER TO TYPICAL BEAM ELEVATION.
4. - denotes ONE STRAND TO BE STRESSED.
5. - denotes TWO STRANDS TO BE STRESSED.
6. * denotes FACTORY SEATED END.
7. * denotes DIMENSION TO BE VERIFIED.
8. "STRESSING END" AND "DEAD END" MAY BE REVERSED AT CONTRACTOR'S OPTION.

D&E STRUCTURES CONSULTING ENGINEERS
1010 E. ARPAHO, SUITE 106, RICHARDSON, TEXAS 75081
214-741-3095
TEXAS FIRM REGISTRATION NO. F-870

NEW HOME DEVELOPMENT PROGRAM
HIGHLAND ADDITION - HOUSTON, TEXAS
LOTS: 14 & 15 BLOCK: 12
PLAN: "A" SERIES - OPTION 2
7802 WILLOW STREET

JOB # 270593-2
DATE 03-01-22
DRAWN BY GE
CHECKED BY SD
SHEET 52



THE ENGINEERS SEAL ON THIS PLAN IS ELECTRONICALLY AFFIXED BY THE ENGINEER. IT IS NOT CONSIDERED VALID FOR ANY OTHER PURPOSE APPEARING ON ANY OTHER PLAN FOR A SPECIFIC ADDRESS.

D&E STRUCTURES
CONSULTING ENGINEERS
1010 E. ARAPAHO, SUITE 106, RICHARDSON, TEXAS 75081
214-741-3086
TEXAS FIRM REGISTRATION NO. F-570

NEW HOME DEVELOPMENT PROGRAM
HIGHLAND ADDITION - HOUSTON, TEXAS
LOTS: 14 & 15 BLOCK: 12
PLAN: "A" SERIES - OPTION 2
7802 WILLOW STREET

JOB # 270593-2
DATE 03-01-22
DRAWN BY MP
CHECKED BY SD
SHEET **FR1**

GENERAL NOTES:

WOOD FRAMING:

1. THESE FRAMING PLANS ARE BASED ON PLANS PROVIDED BY THE BUILDER AND THE ENGINEER SHALL RELY ON THE COMPLETENESS AND ACCURACY OF THE CLIENT PROVIDED PLANS IN THE PREPARATION OF IT'S DESIGNS.
2. THE ENGINEER'S RESPONSIBILITY IS FOR MEMBER SIZE AND STRENGTH ONLY. BUILDER IS RESPONSIBLE FOR LENGTHS AND QUANTITIES.
3. BUILDER IS RESPONSIBLE FOR REVIEWING THIS ENTIRE SET OF PLANS AND COORDINATING ANY DISCREPANCY OR VARIANCE FROM BUILDERS ORIGINAL PLANS WITH D & E STRUCTURES PRIOR TO ORDERING ANY MATERIALS.
4. IF FLOOR PLANS ARE REVISED FROM THE WALL LOCATIONS SHOWN ON THE FRAMING PLANS, CONTACT D&E STRUCTURES.
5. LIVE LOADS USED IN DESIGN ARE 40 PSF AT FLOORS, 20 PSF AT ROOFS, 10 PSF AT UNINHABITABLE ATTIC AREAS, AND 20 PSF AT ATTICS DESIGNATED FOR STORAGE. APPROPRIATE LIVE LOAD REDUCTIONS HAVE BEEN USED.
6. DEAD LOADS USED IN DESIGN ARE 10 PSF AT FLOORS, 6 PSF AT ROOF AND 1 PSF AT CEILING.
7. WIND LOADS USED IN DESIGN ARE BASED ON THE 2012 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE FOR 110 MPH BASIC WIND SPEED, EXPOSURE B.
8. ALL LOAD-BEARING WALLS SHALL BE BUILT FROM MINIMUM 2x4 STUDS @ 16" O.C., #3 OR STUD GRADE SPF.
9. ALL OTHER DIMENSION LUMBER SHOWN ON THE FRAMING PLANS SHALL BE #2 SYP OR #2 D-FIR, KD-19, UNLESS NOTED.
10. INSTALL ONE TRIMMER STUD BENEATH EACH END OF HEADERS SPANNING UP TO 10'-0". INSTALL TWO TRIMMER STUDS BENEATH EACH END OF HEADERS SPANNING GREATER THAN 10'-0".
11. ENGINEERED LVL LUMBER SHALL HAVE A MINIMUM MODULUS OF ELASTICITY OF 2,000,000 PSI, AND MINIMUM F_b OF 2,400 PSI WITH PROPERTIES EQUIVALENT TO "MICRO LAM".
12. HANGERS SHALL HAVE PROPERTIES EQUIVALENT TO THOSE MANUFACTURED BY "SIMPSON STRONG-TIE" AND PROVIDE ENOUGH CAPACITY TO HANDLE THEIR INTENDED DEAD AND LIVE LOAD. CONTACT D&E STRUCTURES WITH ANY QUESTIONS REGARDING HANGERS.

WOOD STRUCTURAL PANELS:

ROOF SHEATHING

1. ALL WOOD STRUCTURAL PANELS SHALL BE EITHER PLYWOOD OR OSB MANUFACTURED BY AN APA-APPROVED PLANT AND BEARING AN APA STAMP ON EACH PANEL.
2. ROOF SHEATHING SHALL BE APA RATED SHEATHING 24/16 SPAN-RATED WITH H-CLIPS AT MID SPAN ALONG PANEL EDGES. MINIMUM ROOF SHEATHING THICKNESS SHALL BE 15/32".
3. ATTACH ROOF SHEATHING TO SUPPORTING MEMBERS WITH 8d COMMON NAILS, 6" CENTERS AT PANEL PERIMETER AND 12" CENTERS IN FIELD OF PANELS.
4. H-CLIPS MUST BE INSTALLED AT 24" CENTERS MAXIMUM SPACING ALONG ALL ROOF PANEL EDGES NOT DIRECTLY SUPPORTED BY PRIMARY FRAMING MEMBERS OR BLOCKING SPACED AT A MINIMUM OF 24" CENTERS.

CEILING FRAMING NOTES:

CEILING JOISTS SHOWN ON THIS PLAN ARE 2x6 @ 16" ON CENTER UNLESS NOTED OTHERWISE.

ALL HEADERS ON THIS PLAN ARE (2) 2x6 UNLESS NOTED OTHERWISE.

ALL LVL BEAMS ON THIS PLAN SHALL BE GRADE 1.9E.

RAFTERS, HIPs, VALLEYS & RIDGE MATERIALS:
2x6, 2x8, 2x10 & 2x12 ARE #3 SYP FOR 10'-0" SPANS AND SHORTER.
2x6, 2x8, 2x10 & 2x12 ARE #2 SYP OR #2 D-FIR FOR 12'-0" SPANS AND LONGER.

ROOF FRAMING NOTES:

RAFTERS ARE 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.

RIDGES ARE 2x10. HIPs & VALLEYS ARE 2x8 UNLESS NOTED OTHERWISE.

RAFTERS, HIPs, VALLEYS & RIDGE MATERIALS:
2x6, 2x8, 2x10 & 2x12 ARE #3 SYP FOR 10'-0" SPANS AND SHORTER. 2x6, 2x8, 2x10 & 2x12 ARE #2 SYP OR #2 D-FIR FOR 12'-0" SPANS AND LONGER.

WHERE LOW ROOF RAFTERS INTERSECT SECOND FLOOR WALLS, PROVIDE 2x10 LEDGER ATTACHED TO EACH WALL STUD w/ (2) 12d COMMON NAILS.

WALL BRACING NOTES:

INSTALL BRACING PANELS ACCORDING TO DETAILS AND NOTES SHOWN ON THIS SHEET.

AT SECOND FLOOR BRACING PANELS (IF REQ'D), ATTACH BRACING PANELS TO SILL PLATES w/ 8d COMMON NAILS AT 3" O.C. ATTACH BAND JOISTS AND JOIST BLOCKING TO FIRST FLOOR TOP PLATE w/ 12d COMMON TOENAILS AT 8" O.C.

WALL SHEATHING PANELS SHALL BE INSTALLED w/ LONG DIMENSION VERTICAL.

ALL FRAMING NOTES, DETAILS AND SPECIFICATIONS SHOWN ON SHEET FRI ARE HEREBY INCORPORATED BY REFERENCE.

MISCELLANEOUS FRAMING NOTES:

MULTIPLE FLY BEAMS SHALL BE CONNECTED w/ 2 ROWS OF 10d COMMON NAILS AT 12" O.C. EACH FLY. USE 3 ROWS OF NAILS FOR 14" OR DEEPER BEAMS.

BEVEL CUTS (HEEL HEIGHTS) ON ENDS OF CEILING JOISTS AND BEAMS SHALL PROVIDE MIN. 4" WOOD DEPTH REMAINING.

WALL STUD FRAMING SHALL COMPLY w/ SECTION R602.3, TABLE R602.3(5) & TABLE 602.3.1 OF THE 2012 IRC.

FURLING SHALL BE MINIMUM 2x6 w/ T-BRACES AT 48" O.C. AND AS SHOWN ON THE FRAMING PLANS. SEE ROOF BRACING SCHEDULE FOR BRACING SIZES.

AT BEAM BEARING LOCATIONS, INSTALL 2x STUDS EQUAL TO THE NUMBER OF BEAM FLIES.

PILOT HOLES MUST BE INSTALLED AT ALL LAG SCREW LOCATIONS.


WHERE CEILING JOISTS ARE NOT CONTINUOUS BETWEEN WALL PLATES, THE RIDGE RAFTERS SHOWN ON THE ROOF FRAMING PLANS HAVE BEEN DESIGNED AS LOAD-BEARING BEAMS. THE RIDGE RAFTERS ARE BRACED TO SUPPORTING WALLS OR CEILING BEAMS, ELIMINATING ANY THRUST IN THE CEILING RAFTERS. THE ROOF AND CEILING FRAMING ASSEMBLIES SHOWN ON THE FRAMING PLANS SATISFY THE REQUIREMENTS OF THE IRC SECTION R802.3.1

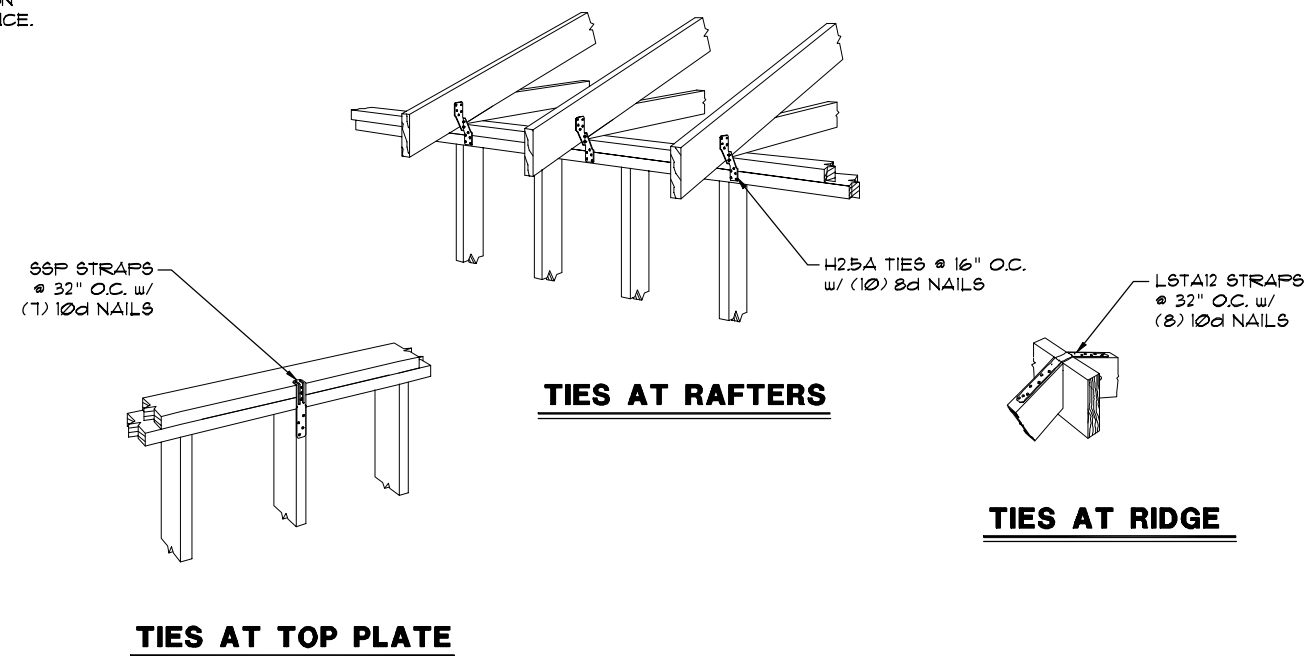
WALL PLATE ANCHORAGE NOTES:

ALL EXTERIOR PLATES SHALL BE ANCHORED TO THE SLAB USING CAST-IN-PLACE L-BOLTS, 1/2" φ w/ 9" EMBEDMENT, 6'-0" O.C. THE SIMPSON MAS MUD SILL ANCHORS MAY BE USED IN LIEU OF 1/2" φ L-BOLTS. (SEE THE MANUFACTURER FOR APPROPRIATE SPACING)

ALL INTERIOR PLATES FOR LOAD-BEARING WALLS SHALL BE ANCHORED TO THE SLAB w/ HILTI X-DNI 62 P8 POWDER-DRIVEN FASTENERS AT 18" O.C.

INSTALL ADDITIONAL HILTI X-DNI 62 P8 FASTENERS AS REQUIRED IN ALL WALL PLATES IF ANCHOR BOLTS ARE NOT LOCATED WITHIN 12" OF A BUTT JOINT, CORNER OR JAMB.

SHEARWALL SCHEDULE	
	ALL INTERIOR WALLS SHALL BE SHEATHED w/ 1/2" GYPSUM BOARD ATTACHED TO STUDS USING 5d COOLER OR WALLBOARD NAILS, 0.086" SHANK, 1 5/8" LONG, 15/64" HEAD. NAIL SPACING SHALL BE 7" O.C. AT ALL SUPPORTS.
	EXTERIOR WALLS SHEATHED w/ 7/16" x 48" x WALL HT. OSB PANEL ATTACHED TO O.S. FACE OF STUDS, PLATES & BLOCKING w/ 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. @ OTHER WALL MEMBERS (AT ALL CORNERS, AND MAXIMUM 24 FT. O.C.)



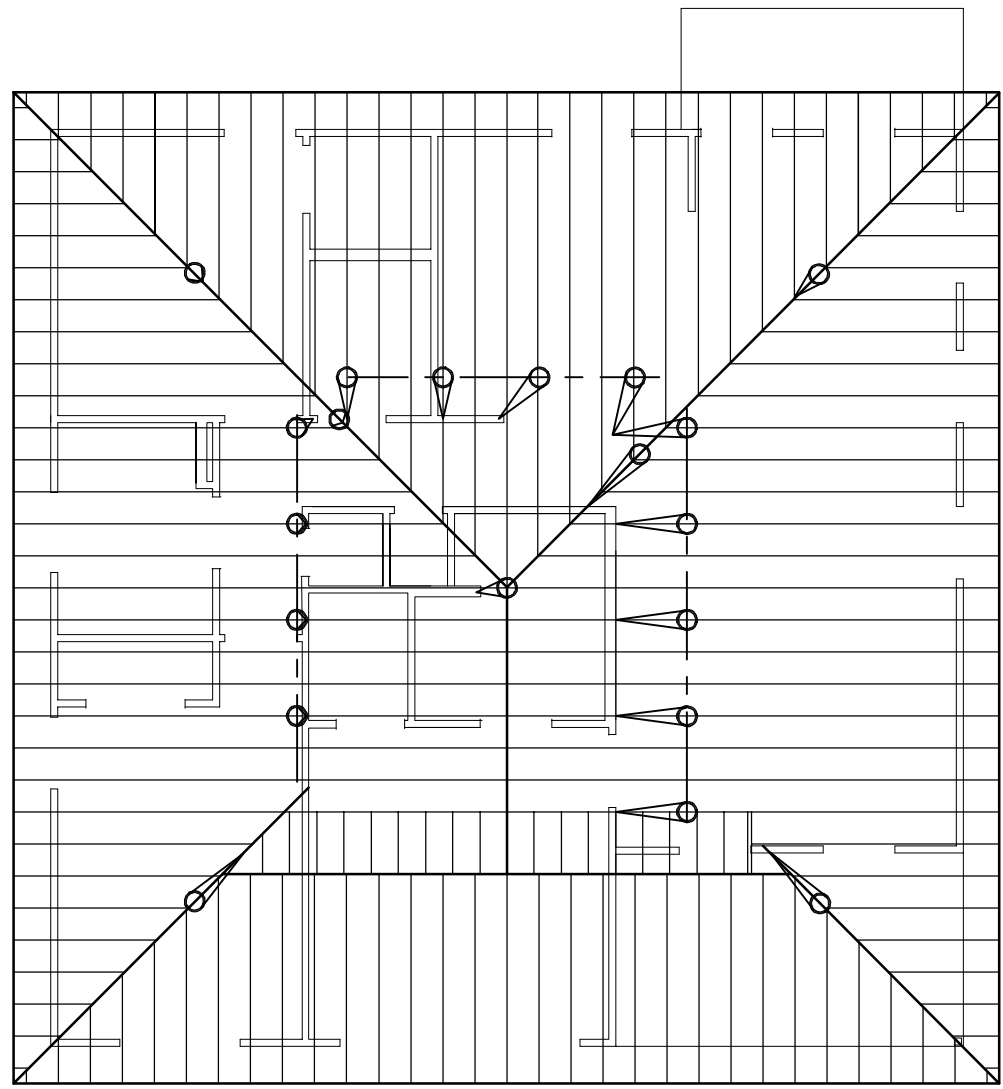
REVIEWED FOR COMPLIANCE WITH CITY OF HOUSTON REGULATIONS 05/10/22



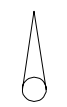



THIS REVIEW DOES NOT GUARANTEE OR COMPLY WITH ANY APPLICANT FROM FULLY TO COMPLY WITH ALL CITY AND REGULATIONS. 05/10/22



THE ENGINEER SEAL ON THIS PLAN WAS ELECTRONICALLY AFFIXED BY STEVEN L. DICKSON, REGISTRATION NO. 64813 ON MAY 20, 2022 AND IS NOT CONSIDERED VALID FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT HIS ORIGINAL SIGNATURE APPEARING ON A LETTERHEAD AND BLOCK PLAN FOR A SPECIFIC ADDRESS.



OPTION 2
ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

ROOF BRACING SCHEDULE			
	HT.	REQUIREMENTS	SECTION
 TYPICAL ROOF BRACING	1-10FT.	2x4 "T" BRACING	 2x4
	11-20FT.	2x6/2x4 "T" BRACING	 2x6 2x4
	21-30FT.	2x8/2x6 "T" BRACING	 2x8 2x6

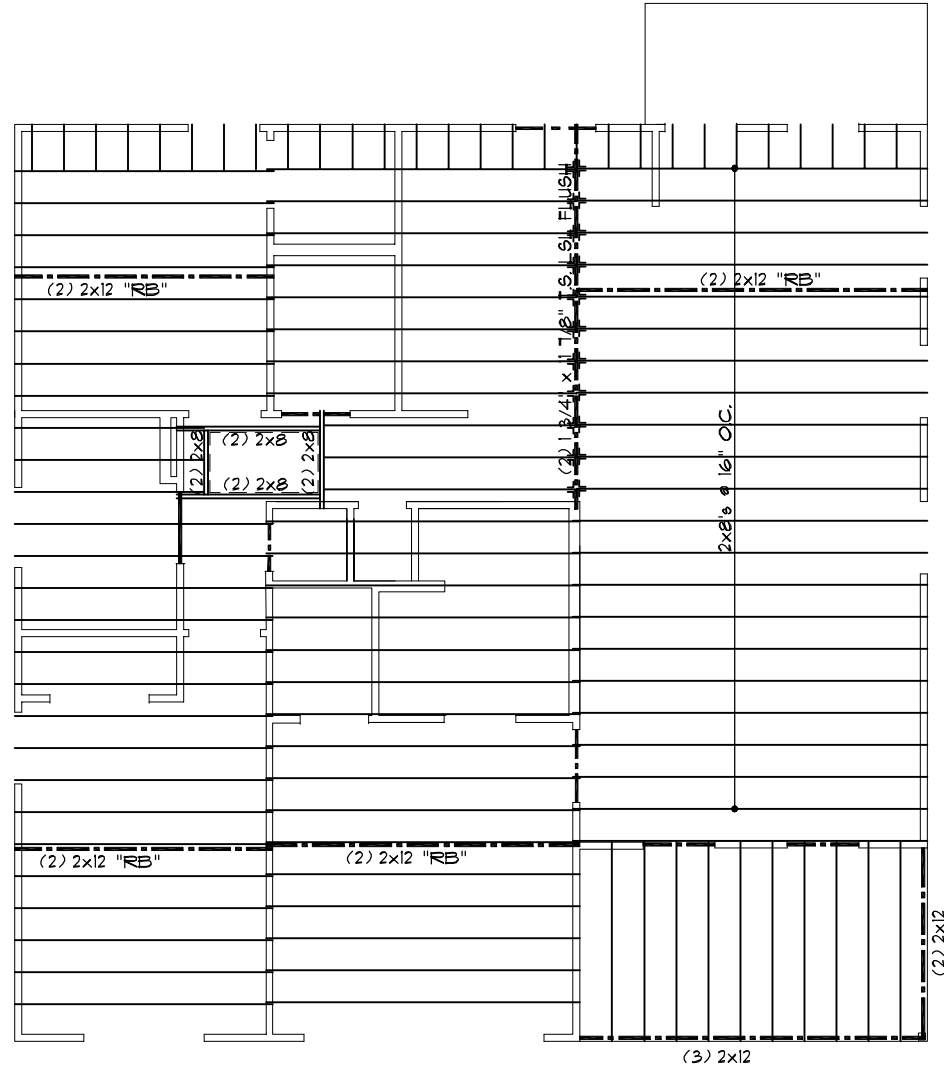
ROOF FRAMING NOTES:

- RAFTERS ARE 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- RIDGES ARE 2x10. HIP6 & VALLEYS ARE 2x8 UNLESS NOTED OTHERWISE.
- RAFTERS, HIP6, VALLEYS & RIDGE MATERIALS:
2x6, 2x8, 2x10 & 2x12 ARE #3 SYP FOR 10'-0" SPANS AND SHORTER. 2x6, 2x8, 2x10 & 2x12 ARE #2 SYP OR #2 D-FIR FOR 12'-0" SPANS AND LONGER.
- WHERE LOW ROOF RAFTERS INTERSECT SECOND FLOOR WALLS, PROVIDE 2x10 LEDGER ATTACHED TO EACH WALL STUD w/ (2) 12d COMMON NAILS.

D&E STRUCTURES
CONSULTING ENGINEERS
1010 E. ARPAHO, SUITE 106, RICHARDSON, TEXAS 75081
214-741-3085
TEXAS FIRM REGISTRATION No. F-870

NEW HOME DEVELOPMENT PROGRAM
HIGHLAND ADDITION - HOUSTON, TEXAS
LOTS: 14 & 15 BLOCK: 12
PLAN: "A" SERIES - OPTION 2
7802 WILLOW STREET

JOB #
270593-1
DATE
05-20-21
DRAWN BY
MP
CHECKED BY
SD
SHEET
FR2



OPTION 2
FIRST FLOOR CEILING FRAMING PLAN
 SCALE: 1/8" = 1'-0"

CEILING FRAMING NOTES:

CEILING JOISTS SHOWN ON THIS PLAN ARE 2x6 @ 16" ON CENTER UNLESS NOTED OTHERWISE.

ALL HEADERS ON THIS PLAN ARE (2) 2x6 UNLESS NOTED OTHERWISE.

ALL LVL BEAMS ON THIS PLAN SHALL BE GRADE 1.9E.

MAXIMUM SPAN ALLOWANCE FOR HEADERS SUPPORTING WOOD FRAME WALLS		
WOOD HEADER	LOAD BEARING	NON-LOAD BEARING
(2) 2x6	-	4 FT
(2) 2x8	4 FT	6 FT
(2) 2x10	6 FT	8 FT
(2) 2x12	8 FT	10 FT

LOAD BEARING HEADERS OVER 8'-0" SPAN TO BE SIZED INDIVIDUALLY.



City of Houston
 THE ENGINEERS SEAL ON THIS PLAN WAS ELECTRONICALLY AFFIXED BY STEVEN L. DICKSON, REGISTRATION NO. 64813 ON MAY 20, 2021 AND IS NOT CONSIDERED VALID FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT HIS ORIGINAL SIGNATURE APPEARING ON A LETTERHEAD OR PLAN FOR A SPECIFIC ADDRESS. 19664 FOR COMPLIANCE OF THIS REVIEW DOES NOT APPLY TO ANY APPLICANT FROM FULLY TO COMPLY WITH ALL CITY OF HOUSTON REGULATIONS AND ORDINANCES. 05/10/22

D&E STRUCTURES
 CONSULTING ENGINEERS
 1010 E. ARPAHO, SUITE 106, RICHARDSON, TEXAS 75081
 214-741-3085
 TEXAS FIRM REGISTRATION NO. F-870

NEW HOME DEVELOPMENT PROGRAM
 HIGHLAND ADDITION - HOUSTON, TEXAS
 LOTS: 14 & 15 BLOCK: 12
 PLAN: "A" SERIES - OPTION 2
 7802 WILLOW STREET

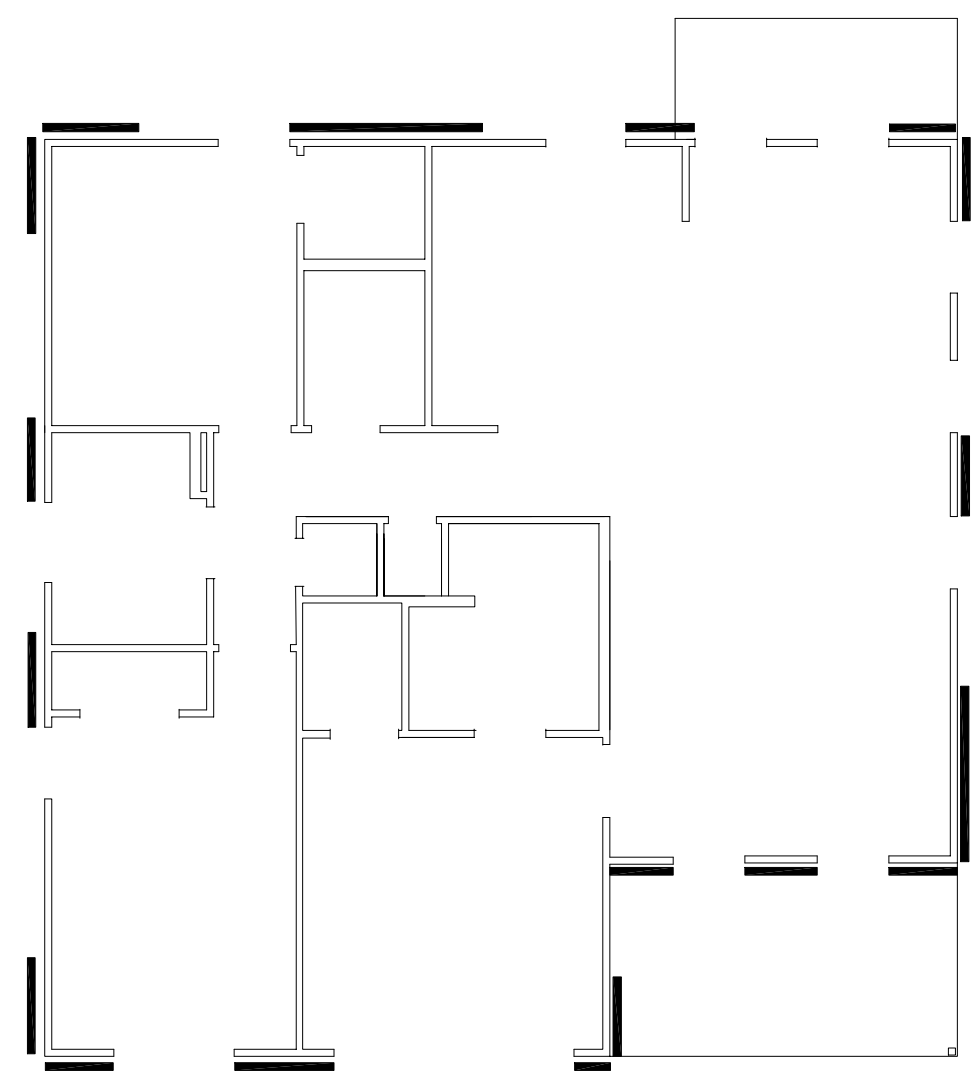
JOB # 270593-1
 DATE 05-20-21
 DRAWN BY MP
 CHECKED BY SD
 SHEET **FR3**



of this review does not constitute an endorsement or approval by the City of Houston of any product, material, or method of construction. The applicant is responsible for compliance with all applicable codes and regulations. 05/10/22



THE ENGINEER SEAL ON THIS PLAN WAS ELECTRONICALLY AFFIXED BY STEVEN L. DICKSON, REGISTRATION NO. 64813 ON MAY 20, 2022 AND IS NOT CONSIDERED VALID FOR CONSTRUCTION FOR ANY OTHER PURPOSE WITHOUT HIS ORIGINAL SIGNATURE APPEARING ON A LETTERHEAD AND PLAN FOR A SPECIFIC ADDRESS.



WALL BRACING LOCATIONS
REFER TO DETAIL SHEET FOR SHEARWALL NOTES & DESCRIPTIONS

OPTION 2
SHEAR WALL PLAN
SCALE: 1/8" = 1'-0"

PANELS APPLIED DIRECT TO FRAMING						
PANEL TYPE & GRADE	THICKNESS	MIN. FASTENER PENETRATION IN FRAMING	FASTENER SIZE	FASTENER SPACING AT PANEL ENDS		
				6"	4"	3"
APA RATED SHEATHING (OSB)	7/16"	1 5/8"	8d	336	490	630
				(POUNDS PER FOOT)		

EDGE NAILING SHALL BE 6" O.C. UNLESS NOTED ON PLAN

D&E STRUCTURES
CONSULTING ENGINEERS
1010 E. ARPAHO, SUITE 106, RICHARDSON, TEXAS 75081
214-741-3085
TEXAS FIRM REGISTRATION No. F-870

NEW HOME DEVELOPMENT PROGRAM
HIGHLAND ADDITION - HOUSTON, TEXAS
LOTS: 14 & 15 BLOCK: 12
PLAN: "A" SERIES - OPTION 2
7802 WILLOW STREET

JOB # 270593-1
DATE 05-20-21
DRAWN BY MP
CHECKED BY SD
SHEET FR4



REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
05/10/22



PLANNING &
DEVELOPMENT
DEPARTMENT

Application for Modification of Sidewalks Standards

Section 40-556 of Chapter 40 of the Code of Ordinances

The Planning official, in collaboration with the Office of City Engineers (OCE) and the Mayor’s Office of Disabilities (MOD), may approve a modification to the standards of section 40-555 of the Code of Ordinances in accordance with 40-556. Granting a modification under 40-556 does not set a precedent, and each case shall be reviewed on its own merits.

1. Project Information:

Date: 01/24/22 Project Number: 21119664

Site Address: 7802 Willow St. Houston, TX 77088

Key Map #: _____

City Council District: B

Street Type: (Check One)

WP Streets TOD Streets Other Streets

2. Contacts:

Applicant’s Name: Kevin T. Bingham

Phone Number: 832.394.6166 (office) 281.757.2790 (mobile)

E-mail address: Kevin.Bingham@houstontx.gov

3. Proposed Standard Modification:

Sidewalk

Street(s) where the subject sidewalk is located: Willow St.

Required sidewalk width: 5' Proposed sidewalk width: 0'

Safety Buffer

Street(s) where the subject safety buffer is located:

Required safety buffer width: 4' Proposed safety buffer width: 0'

To qualify for an approval under this section, the applicant must meet criteria below:

Statement of Facts:

(1) The proposed standard modification meets one or more of the following:

- a. Pedestrian pathways or sidewalks exist within the immediate vicinity of the public street that provide reasonably sufficient access and connectivity for public pedestrian use; OR



05/10/22
REVIEWED FOR COMPLIANCE
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b. *The characteristics of existing lawfully permitted development, land uses, or other physical conditions within the immediate vicinity of the public street create unsafe conditions related to the practical use of the sidewalk that is otherwise contrary to sound public policy; OR*

The space between the high bank line and the existing road varies between 1'-11" and 3'-7".

c. *The cost of the standard sidewalk requirement is disproportionate to the total cost of the action prompting the applicability of this article under section 40-522 of this Code and the development will not contribute to an increase in pedestrian traffic or otherwise create an adverse impact to existing pedestrian accessibility within the immediate vicinity;*

(2) *The circumstances supporting the approval are not the result of hardship created or imposed by the applicant;*

True

(3) *The granting of the approval would create an alternative that furthers the intent and purposes of this article.*

True, sidewalks at this part of the street would not meet safety requirements.

4. Submittal Requirements:

- Completed application form
- Harris County Appraisal District (HCAD) record for all properties with developments that includes lease agreements for off-site parking
- A complete site plan showing the location and width of the proposed sidewalk
- Pay the Non-Refundable Fee of \$1144 per Statute: 40-556(c)

Submit completed applications to:

Planning and Development Department

1002 Washington Avenue, 3rd Floor

Houston, TX 77002 or

by email to: PD.sidewalkandrealm@houstontx.gov

Contact the Planning and Development Department at (832) 394-8849 with any questions or to schedule a meeting prior to submitting an application. More information can be found on www.houstontx.gov/planning/DevelopRegs/

MINIMUM F.F.E IS SET AT 85.6' BASED ON THE C.O.H REQUIREMENTS OF 12" ABOVE NEAREST SANITARY MANHOLE. F.F.E FOR THIS PROPERTY HAS BEEN SET BASED ON SURVEYS PROVIDED TO BCWORKSHOP BY SUB-CONTRACTORS OF CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND SETTING FINAL ACTUAL F.F.E IN COMPLIANCE WITH ALL PROGRAM REQUIREMENTS BEFORE BEGINNING WORK. BC IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY OR ANY UNKNOWN FIELD CONDITIONS AND ASSUMES NO RESPONSIBILITY FOR FINAL F.F.E. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCY IS FOUND

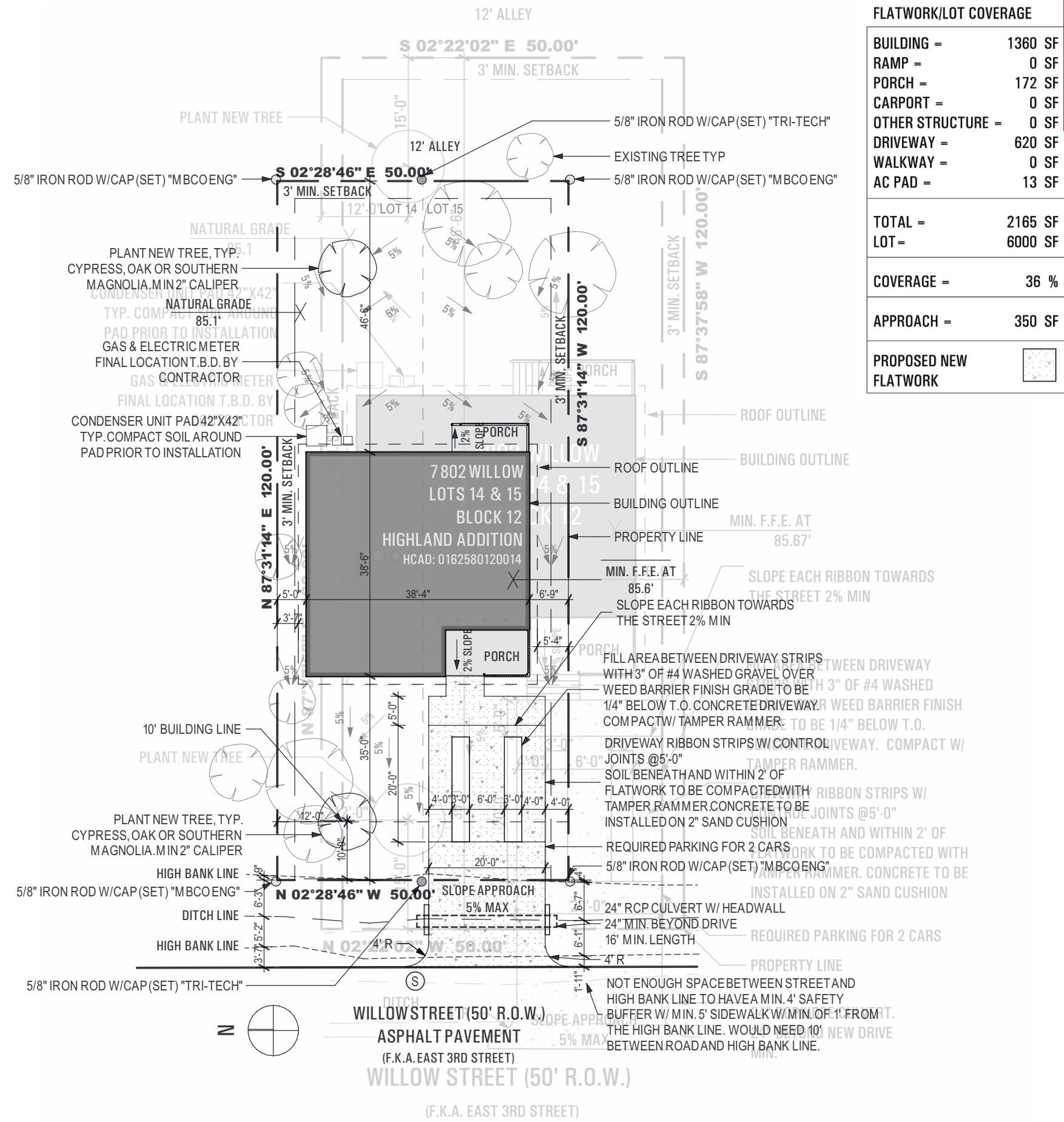
KEY	COMMON NAME	QTY	SIZE	SPACING	NOTES
	LOCAL SOD	9	PALLET 1=450 SF	..	INSTALL SOD TO COVER ENTIRE SITE
○	TREE	2	MIN 2" CALIPER	..	LIVE OAK
○	SHRUB	0	1 GALLON	12"-24"	CONTRACTOR TO SELECT FROM CITY OF HOUSTON SHRUB LIST

PLANTING

- ALL PLANTS AND SOD SHALL BE NURSERY BROWN, MATCH RESPECTIVELY, AND BE FULL & WELL ROOTED.
- SPREAD TOPSOIL TO A DEPTH OF MINIMUM 2 INCHES OVER ENTIRE AREA TO BE SODDED. LAY SOD CLOSELY KNIT TOGETHER WITH NO OPEN JOINTS VISIBLE, AND PIECES NOT OVERLAPPED. STAGGER SOD UNITS TO AVOID CONTINUOUS SEAMS. LAY SMOOTH AND FLUSH WITH ADJOINING GRASS AREAS, PAVING, AND TOP SURFACES OF CURBS. SOIL TO BE WATERED PRIOR TO INSTALLING SOD. ROLL SOD WITH LIGHT ROLLER AFTER INSTALLATION.
- CONTRACTOR TO NOTIFY OWNER OF FINAL SELECTION AND LOCATION FOR TREES AND SHRUBS.
- PROPERTY MUST HAVE FINAL GRADE SAND BEFORE LANDSCAPING
- TRIM (E) TREE AWAY FROM HOUSE, WHERE APPLICABLE

SITE NOTES

- THIS PROPERTY LIES WITHIN FLOOD ZONE "X" ACCORDING TO F.I.R.M. MAP NO. 48201C. BASE FLOOD ELEVATION IS APPROXIMATELY 83.53' (NAVD 1988, 2001 ADJUSTMENT)
- VERTICAL DATUM IS NAVD 1988, 2001 ADJUSTMENT. ELEVATIONS SHOWN ARE 2001 ADJUSTMENT.
- SITE DRAWINGS ARE FOR REFERENCE AND LOCATION OF HOUSE FOOTPRINT AND FLATWORK IN RELATION TO THE PROPERTY LINE.
- EXISTING TREES & GROUND WITHIN TREE DRIP LINES TO BE MINIMALLY DISTURBED. BEFORE ANY DEMOLITION OR CONSTRUCTION IS TO OCCUR ROOT PRUNE TREE ONLY ON SIDES ADJACENT TO WHERE CONSTRUCTION WILL TAKE PLACE. BEFORE ANY DEMOLITION OR CONSTRUCTION IS TO OCCUR PROTECTIVE FENCING SHALL BE PLACED ALONG THE ROOT PRUNE LINE WHERE PRUNING HAS OCCURRED AND ALONG THE DRIP LINE OF THE TREE WHERE NO ROOT PRUNING OCCURRED. THE AREA WITHIN TREE DRIP LINES SHALL NOT BE USED FOR PARKING, WASTE DISPOSAL OR STORAGE. THE CONTRACTOR WILL FOLLOW ALL TREE ORDINANCE LISTED BY THE CITY OF HOUSTON. CONTRACTOR TO RECEIVE APPROVAL FROM ARCHITECT BEFORE REMOVING OR TRIMMING TREES
- ALL EXTERIOR FLATWORK TO HAVE A 1% MIN. / 2% MAX SLOPE AWAY FROM THE BUILDING. PORCH SLAB TO HAVE UNIFORM SLOPE. CONCRETE NOT TO WARP AT DRIVEWAYS.
- FINISH GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET (5% SLOPE). FINISH GRADE SHALL MEET ALL APPLICABLE CODES. NOWHERE ON THE PROPERTY SHALL THERE BE STANDING WATER THAT CAUSES A PUBLIC HEALTH HAZARD. RUNOFF SHALL NOT ENCR OACH ON ADJACENT PROPERTY TO CREATE A HAZARD OR DRAINAGE ISSUE.
- REFER TO SURVEY FOR ADDITIONAL INFORMATION
- WHERE NEW CURB CUT IS REQUIRED, RADIUS TO BE LOCATED ENTIRELY WITHIN PROPERTY LINE
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES



FLATWORK/LOT COVERAGE

BUILDING =	1360 SF
RAMP =	0 SF
PORCH =	172 SF
CARPORT =	0 SF
OTHER STRUCTURE =	0 SF
DRIVEWAY =	620 SF
WALKWAY =	0 SF
AC PAD =	13 SF
TOTAL =	2165 SF
LOT =	6000 SF
COVERAGE =	36 %
APPROACH =	350 SF

PROPOSED NEW FLATWORK

City of Houston

21119664
REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to applicable code and regulations.

A SERIES
3 BED 2 BATH
HOUSTON, TX

Architect
bcWORKSHOP
2007 Commerce Street
Houston, TX 77002
T 713-422-2601

REVISIONS: DATE

PRICING	09-16-2019
ISSUE FOR PERMIT	04-26-2021

DRAWN BY: EMD

bcWORKSHOP
SITE PLAN

A101

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21119664

REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
 05/10/22



**PLANNING &
 DEVELOPMENT
 DEPARTMENT**

Permit No.: 21119664

Date: 04/13/2022

Address: 7802 Willow Street

APPLICANT COMPANY	CONTACT PERSON	PHONE NUMBER	EMAIL ADDRESS
Building Community Workshop	Alison Katz	713-422-2601	alison@bcworkshop.org
PROPERTY ADDRESS	PERMIT NUMBER	DATE	
7802 Willow Street	21119664	04/14/2022	

SIDEWALK MODIFICATION REPORT

Staff's Recommendation: **Approve**

Staff's basis of recommendation: The planning official, in collaboration with the office of city engineers (OCE) and the mayor's office of disabilities (MOD), may approve a modification to the standards of section 40-555 of the code of ordinances in accordance with 40-556. Granting a modification under 40-556 does not set a precedent, and each case shall be reviewed on its own merits.

The applicant is proposing to construct a new single-family residence on the subject site. The applicant has requested not to provide the required sidewalk along Willow a local street, citing existing characteristics of the neighborhood and existing permitted physical conditions; as the justification not to provide the required sidewalk. The applicant has provided documentation that meets sec 40-556 (e). The characteristics of existing permitted development, land uses, or other physical conditions within the immediate vicinity of the public street create unsafe conditions related to the practical use of the sidewalk that is otherwise contrary to sound public policy. Along Willow Street, the required 5' sidewalk cannot be provided due to an existing open ditch.

After close examination by the sidewalk and pedestrian realm review committee. The committee recommends granting the modification not to provide the required sidewalk along 7802 Willow Street.

This approval waives the sidewalk requirement along Willow Street for the proposed single-family residence permit number (21119664).

Department use only

ACTION:

- APPROVED**
- APPROVED SUBJECT TO**
- DISAPPROVED**

H. Bodrugally *4.18.2022*

 DIRECTOR OR DESIGNEE DATE

Applications or questions should be directed to the attention of Kim Bowie, 832-394-9522.

Note: This form must be attached to the building permit.



BUILDING CODE ENFORCEMENT
GRADING PERMITS FOR EXCAVATION
AND FILL WORKSHEET

City of Houston
REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
05/10/22

Appendix E of the Houston Adopted 2012 International Building Code as Amended specifies permit requirements for grading a lot of any size on private property. Section 1 – Identifies when a separate “Grading Permit” is required. Section 2 – Identifies the type of grading permit required, “Engineered Grading or Regular Grading”, when a “Geotechnical Report” is required in the plans, and when a “Storm Availability Letter” is required to be attached to the submittal documents.

Grading and/or excavation permits is required for any proposed work that includes excavations, grading, or fill, or combination thereof, and includes but is not limited to the following permit types:

- Excavation Permit(s) – Work proposing the mechanical removal or relocation of earth material.
Fill Permit(s) – Work proposing deposit(s) and/or relocation of earth material placed by artificial means.

NOTE: THERE SHALL BE NO FILL LOCATED WITHIN A PUBLIC RIGHT-OF-WAY

SECTION 1: Are Permits and Plans Required?

A Grading Excavation permit and plans is required if “Yes” is answered to any question 1 through 4.

- 1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent or contiguous property?
2) When excavating below finish grade for basements and footings of a building, retaining wall or other structures authorized by a valid building permit, will there be an unsupported excavation height greater than 5-feet after completion of such structure?
3) Will there be any excavation greater than 5-feet in depth?
4) Will the excavation create a cut slope 2-feet or more in height but less than 5-feet, with a slope steeper than 1-unit vertical in 1.5-units horizontal? (66.7% slope)

A Grading Fill permit and plans is required if “Yes” is answered to any question 5 through 10.

(50 cubic yards = 1,350 square feet @ 1-foot depth)

- 5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
6) Does the scope of work include fill that is 3-feet or more in depth?
7) Does the scope of work include fill greater than 1-foot but less than 3-feet, with a slope that is equal to or greater than 1-unit vertical in 5-units horizontal? (20% slope)
8) Does the scope of work include fill that is greater than 50 cubic yards on any one lot?
9) Does the proposed fill obstruct any natural and/or previously constructed drainage course?
10) Is proposed fill greater than 1-foot in depth and intended to support a structure, “now or in the future”?

SECTION 2: What Type of Permits and Plans Are Required?

NOTE: When the building official has cause to believe that site geologic factors exist, grading will be required to conform to recommended grading, inspection, and testing by a Texas Professional Engineer.

Engineered grading plans are required if “Yes” is answered to question 11. Plans shall be designed, sealed, signed, and dated by a Texas professional engineer. These grading permits shall be designated as “Engineered Grading”.

(1,000 cubic yards = 27,000 square feet, @ 1-foot depth)

- 11) Does the proposed project include an aggregate grading in excess of 1,000 cubic yards?

Grading plans shall be designated “Regular Grading” if “Yes” is answered on question 12: (no engineered plans required.)

- 12) Is the grading less than or equal to 1,000 cubic yards?

A Geotechnical Report is required if “Yes” is answered to any one of questions 13, 14 or 15:

- 13) Will there be any cut slopes steeper than 1-unit vertical in 2-units horizontal (50% slopes)?
14) Is there any grading that requires an engineered design? (Reference item 11 above and Chapter 19 of the City Code.)
15) Does the site include any special geological features and/or considerations?

- 16) Is the property located in the 100- or 500-year flood plain? Review by Flood Department required!

A Storm Availability Letter is required to be included with the submitted documents if “Yes” is answered to questions 16 or 17:

- 17) Does the scope of work to lots exceeding 15,000 square feet, include any new impervious cover?
18) Does the project include connection to the city’s public storm sewer system?

ADDRESS 7802 WILLOW STREET PROJECT # DATE 11/9/2021

PRINT NAME OF APPLICANT KEVIN BINGHAM SIGNATURE Kevin Bingham

SERIES A, OPTION 2

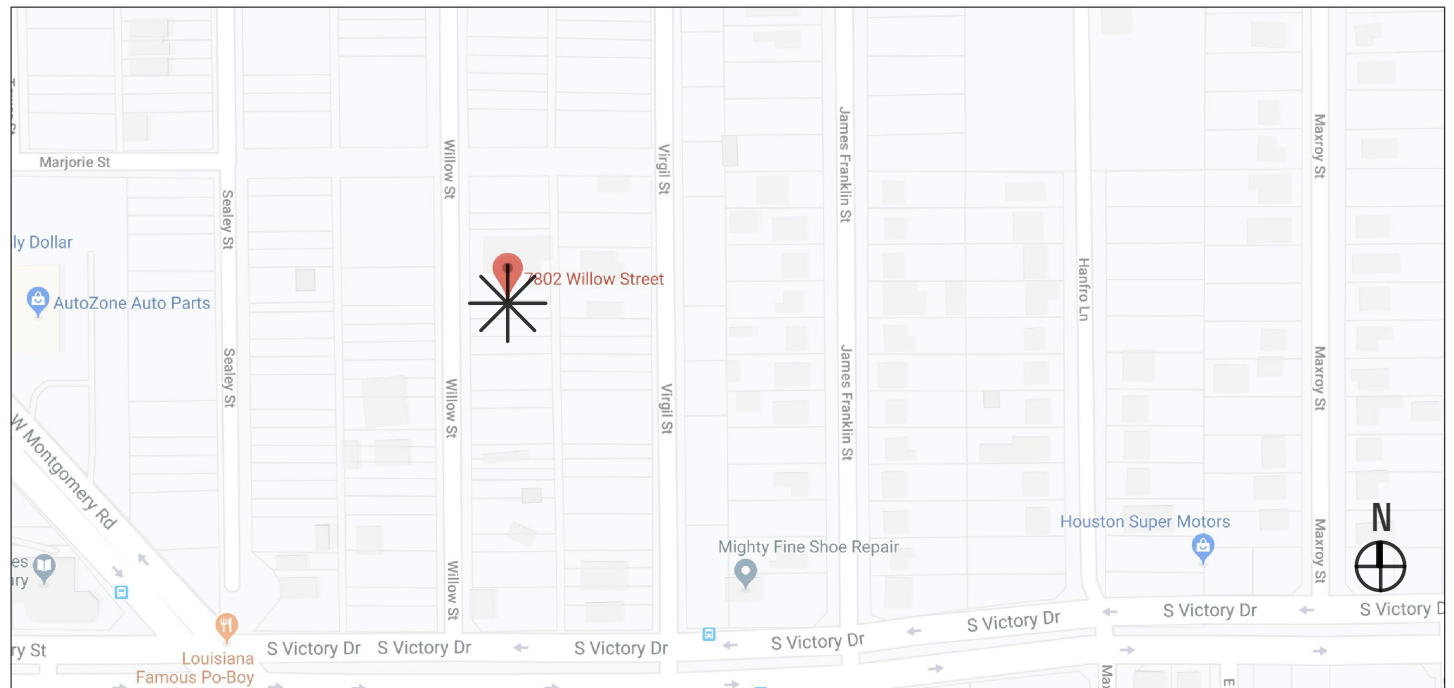
7802 WILLOW ST, HOUSTON, TX 77088

3 BEDROOM | 2 BATH

A SERIES
 3 BED - 2 BATH
 HOUSTON, TX

Architect
 bcWORKSHOP

, TX 7
 T



PROJECT INFO	BUILDING TYPE:	SINGLE FAMILY	MINIMUM REQUIRED SETBACKS:	FRONT YARD: 0'-0"
	SITE AREA:	6,000 SQ. FT.		SIDE YARD 3'-0"
	BUILDING AREA:	CONDITIONED: 1,334 SQ FT UNCONDITIONED: 182 SQ FT TOTAL: 1,516 SQ FT	BUILDING CODES:	REVIEWED UNDER 2012 IRC WITH HOUSTON AMENDMENTS, AND IECC 2015
				REAR YARD: 3'-0"

SHEET INDEX	A000	COVER	A403	REFLECTED CEILING & ELECTRICAL PLAN
	A101	SITE PLAN	A501	EXTERIOR ELEVATIONS
	-	SURVEY	A601	DETAILS
	-	HCDD-1	A602	DETAILS
	-	HCDD-2	A603	CITY OF HOUSTON DETAILS
	-	HCDD-3		
	A204	DITCH NOTES		
	A301	FINISH SCHEDULE		
	A302	ACCESSIBILITY OPTIONS		
	A401	FLOOR PLAN		
	A402	ROOF PLAN & ROOF FRAMING PLAN		

- GENERAL NOTES**
1. INFORMATION IS TYPICALLY GIVEN ONLY ONCE THROUGHOUT THE DOCUMENTS.
 2. ALL PLAN DIMENSIONS, U.N.O., SHALL BE TAKEN TO EDGE OF WALL FRAMING. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CONFIRMING ACTUAL DIMENSION MEASUREMENTS.
 3. ONLY CRITICAL DIMENSIONS ARE SHOWN.
 4. CEILING SCOPE IS NOTED ON THE REFLECTED CEILING PLAN SHEET. REFER STRUCTURAL DRAWINGS FOR FRAMING & STRUCTURAL DETAILS.
 5. ALL MATERIALS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 6. THIS HOME, AS DESIGNED BY BCWORKSHOP, MEETS THE TEXAS GOVERNMENT CODE 2306.514 AND OTHER PROGRAM REGULATIONS.
 7. "OR APPROVED EQUAL" SHALL APPLY TO ALL MATERIAL AND SPECIFICATION CALL OUTS.
 8. STRIKETHROUGHS INDICATE ITEM(S) NOT TO BE USED.
 9. NO CHANGES SHALL BE PERMITTED TO THIS DESIGN WITHOUT THE ARCHITECT'S WRITTEN CONSENT. IF PLANS, ELEVATIONS, OR CONSTRUCTION DETAILS REQUIRE MODIFICATION DUE TO SITE CONDITIONS, THE CONTRACTOR MUST CONTACT THE ARCHITECT BEFORE PROCEEDING WITH WORK. IN NO EVENT WILL BCWORKSHOP BE HELD LIABLE FOR INCORRECT WORK OR UNAUTHORIZED DESIGN CHANGES.
 10. CONSTRUCTION DOCUMENT SET MUST BE ACCOMPANIED WITH ARCHITECTURAL LETTER AND STRUCTURAL LETTER TO BE AUTHORIZED FOR CONSTRUCTION USE.

ENERGY CODE NOTES	A.F.F.	ABOVE FINISH FLOOR	MFR	MANUFACTURER	T.B.D.	TO BE DETERMINED
	CLR	CLEAR	MIN	MINIMUM	T.O.	TOP OF
	DWG	DRAWING	O.C.	ON CENTER	TYP	TYPICAL
	ELEC	ELECTRICAL	P.T.	PRESSURE TREATED	U.N.O.	UNLESS NOTED OTHERWISE
	F.F.	FINISH FLOOR	PTD	PAINTED	V.I.F.	VERIFY IN FIELD
	G.W.B.	GYPSUM WALL BOARD	REF	REFERENCE	WD	WOOD
	HW	HARDWARE	SPECS	SPECIFICATIONS	(E)	EXISTING
	INT	INTERIOR	STD	STAINED	(N)	NEW

1. ALL WINDOWS SHALL BE VINYL FRAMED, DOUBLE PANED. SEE WINDOW SCHEDULE AND NOTES.
2. HEATING AND COOLING SYSTEMS SHALL COMPLY WITH CITY OF HOUSTON HVAC INSTALLATION REQUIREMENTS AND THE STATE ENERGY CODE.
3. INSULATION FOR SUPPLY DUCTS IN ATTIC SHALL BE R-8 MIN. PIPE INSULATION SHALL BE R-8 MIN.
4. GENERAL CONTRACTOR SHALL INSTALL ONE (1) 18 SEER HVAC SYSTEM. SEE SPECIFICATIONS.

REVISIONS:	DATE
PRICING	09-16-2019
ISSUE FOR PERMIT	04-26-2021

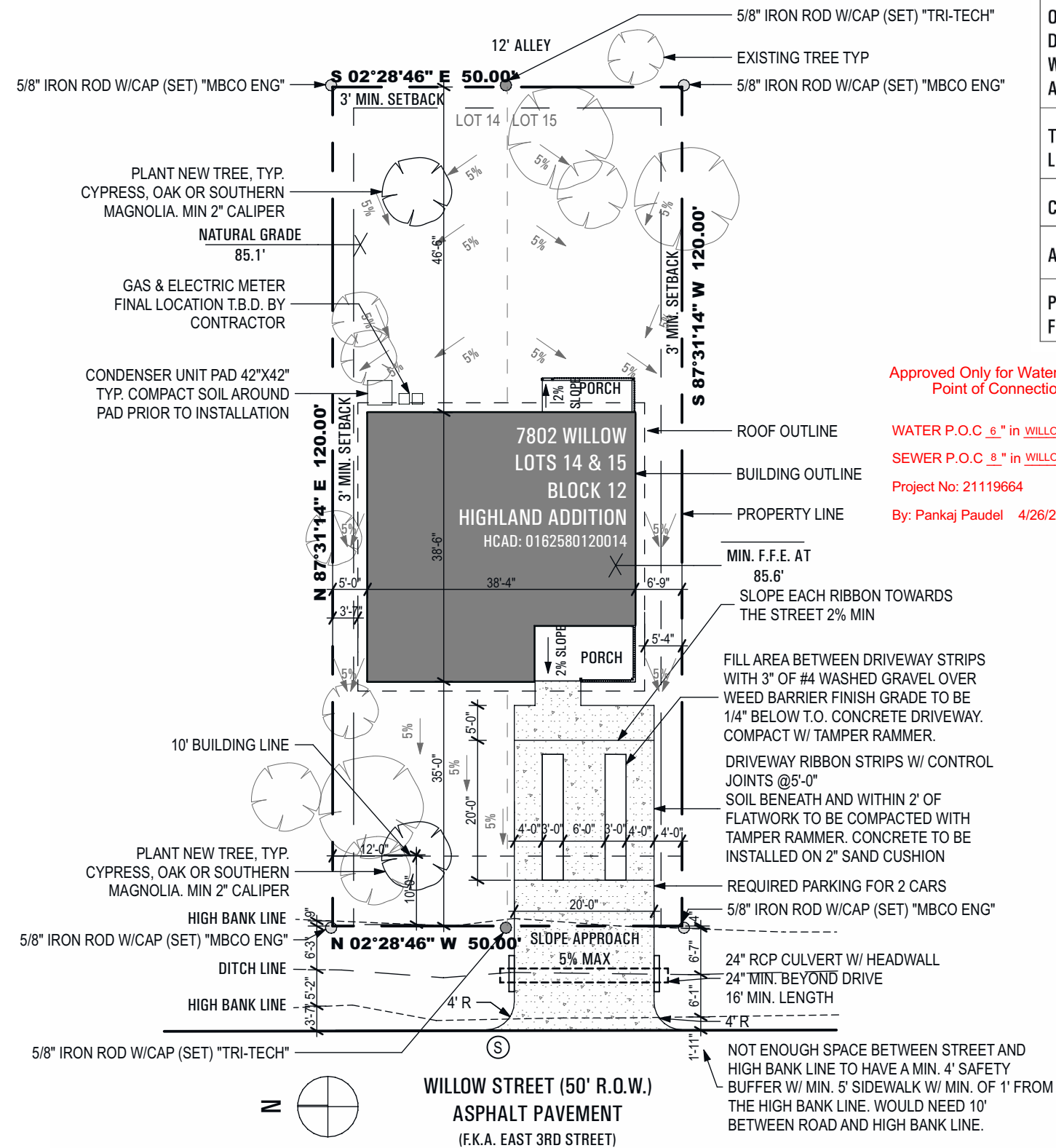
DRAWN BY: EMD

MINIMUM F.F.E IS SET AT 85.6' BASED ON THE C.O.H REQUIREMENTS OF 12" ABOVE NEAREST SANITARY MANHOLE. F.F.E FOR THIS PROPERTY HAS BEEN SET BASED ON SURVEYS PROVIDED TO BCWORKSHOP BY SUB-CONTRACTORS OF CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND SETTING FINAL ACTUAL F.F.E IN COMPLIANCE WITH ALL PROGRAM REQUIREMENTS BEFORE BEGINNING WORK. BC IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY OR ANY UNKNOWN FIELD CONDITIONS AND ASSUMES NO RESPONSIBILITY FOR FINAL F.F.E. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCY IS FOUND

KEY	COMMON NAME	QTY	SIZE	SPACING	NOTES
	LOCAL SOD	9	PALLET 1=450 SF	..	INSTALL SOD TO COVER ENTIRE SITE
○	TREE	2	MIN 2" CALIPER	..	LIVE OAK
○	SHRUB	0	1 GALLON	12"-24"	CONTRACTOR TO SELECT FROM CITY OF HOUSTON SHRUB LIST

- ALL PLANTS AND SOD SHALL BE NURSERY BROWN, MATCH RESPECTIVELY, AND BE FULL & WELL ROOTED.
- SPREAD TOPSOIL TO A DEPTH OF MINIMUM 2 INCHES OVER ENTIRE AREA TO BE SODDED. LAY SOD CLOSELY KNIT TOGETHER WITH NO OPEN JOINTS VISIBLE, AND PIECES NOT OVERLAPPED. STAGGER SOD UNITS TO AVOID CONTINUOUS SEAMS. LAY SMOOTH AND FLUSH WITH ADJOINING GRASS AREAS, PAVING, AND TOP SURFACES OF CURBS. SOIL TO BE WATERED PRIOR TO INSTALLING SOD. ROLL SOD WITH LIGHT ROLLER AFTER INSTALLATION.
- CONTRACTOR TO NOTIFY OWNER OF FINAL SELECTION AND LOCATION FOR TREES AND SHRUBS.
- PROPERTY MUST HAVE FINAL GRADE SAND BEFORE LANDSCAPING
- TRIM (E) TREE AWAY FROM HOUSE, WHERE APPLICABLE

- THIS PROPERTY LIES WITHIN FLOOD ZONE "X" ACCORDING TO F.I.R.M. MAP NO. 48201C. BASE FLOOD ELEVATION IS APPROXIMATELY 83.53' (NAVD 1988, 2001 ADJUSTMENT)
- VERTICAL DATUM IS NAVD 1988, 2001 ADJUSTMENT. ELEVATIONS SHOWN ARE 2001 ADJUSTMENT.
- SITE DRAWINGS ARE FOR REFERENCE AND LOCATION OF HOUSE FOOTPRINT AND FLATWORK IN RELATION TO THE PROPERTY LINE.
- EXISTING TREES & GROUND WITHIN TREE DRIP LINES TO BE MINIMALLY DISTURBED. BEFORE ANY DEMOLITION OR CONSTRUCTION IS TO OCCUR ROOT PRUNE TREE ONLY ON SIDES ADJACENT TO WHERE CONSTRUCTION WILL TAKE PLACE. BEFORE ANY DEMOLITION OR CONSTRUCTION IS TO OCCUR PROTECTIVE FENCING SHALL BE PLACED ALONG THE ROOT PRUNE LINE WHERE PRUNING HAS OCCURRED AND ALONG THE DRIP LINE OF THE TREE WHERE NO ROOT PRUNING OCCURRED. THE AREA WITHIN TREE DRIP LINES SHALL NOT BE USED FOR PARKING, WASTE DISPOSAL OR STORAGE. THE CONTRACTOR WILL FOLLOW ALL TREE ORDINANCE LISTED BY THE CITY OF HOUSTON. CONTRACTOR TO RECEIVE APPROVAL FROM ARCHITECT BEFORE REMOVING OR TRIMMING TREES
- ALL EXTERIOR FLATWORK TO HAVE A 1% MIN. / 2% MAX SLOPE AWAY FROM THE BUILDING. PORCH SLAB TO HAVE UNIFORM SLOPE. CONCRETE NOT TO WARP AT DRIVEWAYS.
- FINISH GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET (5% SLOPE). FINISH GRADE SHALL MEET ALL APPLICABLE CODES. NOWHERE ON THE PROPERTY SHALL THERE BE STANDING WATER THAT CAUSES A PUBLIC HEALTH HAZARD. RUNOFF SHALL NOT ENCRoACH ON ADJACENT PROPERTY TO CREATE A HAZARD OR DRAINAGE ISSUE.
- REFER TO SURVEY FOR ADDITIONAL INFORMATION
- WHERE NEW CURB CUT IS REQUIRED, RADIUS TO BE LOCATED ENTIRELY WITHIN PROPERTY LINE
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES



FLATWORK/LOT COVERAGE

BUILDING =	1360 SF
RAMP =	0 SF
PORCH =	172 SF
CARPORT =	0 SF
OTHER STRUCTURE =	0 SF
DRIVEWAY =	620 SF
WALKWAY =	0 SF
AC PAD =	13 SF

TOTAL =	2165 SF
LOT =	6000 SF

COVERAGE =	36 %
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APPROACH =	350 SF
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PROPOSED NEW FLATWORK	
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Approved Only for Water/Sewer Point of Connection

WATER P.O.C. 6" in WILLOW ST

SEWER P.O.C. 8" in WILLOW ST

Project No: 21119664

By: Pankaj Paudel 4/26/2022

01 SITE PLAN

1" = 20'



A SERIES
3 BED - 2 BATH
HOUSTON, TX

Architect
bcWORKSHOP
2007 Commerce Street
Houston, TX 77002
T 713-422-2601

REVISIONS:	DATE
PRICING	09-16-2019
ISSUE FOR PERMIT	04-26-2021

DRAWN BY: EMD

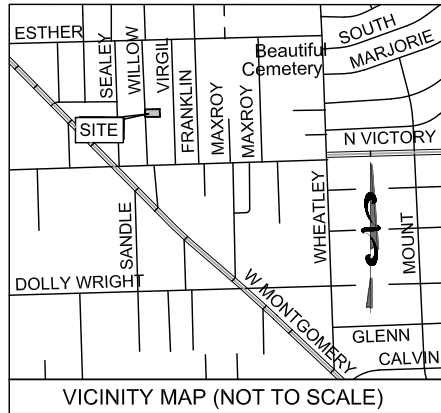
bcWORKSHOP
SITE PLAN

A101

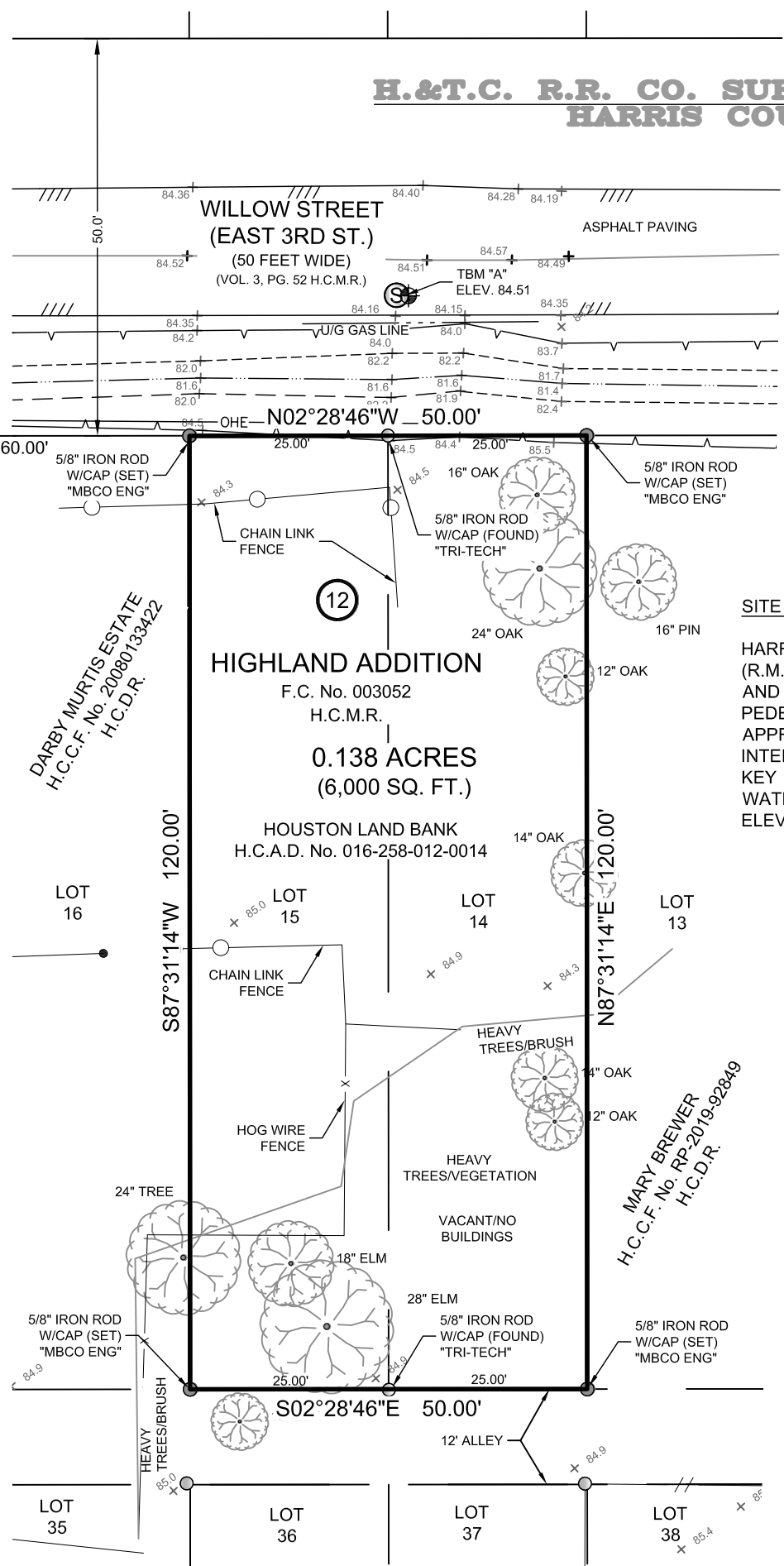
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21119664
REVIEWED FOR COMPLIANCE
with the City of Houston
Ordinance 168500, which
requires the applicant to
submit a site plan and
survey to the City of
Houston for review and
approval.



H.&T.C. R.R. CO. SURVEY SEC. 10, A-1068 HARRIS COUNTY, TEXAS



NOTES:

1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. EASEMENTS AND RESTRICTIONS MAY EXIST WHICH ARE NOT REFERENCED HEREON; NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS OR RESTRICTIONS OF RECORD HAS BEEN PERFORMED BY MBCO ENGINEERING LLC.
2. CORNERS HAVE BEEN STAKED WITH 5/8-INCH IRON RODS WITH CAPS STAMPED "MBCO ENG" UNLESS NOTED OTHERWISE.
3. ALL BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE NO. 4204. COORDINATES REFERENCED HEREON ARE GRID AND MAY BE CONVERTED TO SURFACE BY APPLYING THE FOLLOWING SCALE FACTOR OF 0.9999087908.
4. ANY FUTURE DEVELOPMENT OF THIS TRACT IS SUBJECT TO REQUIREMENTS PER CITY OF HOUSTON ORDINANCE NUMBER 99-262, WHICH STIPULATES PLATTING AND SETBACKS CONSTRAINTS. PROPOSED USAGE OF THIS TRACT WILL DETERMINE ACTUAL BUILDING SETBACK LINE(S) ALONG ANY ADJOINING STREETS. REFER TO CITY OF HOUSTON BUILDING CODES TO ESTABLISH MINIMUM PUBLISHED SETBACK REQUIREMENTS. ULTIMATELY THE CITY OF HOUSTON PLANNING COMMISSION WILL DETERMINE REQUIRED SETBACKS UPON REVIEW OF PLANS OR PLATS SUBMITTED TO SAID COMMISSION. THIS TRACT MAY REQUIRE PLATTING AS A CONDITION FOR RECEIVING BUILDING PERMITS.
5. THIS TRACT LIES IN ZONE "X" (UNSHADED), DESIGNATED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM COMMUNITY & PANEL NUMBER 48201C0470L, HAVING AN EFFECTIVE DATE OF JUNE 18, 2007.
6. THERE ARE NO NATURAL DRAINAGE COURSES ON THE SUBJECT TRACT.
7. MINERAL RIGHTS AND/OR LEASE RIGHTS ARE NOT SURVEY RELATED AND THEREFORE NOT A PART OF THIS SURVEY.
8. SURFACE OR SUBSURFACE FAULTING, HAZARDOUS WASTE OR OTHER ENVIRONMENTAL ISSUES HAVE NOT BEEN ADDRESSED WITHIN THE SCOPE OF THIS SURVEY
9. FENCE LINES, TREE DRIP LINES AND/OR LIMITS OF VEGETATION/WOODED AREAS SHOWN HEREON ARE GRAPHIC, WITH DIMENSIONED TIES SHOWN AT SPECIFIC LOCATIONS WHERE THEY WERE PHYSICALLY MEASURED; SAID LINES MAY MEANDER BETWEEN SAID LOCATIONS.
10. VERTICAL DATUM REFERENCED HEREON IS BASED ON NAVD88, GEOID 12B.

TEMPORARY BENCHMARK NOTE:

TBM "A": NORTH RIM OF SANITARY SEWER MANHOLE LOCATED IN EASTERLY ASPHALT PAVEMENT OF WILLOW STREET, WEST OF WEST LINE OF SUBJECT PARCEL ELEVATION = 84.51 FEET, NAVD88 (2001 ADJUSTMENT).

SITE BENCHMARK NOTE:

HARRIS COUNTY FLOODPLAIN REFERENCE MARK (R.M.) NO. 050185 IS A BRASS DISK STAMPED '050185', AND LOCATED IN THE CENTER OF A CONCRETE PEDESTRIAN BRIDGE OVER STREAM NO. E101-00-00, APPROXIMATELY 150 FEET NORTHEAST OF THE INTERSECTION OF BANJO AND REINGOLD STREETS. KEY MAP 412 U IN THE WHITE OAK BAYOU WATERSHED. ELEVATION = 83.53 FEET, NAVD88 (2001 ADJUSTMENT).

- LEGEND**
- A/C AIR CONDITIONER (HEAT PUMP)
 - FIRE HYDRANT
 - ⊗ GAS METER
 - IRF
 - MB MAILBOX
 - ⊙ SANITARY MANHOLE
 - ⊕ SERVICE POLE
 - ⊗ SHRUB
 - SIGN
 - ⊗ TREE (SIZE/TYPE AS SHOWN)
 - WM WATER METER
 - ⊕ WATER VALVE
 - ⊕ TBM (TEMPORARY BENCHMARK)
 - ⊕ BLOCK NUMBER
 - (C.M.) CONTROL MONUMENT
 - F.C. FILM CODE
 - H.C.C.F. HARRIS COUNTY CLERK'S FILE

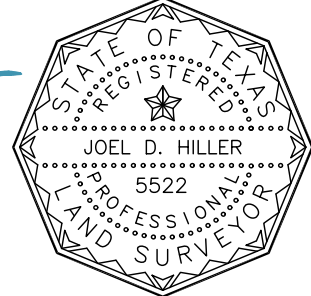
SOUTH VICTORY DRIVE
(RIGHT-OF-WAY VARIES)

DARBY MURTIS ESTATE
H.C.C.F. No. 20080133422
H.C.D.R.

MARY BREWER
H.C.C.F. No. RP-2019-92849
H.C.D.R.

I HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION ON JANUARY 18, 2021, AND THAT SAID SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS FOR LAND SURVEYS FOR A CATEGORY 6, CONDITION II STANDARD LAND SURVEY

Joel D. Hiller
JOEL D. HILLER
REGISTERED PROFESSIONAL
LAND SURVEYOR
TEXAS REGISTRATION NO. 5522



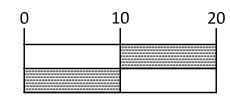
CATEGORY 6, CONDITION II
STANDARD LAND SURVEY OF
0.138 ACRES (6,000 SQ. FT.) SITUATED IN THE
H.&T.C. R.R. CO. SURVEY SEC. 10, A-1068
HARRIS COUNTY, TEXAS



1505 Highway 6 South
Suite 180
Houston, Texas 77077
TBPE Reg. No. F16850
TBPLS Reg. No. 10194112
Phone: 281-760-1656
www.mbcengineering.com

PROJECT No. 5-0086-2012	DATE: 01-19-2021
KEY MAP: 412 P	DRAWN BY: SP
FIELD BOOK: 218	CHECKED BY: GMATA
SCALE: 1" = 20'	DWG. No. 5-0086-2012(Topo)

GRAPHIC SCALE



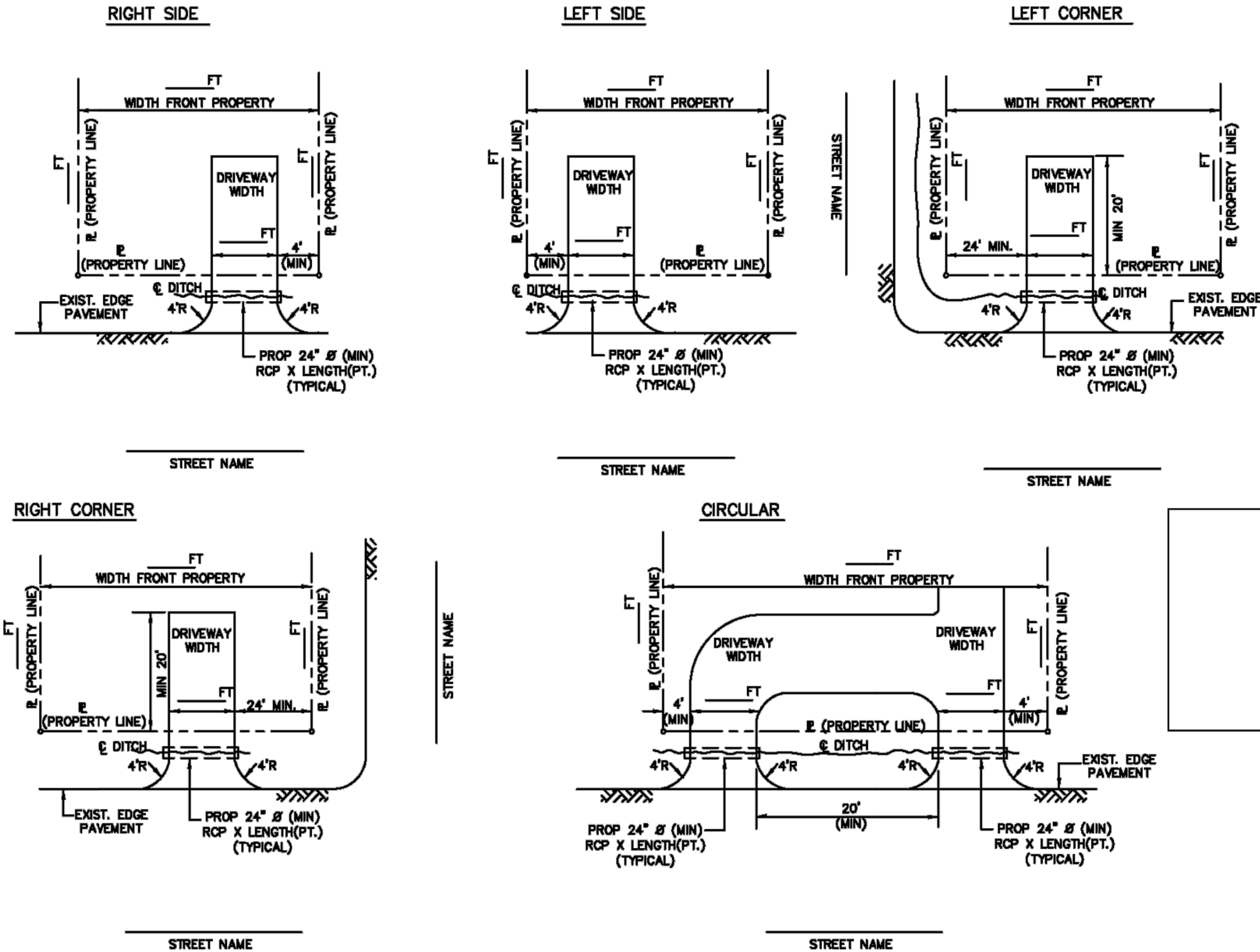
1 inch = 20 ft.

LEGAL DESCRIPTION

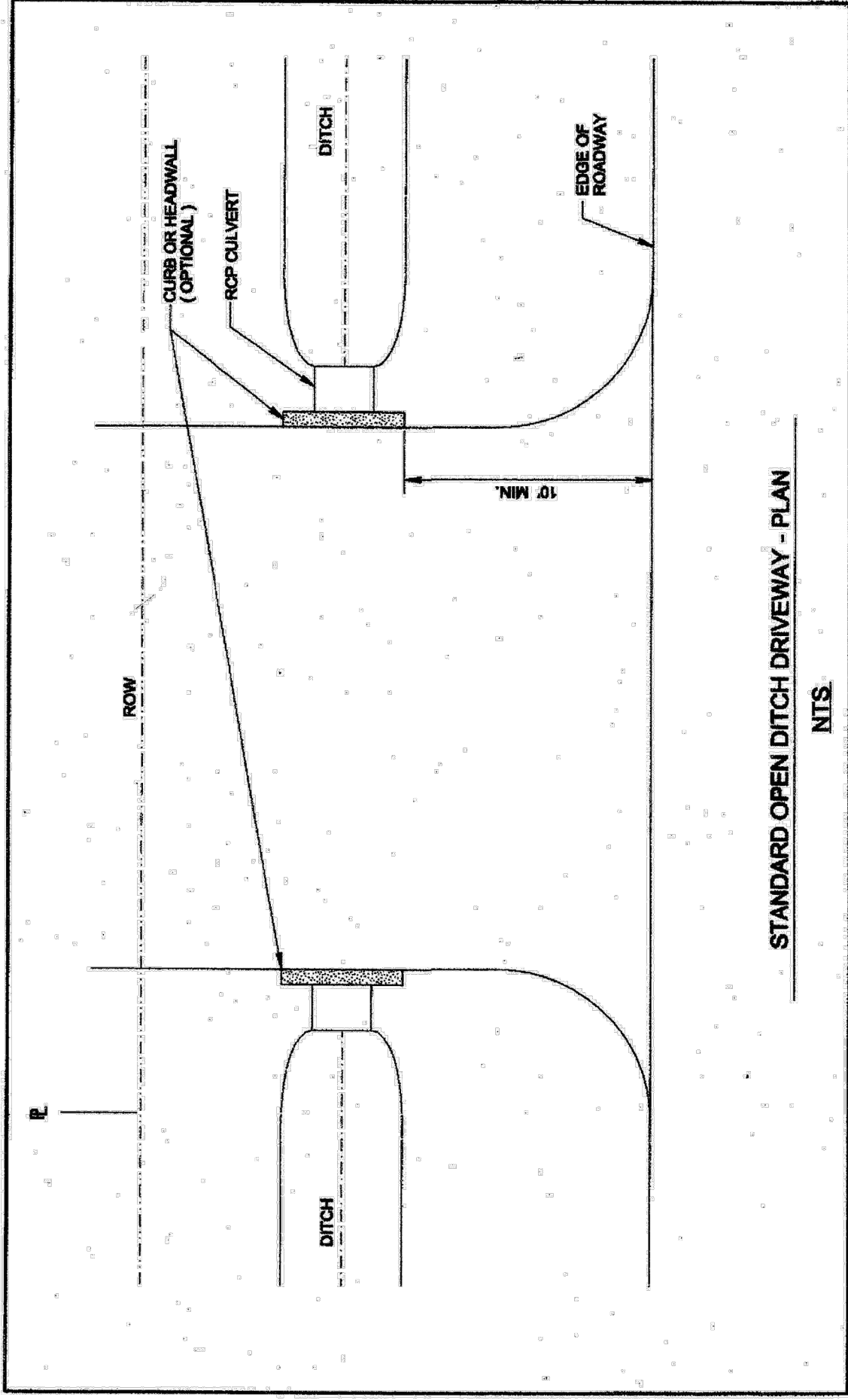
BEING ALL OF LOTS 14 & 15, BLOCK 12 OF HIGHLAND ADDITION, A SUBDIVISION OF RECORD IN HARRIS COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF FILED FOR RECORD UNDER FILM CODE NUMBER 003052 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.



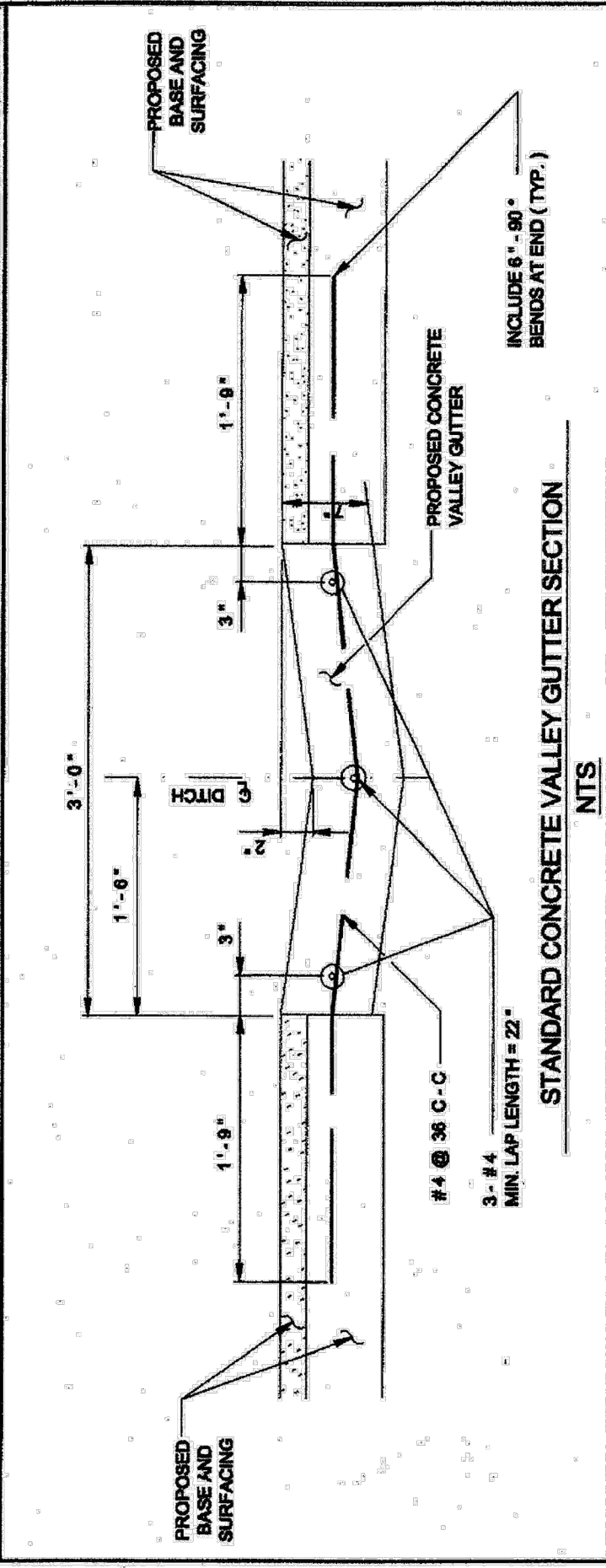
Residential: Driveway with Open Ditch



City of Houston Approval Stamp



STANDARD OPEN DITCH DRIVEWAY - PLAN
NTS



STANDARD CONCRETE VALLEY GUTTER SECTION
NTS



1. REINFORCED CONCRETE PIPE (RCP) CULVERTS AND CONCRETE VALLEY GUTTER GRADES SHALL BE SET BY CITY ENGINEER. PROFILE SHOWING THE PROPOSED AND EXISTING DITCH FLOWLINE WILL BE REQUIRED WHERE CONCRETE VALLEY GUTTERS ARE TO BE CONSTRUCTED IN LIEU OF CULVERTS.

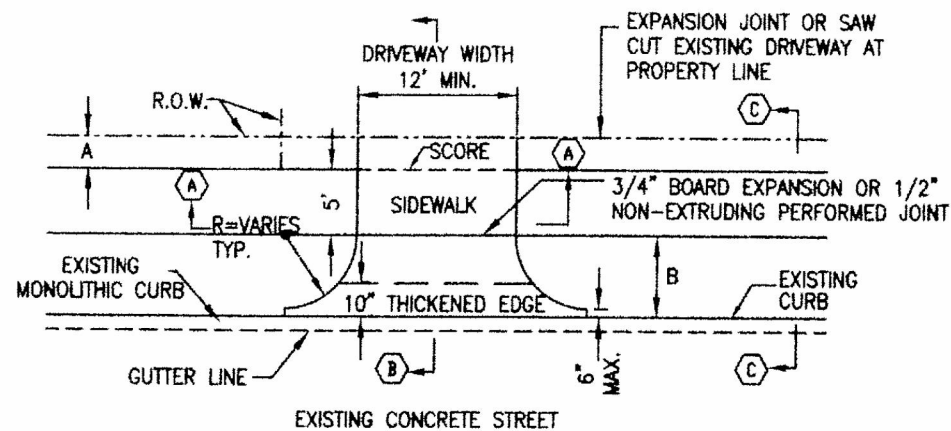
2. CULVERT SIZE WILL BE APPROVED BY CITY ENGINEER WITH 24" DIAMETER MINIMUM.

3. SPACING OF TYPE "D" OR "D-1" INLETS SHALL BE DETERMINED BY CITY ENGINEER. SEE DRAWING NO. 02632-07 FOR TYPE "D" OR DRAWING NO. 02632-08 FOR TYPE "D-1".

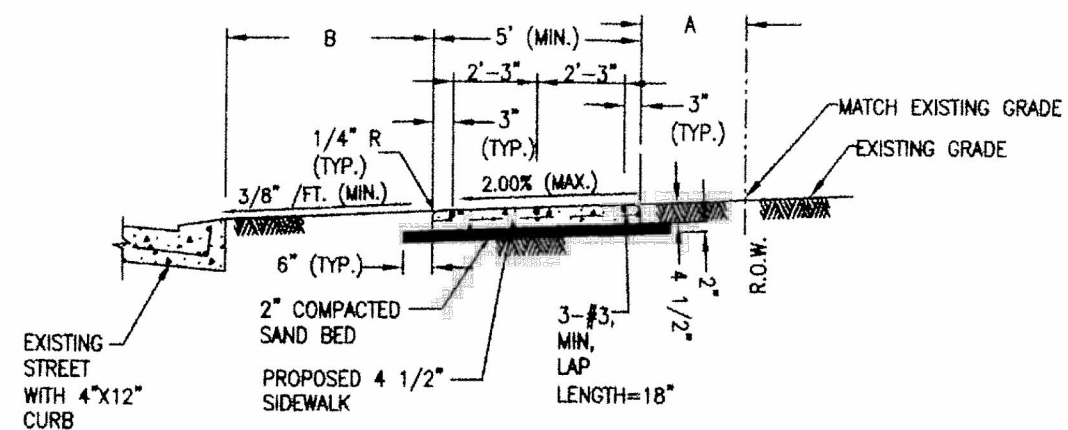
4. DRIVEWAY MAY BE CONCRETE, ASPHALT OR ANY OTHER MATERIAL WHICH WILL NOT PERMIT WIND OR WATERBORNE EROSION.

5. A 3-FOOT CONCRETE VALLEY GUTTER SECTION SHALL BE CONSTRUCTED THROUGH THE PROPOSED DRIVEWAY WHERE THE CITY ENGINEER DETERMINES THE INSTALLATION OF DITCH CULVERTS TO BE IMPRACTICAL DUE TO INSUFFICIENT DEPTH. THE VALLEY GUTTER SECTION WILL BE CONSTRUCTED OF 5-1/2 SACK CEMENT PER CUBIC YARD OF CONCRETE.

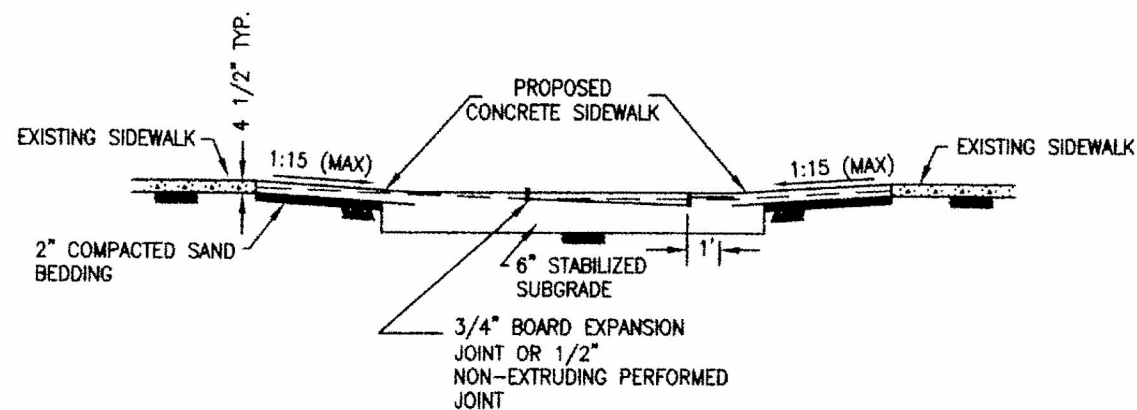
CITY OF HOUSTON	
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING	
DRIVEWAYS WITH CULVERTS OR VALLEY GUTTERS ON OPEN DITCH TYPE STREETS (NOT TO SCALE)	
APPROVED BY  CITY ENGINEER	APPROVED BY  DIRECTOR OF PUBLIC WORKS AND ENGINEERING
EFF DATE: OCT-01-2009	DWG NO: 02754-02



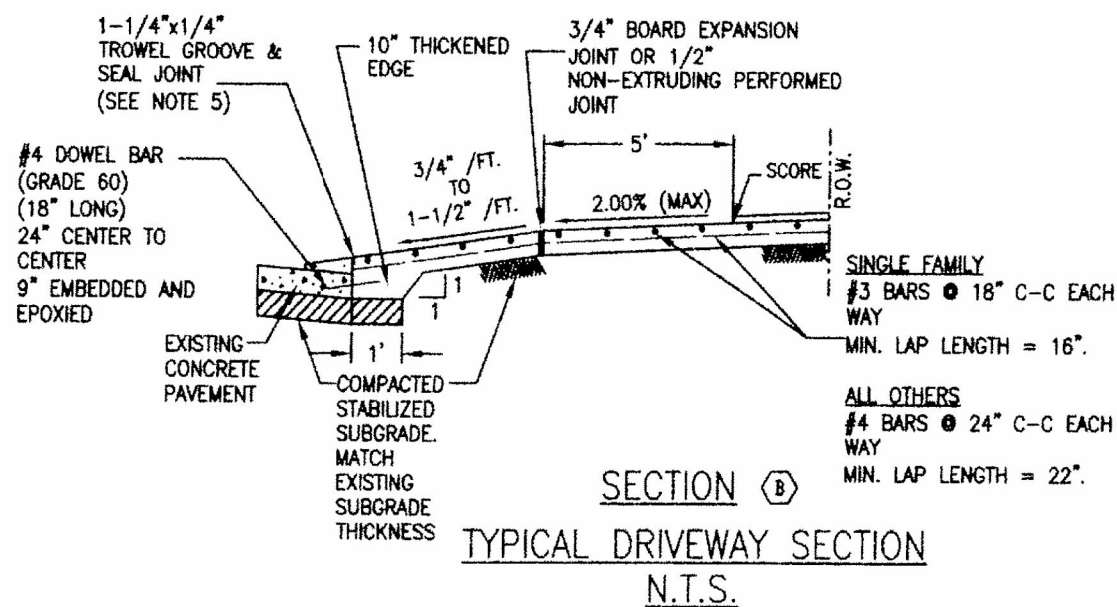
PLAN VIEW - DRIVEWAY



SECTION C
 TYPICAL SIDEWALKS SECTION
 N.T.S.



SECTION A
 PROPOSED SIDEWALK, THROUGH
 DRIVEWAY WITH EXCESSIVE GRADES
 N.T.S.



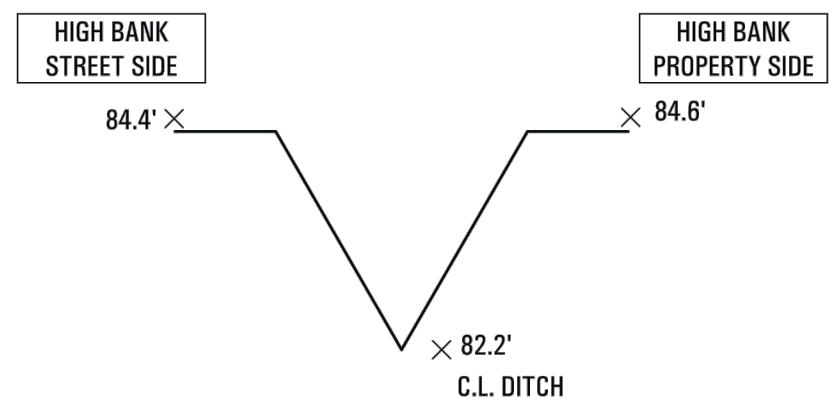
SECTION B
 TYPICAL DRIVEWAY SECTION
 N.T.S.

NOTES

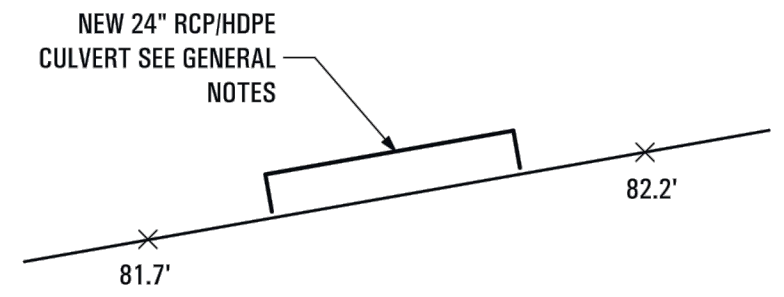
- IF AVAILABLE ROW IS NOT SUFFICIENT TO ACCOMMODATE A 5-FEET SIDEWALK, ENGINEER SHALL OBTAIN A VARIANCE FROM THE CITY ENGINEER FOR A 4-FEET WIDE SIDEWALK.
- DRIVEWAYS SHALL BE 6" THICK FOR SINGLE FAMILY
- DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 5 1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.
- THE OUTER DOWEL BARS ARE TO BE LOCATED 12" FROM END OF PROPOSED EDGE OF DRIVEWAY RETURN. EXTEND DOWEL 3" INCHES INTO PROPOSED DRIVEWAY AND BEND REMAINING BAR TO EXTEND TO RADIUS RETURN BOTH SIDES.
- TROWEL GROOVE SEALANT SHALL BE LOW MODULUS SILICONE OR POLYURETHANE SEALANT.
- EXPANSION & CONSTRUCTION JOINTS ALONG SIDEWALK SHALL BE ACCORDING TO DRAWING No. 02752-02.
- REFER CHAPTER 10 DESIGN REQUIREMENTS FOR A AND B.

CITY OF HOUSTON DEPARTMENT OF PUBLIC WORKS AND ENGINEERING	
DRIVEWAY / LOCAL RESIDENTIAL STREETS	
(NOT TO SCALE)	
APPROVED BY CITY ENGINEER	APPROVED BY DIRECTOR OF PUBLIC WORKS AND ENGINEERING
EFF DATE: JULY-01-2009	DWG NO: 02754-01A

A SERIES
 3 BED - 2 BATH
 HOUSTON, TX
 Architect
 bcWORKSHOP
 2007 Commerce Street
 Houston, TX 77002
 T 713-422-2601



AA LATERAL SECTION
 NOT TO SCALE



BB LONGITUDINAL SECTION
 NOT TO SCALE

- GENERAL NOTES:**
1. MINIMUM CULVERT SIZE SHALL BE 24" OR EQUIVALENT RCP/HDPE, IF BIGGER SIZE IS FOUND IN THE FIELD INVESTIGATION; IT SHALL MATCH UPSTREAM OR DOWNSTREAM CULVERT PIPE SIZE
 2. ALL CULVERTS SHALL BE PLACED WITH 6" CEMENT STABILIZED SAND AT BOTTOM AND SIDES. THE TOP SECTION WILL BE PAVED WITH CONCRETE, ASPHALT, GRAVEL OR RECYCLED CONCRETE.
 3. MATCH PROPOSED CULVERT CROWN ELEVATION TO EXISTING CULVERT UPSTREAM AND DOWNSTREAM CROWN ELEVATION OR AS DIRECTED BY FIELD INSPECTOR FOR ELEVATION FOR ADJUSTMENTS.
 4. ROADSIDE CULVERTS ARE TO BE SIZED BASED ON DRAINAGE AREA. THE MINIMUM CULVERT SIZE SHALL BE 24 IN. UNLESS THE OPTION FOR MULTIPLE SMALLER SIZE CULVERTS IS APPROVED BY THE CITY ENGINEER. WHEN REQUESTED, CALCULATIONS SHALL BE PROVIDED FOR REVIEW. CULVERT SHALL BE PLACED TO BE A MINIMUM OF 4 IN. AND NO MORE THAN 8 IN. BELOW THE DITCH FLOW LINE. EXISTING ROADSIDE DITCH ON BOTH SIDES OF THE PROPOSED CULVERT SHALL BE REGRADED FOR POSITIVE DRAINAGE TO THE NEAREST INTERSECTION OR UP TO 500 LINEAR FEET WHICHEVER IS SMALLER

REVISIONS:	DATE
PRICING	09-16-2019
ISSUE FOR PERMIT	04-26-2021

DRAWN BY: EMD

bcWORKSHOP
 DITCH NOTES

A204

00 NOTES FOR CONTRACTOR

ALL CHANGES TO FINISHES AND/OR SPECIFICATIONS PROPOSED BY CONTRACTOR TO BE APPROVED BY ARCHITECT.

ENERGY NOTES:

1. DUCTS ARE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EITHER: ROUGH-IN TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT TIME OF TEST. POSTCONSTRUCTION TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE ENTIRE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE.
2. DUCT TIGHTNESS TEST RESULT OF ≤ 4 CFM/100 FT² ACROSS THE SYSTEM OR ≤ 3 CFM/100 FT² WITHOUT AIR HANDLER @ 25 PA. FOR ROUGH-IN TESTS, VERIFICATION MAY NEED TO OCCUR DURING FRAMING INSPECTION.
3. BUILDING CAVITIES ARE NOT USED AS DUCTS OR PLENUMS.
4. AIR BARRIER AND THERMAL BARRIER INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
5. IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE ≤ 2.0 CFM LEAKAGE AT 75 PA.
6. AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.
7. BLOWER DOOR TEST @ 50 PA. ≤ 5 ACH
8. ATTIC ACCESS HATCH AND DOOR INSULATION $\geq R$ -VALUE OF THE ADJACENT ASSEMBLY.

01 INTERIOR PAINT COLORS

SUPPLIER: SHERWIN WILLIAMS OR PPG, SEE SPECIFICATIONS

TYPE	COLOR / DESCRIPTION
WALL	SW 7004 SNOWBOUND OR PPG 1008-1 GYPSUM
TRIM	SW 7004 SNOWBOUND OR PPG 1008-1 GYPSUM
CEILING	SW 7005 PURE WHITE OR PPG CEILING WHITE

02 FLOORING FINISHES

MANUFACTURER: SEE SPECIFICATIONS, CONTRACTOR'S CHOICE

ALL ROOMS	FLOOR	LVT OR STAINED WOOD TO MATCH
	STAIN	AMERICAN STONE & TILE-HOMESTEAD PRAIRIE HICKORY

03 INTERIOR : CABINETS FINISH

MAPLE WOOD, SHAKER STYLE. SANDED AND STAINED OR PAINTED

UPPER	WOLF BUILDERS MARK -SIERRA, NUTMEG
LOWER	WOLF BUILDERS MARK -SIERRA, NUTMEG

NOTE:

04 COUNTERTOP FINISH

COUNTERTOP CITIQUARTZ- PITTSBURGH CT1118

VANITY WOLF CULTURED MARBLE - COTTON WHITE #100

05 APPLIANCES

SEE SPECIFICATIONS. ALL APPLIANCES TO MATCH. CONTRACTOR'S MANUFACTURER AND MODEL:

APPLIANCE FINISH: STAINLESS STEEL OR BLACK

06 EXTERIOR PAINT COLORS

MANUFACTURER: SHERWIN WILLIAMS OR PPG, SEE SPECIFICATIONS REFER TO A501 ELEVATIONS, ELEVATION SCHEDULE

TYPE	COLOR / DESCRIPTION	
PAINT	PRIMARY	SHERWIN WILLIAMS 7067 CITYSCAPE OR PPG MANSARD STONE 30YY 20/029
PAINT	SECONDARY	SHERWIN WILLIAMS 7004 SNOWBOUND OR PPG MARSHMALLOW WHITE 30YY 83/012
STAIN	WOOD	PPG MAHOGANY TST-10 OR SHERWIN WILLIAMS EQUIVALENT

07 EXTERIOR: ROOF SHINGLES

CONTRACTOR'S MANUFACTURER AND MODEL:

MATERIAL	GAF TIMBERLINE SLATELINE
SHADE	ANTIQUÉ SLATE

08 EXTERIOR DOOR TYPE

CONTRACTOR'S MANUFACTURER AND MODEL:

TYPE	DESCRIPTION
FLUSH STEEL EXTERIOR	3'-0" W X 6'-8" H X 1'-3/4" T FLUSH PANEL PRIMED AND PAINTED
SINGLE LITE, FLUSH EXTERIOR	3'-0" W X 6'-8" H X 1'-3/4" T FLUSH PANEL PRIMED AND PAINTED

09 HVAC

ITEM	MANUFACTURER	EFFICIENCY
HEATING SYSTEM	TRANE XB90	92.1 AFUE
COOLING SYSTEM	TRANE XV18	18 SEER
WATER HEATER	RHEEM # XE38S06ST45U1	.93 UEF

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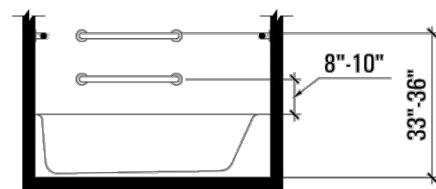
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 FINISH SCHEDULE

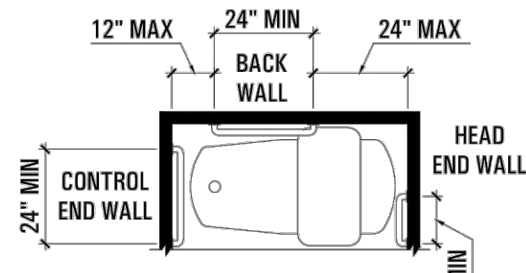
A301

01 ADA BATH STYLE OPTIONS

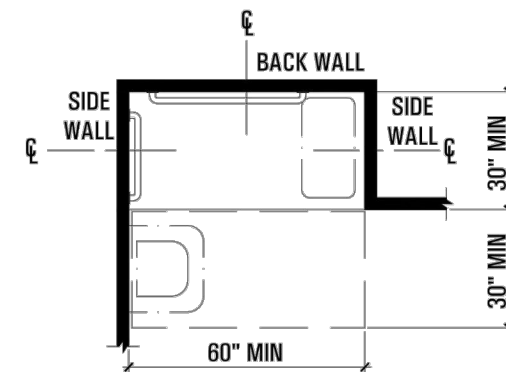
- HC-1 STANDARD TUB/SHOWER WITH BLOCKING AND GRAB BARS
- HC-2 ADA TAS TUB/SHOWER WITH GRAB BARS, FOLD-UP SEAT AND SHOWER WAND. 48" A.F.F. CABINET MOUNTING HEIGHT.
- HC-3 ADA TAS ROLL-IN SHOWER WITH GRAB BARS, FOLD-UP SEAT AND SHOWER WAND. 48" A.F.F. CABINET MOUNTING HEIGHT.
- NO ADDITIONAL ACCESIBILITY ACCOMODATIONS



(a)
GRAB BAR LOCATIONS - ELEVATION

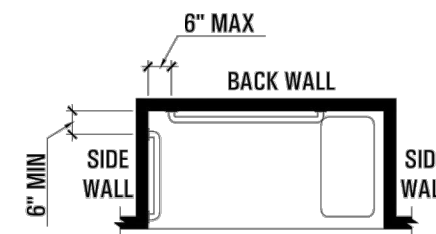


(b)
GRAB BAR LOCATIONS - PLAN

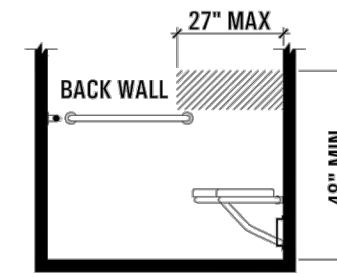


NOTE: INSIDE FINISHED DIMENSIONS MEASURED AT THE CENTER POINTS OF OPPOSING SIDES.

(a)
REQUIRED CLEARANCES - PLAN



(b)
GRAB BAR LOCATIONS - PLAN



(c)
CONTROLS LOCATIONS

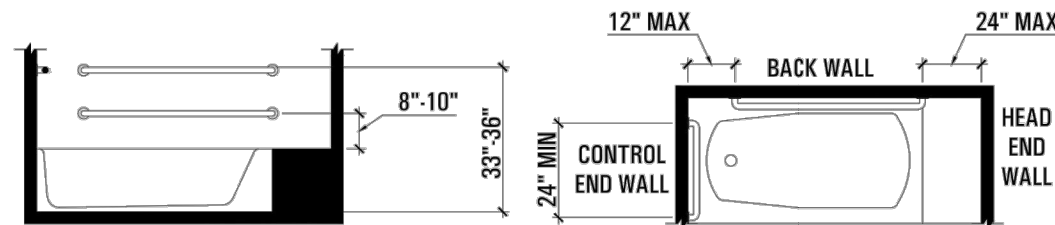
02 ADDITIONAL ACCOMODATIONS

CHECK ALL THAT APPLY

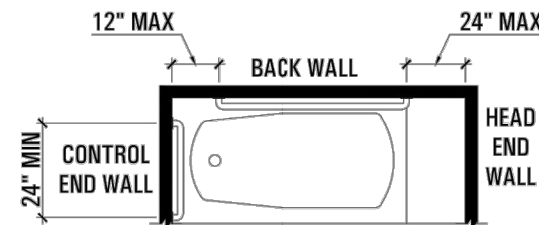
- VINYL FLOORING (NO CARPET)
- VISUALLY IMPAIRED
- HEARING IMPAIRED

04 HC-1 STANDARD TUB/SHOWER DETAIL

NOT TO SCALE



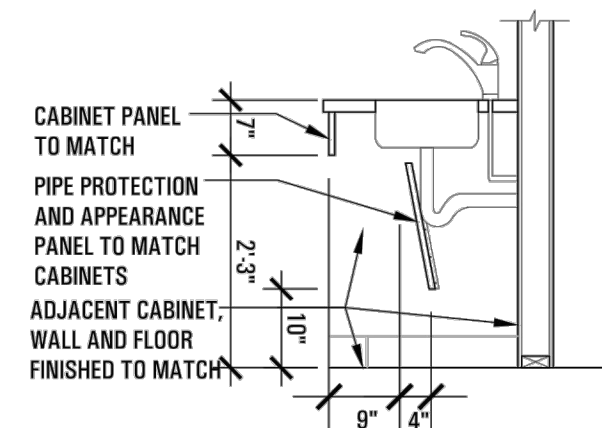
(a)
GRAB BAR LOCATIONS - ELEVATION



(b)
GRAB BAR LOCATIONS - PLAN

06 HC-3 ADA/TAS SHOWER DETAIL

NOT TO SCALE



03 ADA BATH LOCATION

- MASTER BATHROOM
- BATHROOM 2

NOTE: STANDARD IS INSTALLATION IN MASTER BATHROOM

05 HC-2 ADA/TAS TUB/SHOWER DETAIL

NOT TO SCALE

- NOTES**
1. CONTRACTOR TO FOLLOW ALL RELEVANT TEXAS ACCESIBILITY STANDARDS AND OTHER APPLICABLE CODES
 2. REFER TO A401 FOR LOCATION AND DIMENSIONS OF BATHROOMS
 3. BOTH HC-2 AND HC-3 TO RECEIVE ACCESSIBLE SINK
 4. IN HC-1 & HC-2 CONTROLS, SHALL BE LOCATED ON AN END WALL. CONTROLS SHALL BE BETWEEN THE BATHTUB RIM AND GRAB BAR, AND BETWEEN THE OPEN SIDE OF THE BATHTUB. CONTROLS SHALL COMPLY WITH TAS 309.4
 5. GRAB BARS SHALL COMPLY WITH TAS 609
 6. HC-2 AND HC-3 SHALL HAVE FOLD-UP SEATS. SEATS SHALL COMPLY WITH TAS 610

07 HC-2/HC-3 SINK DETAIL

1/2" - 1'0"

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bcWORKSHOP
 ACCESSIBILITY
 OPTIONS
A302



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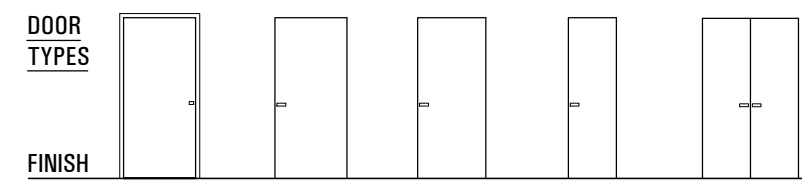
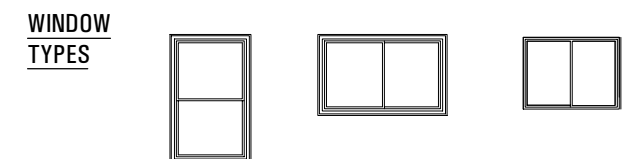
CABINETS	TAG	WIDTH	NOTES
BASE CABINETS	12	12"	1 DOORS, 1 SHELF, 1 UPPER DRAWER
	24	24"	1 DOORS, 1 SHELF, 1 UPPER DRAWER
	36	36"	2 DOORS, 1 SHELF, 1 UPPER DRAWER
	36S	36"	2 DOORS, UNDER SINK
	36CU	36"	1 DOOR, 1 SHELF, CORNER UNIT
WALL CABINETS	40S	40"	2 DOOR, UNDER SINK
	12U	12"	1 DOOR, 2 SHELVES, CORNER UNIT
	24U	24"	2 DOORS, 2 SHELVES
	36U	36"	2 DOORS, 2 SHELVES
	S	30"	2 DOORS, ABOVE STOVE, 15" HEIGHT
R	36"	2 DOORS, ABOVE REFRIG., 12" HEIGHT	

- ALL SHELVES SHALL BE ADJUSTABLE.
- CABINET BOXES TO BE READY TO ASSEMBLE WITH A GRADE FACE FRAMES, "SHAKERSTYLE" PANEL DOOR, REF. TO SHEET A301 FINISH SCHEDULE FOR CABINET COLOR AND FINISH, EXPOSED PANELS AND EDGE BANDING TO MATCH.
- ALL CABINET AND DRAWERS TO BE FINGER PULL, U.N.O
- TOP OF ALL WALL CABINETS SHALL ALIGN.
- DRAWERS TO HAVE SIDE MOUNTED DRAWER SLIDES.
- CLEARANCE BETWEEN UPPER CABINETS AND T.O. COUNTERTOP 18" MAX., U.N.O
- UPPER CABINET MOUNTING HEIGHT TO MEET ACCESSIBILITY REQUIREMENTS, WHERE APPLICABLE. BOTTOM SHELF TO BE 48" A.F.F. MAX.

DOORS & WINDOWS	TYPE	QTY.	WIDTH	HEIGHT	INT	EXT		NOTES
WINDOWS	W1	6	3'-0"	5'-0"				1. ALL WINDOWS SHALL MATCH, BE SINGLE HUNG, HAVE NO GRILLE PATTERN.
	W2	3	5'-0"	3'-0"				2. WINDOWS TO BE DOUBLE PANE, LOW-E, INSULATED WHITE VINYL OR EQUAL.
	W3	2	4'-0"	3'-0"				3. WINDOWS SHALL HAVE A U-VALUE ≤ 0.35 AND SHGC ≤ 0.25 AND MEET ENERGY STAR 3.0 REQUIREMENTS.
DOORS	D1	2	3'-0"	6'-8"				4. ALL WINDOWS SHALL BE FLASHED WITH BUTYL TAPE AND SEALED PER TYVEK SPECIFICATION.
	D2	5	3'-0"	6'-8"				5. INSECT SCREENS SHALL BE INSTALLED ON ALL OPERABLE WINDOWS.
	D3	3	2'-10"	6'-8"				6. ALL WINDOWS IN SLEEPING AREAS TO MEET 2012 IRC EGRESS REQUIREMENTS.
	D4	2	2'-0"	6'-8"				7. ALL WINDOWS IN BATHROOMS TO BE TEMPERED SAFETY GLASS.
	D5	1PR	4'-0"	6'-8"				

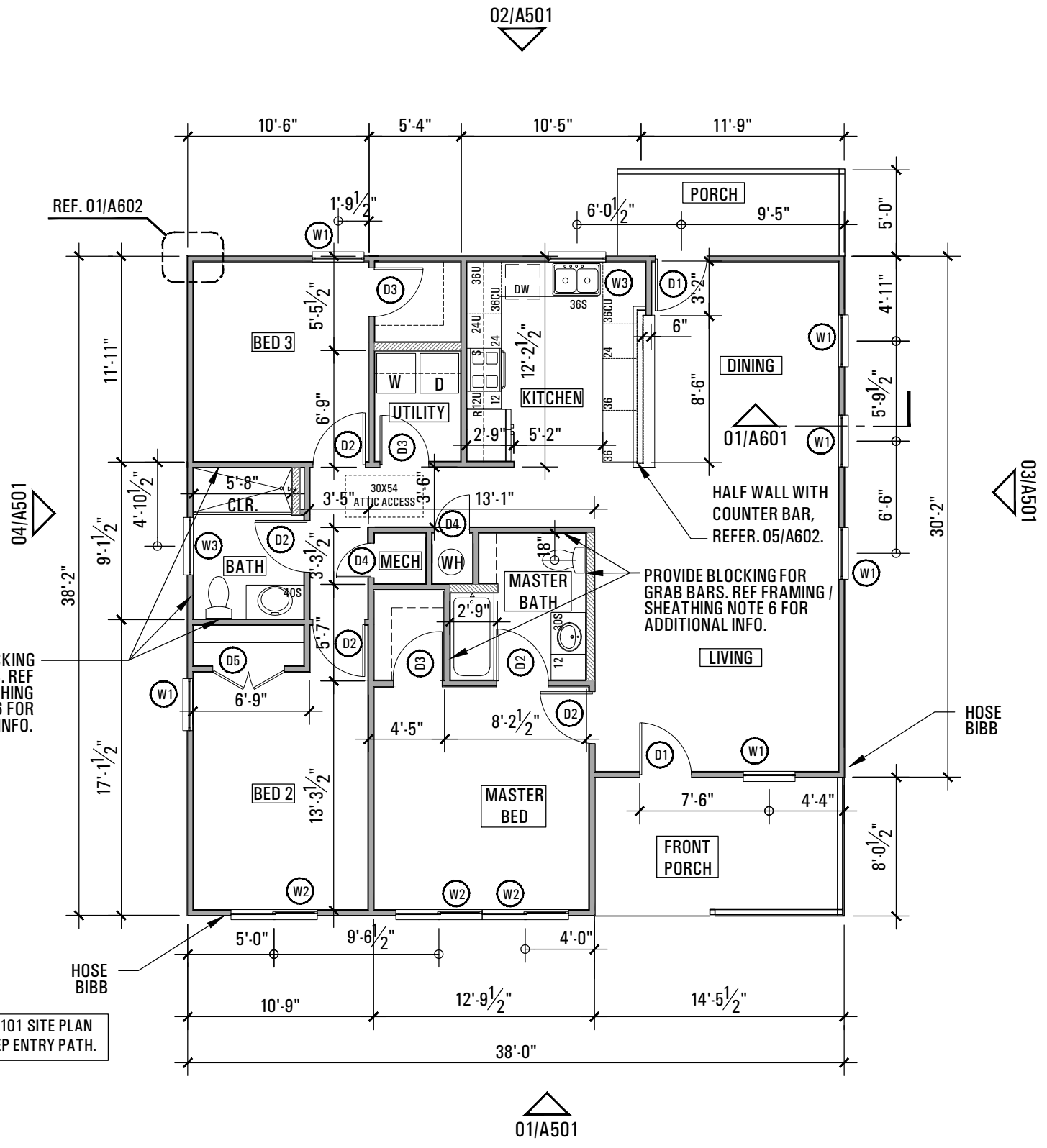
- ALL DOORS TO BE CENTERED IN WALL U.N.O. ALL HARDWARE SHALL MATCH AND BE BRUSHED NICKEL FINISH.
- EXTERIOR DOORS TO BE FLUSH PANEL, STEEL, U.N.O, MEET ENERGY STAR 3.0 REQUIREMENTS, CONTAIN INTEGRATED DOOR SEALS AROUND ALL EDGES, BE FLASHED WITH BUTYL TAPE & SEALED PER TYVEK SPECIFICATIONS.
- INTERIOR DOORS TO BE FLUSH PANEL, HOLLOW CORE WOOD, & PAINTED TO MATCH INTERIOR WALLS, U.N.O.
- ALL HINGED DOORS TO RECEIVE THREE HINGES AND LEVER HARDWARE. EXTERIOR DOORS TO RECEIVE EXTERIOR RATED HINGES.
- D1 DOORS TO BE KEYED ALIKE W/ DEADBOLT & HAVE A PEEPHOLE. THRESHOLDS SHALL BE ADA COMPLIANT.
- ALL DOORS TO BATHROOMS AND BEDROOMS SHALL RECEIVE PRIVACY HARDWARE.
- DOOR TO WATER HEATER ACCESS SHALL BE SOLID CORE AND WEATHERSTRIPPED WITH THRESHOLD.
- D5 DOORS TO BE PAIRED WHERE SHOWN IN DRAWING.

GENERAL NOTES	2X4 @ 16" O.C. WALL		NOTES
			1. WATER SUPPLY TO BE BROUGHT IN THROUGH SLAB, NOT AN EXTERIOR THROUGH-WALL PENETRATION.
			2. INSTALL 6" VENT PIPE IN WATER HEATER CLOSET THROUGH ROOF FOR FRESH AIR INTAKE. FLASH AND SEAL ALL ROOF PENETRATIONS AS REQUIRED.
			3. FLOOR PLAN AND FOUNDATION PLAN TO BE USED FOR BOTH LEFT AND RIGHT HAND SIDES OF STREET. REF. A101 SITE PLAN FOR ADDITIONAL INFORMATION.



NOTE: REFER TO DOOR & WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.

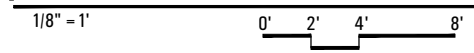
02 DOOR AND WINDOW ELEVATIONS



PROVIDE BLOCKING FOR GRAB BARS. REF FRAMING / SHEATHING NOTE 6 FOR ADDITIONAL INFO.

REFER TO A101 SITE PLAN FOR NO STEP ENTRY PATH.

01 FLOOR PLAN



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 FLOOR PLAN

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FRAMING / SHEATHING

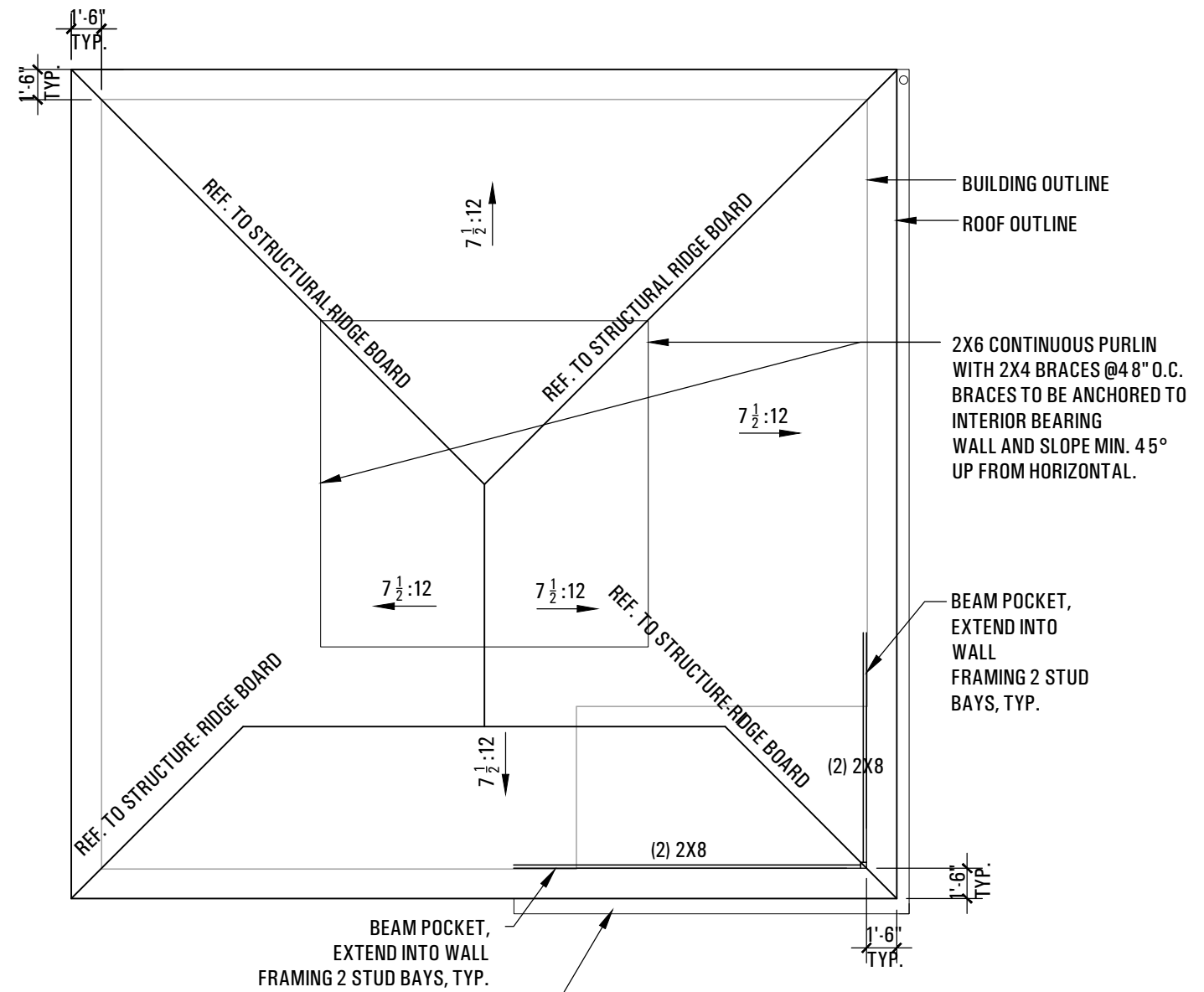
1. REFER TO STRUCTURAL DRAWINGS FOR FRAMING & STRUCTURAL DETAILS.
2. FRAMING LUMBER TO BE SPRUCE-PINE-FIR #2 OR SOUTHERN YELLOW PINE #2.
3. ALL WOOD USED ON SITE TO BE FROM A FOREST STEWARDSHIP COUNCIL CERTIFIED SOURCE WHEN AVAILABLE.
4. EXTERIOR WALL SHEATHING TO BE 7/16" OSB MIN.
5. FRAMING SHALL BE LIMITED AT ALL WINDOWS & DOORS TO MEET ENERGY STAR THERMAL BRIDGING REQUIREMENTS.
6. INSTALL 2X6 REINFORCEMENT BLOCKING FOR ALL BATHROOM ACCESSORIES & TO ACCOMMODATE GRAB BARS, CENTERED 34" A.F.F., IN WALLS AT TOILET & BATH/SHOWER.
7. FINGER JOINTED LUMBER NOT TO BE USED AS FRAMING. REFERENCE STRUCTURAL FOR FRAMING SPECIFICATIONS AND DETAILS.

ROOF FRAMING / SHEATHING

1. REFER TO STRUCTURAL DRAWINGS FOR FRAMING & STRUCTURAL DETAILS.
2. FRAMING LUMBER TO BE SPRUCE-PINE-FIR #2. OR SOUTHERN YELLOW PINE #2.
3. ALL RAFTERS TO BE 2X6 @ 16" O.C., U.N.O. TAPER ALL RAFTER TAILS TO 4" AT END.
4. OUTLOOKERS, WHERE REQUIRED, SHALL BE 2X6 @ 24" O.C., LAID ON END, & EXTEND A MINIMUM 2 RAFTER BAYS INTO ROOF FRAMING.
5. ROOF SHEATHING TO BE 15/32" PLYWOOD WITH RADIANT BARRIER.
6. TRIM VENT STACKS TO 6" ABOVE ROOF
7. PAINT ALL PVC PENETRATIONS IN ROOF GREY

FIXTURE / DESCRIPTION	QTY.	MFR	MODEL	NOTES
KITCHEN SINK / ADA		HOUSER GLOWTONE	3322-6564-1	STAINLESS, 33" X 22" X 6" 4 HOLE, DROP IN, DOUBLE BASIN
SHOWER BASE / ADA		SWAN	FBF-3060L/R	WHITE, 30" X 60" UNIVERSAL DESIGN SHOWER FLOOR, INSTALL WITH RAMP, COLLAPSIBLE DAM, SEE PLAN FOR DRAIN LOCATION
SHOWER / TUB ADA		STERLING ACCORD	7114-1114-0, RT. 71150115-LFT.	WHITE, 60" X 30" X 17-1/4" BATH WITH SEAT
SHOWER CONTROL / ADA		DELTA	T13020	CHROME, SAME AS STANDARD FIXTURE. MAX. 48" AFF.
SHOWERHEAD / ADA		MOEN	3888EP	CHROME, HANDHELD SHOWER, SLIDEBAR, AND 59" HOSE
SHOWER / TUB		BRIGGS PENDANT	255880, LEFT 255879, RIGHT	WHITE
SHOWER CONTROL		DELTA	T13020	CHROME, SINGLE-HANDLE TUB AND SHOWER FAUCET
SHOWERHEAD		DELTA	75152	CHROME, 1.85 GPM
KITCHEN FAUCET	1	DELTA	P115LF	CHROME, SINGLE HANDLE W/ SPRAY, TOPMOUNT, 4-HOLE
KITCHEN SINK	1	MOEN	G182574	STAINLESS, 33" X 22" X 10" 4-HOLE, 18 GAUGE, DOUBLE BASIN, DROP IN
LAVATORY FAUCET	2	GLACIER BAY	7032EC-A8101	CHROME, COVINA, TWO HANDLE CENTER SET
LAVATORY SINK	2	GLACIER BAY	N31GB-W	WHITE, NEWPORT, OR CULTURED MARBLE VANITY TOP WITH BASIN
TOILET	2	GLACIER BAY	N2316	WHITE VITREOUS CHINA, DUAL FLUSH, ELONGATED HET
HOSE BIBB	2	HOMWERKS WORLDWIDE	VHNSTDF3B	BRASS, 1/2" X 3/4" EXTERIOR HOSE BIBB
WASHER HOOK UP	1	SHARKBITE	24 763	1/2" WASHING MACHINE OUTLET BOX
WATER HEATER	1	RHEEM	XE40M09EL55UO	ENERGY FACTOR TO BE ≥ .93., MEET ENERGY STAR 3.0
NOTES 1. ALL PLUMBING FIXTURES SHALL BE EPA WATERSENSE QUALIFIED OR BETTER. TOILETS 1.6 GPF MAX. SHOWER HEADS 2.0 GPM MAX. KITCHEN FAUCET 2.0 GPM MAX.				

DESCRIPTION	QTY.	MFR	MODEL	NOTES
MEDICINE CABINET	2	BROAN	614 X	MOUNT BOTTOM SHELF 48" A.F.F., CENTERED ABOVE SINK, U.N.O
TOILET TISSUE HOLDER	2	MOEN CONTEMPORARY	P5050	CHROME
BATH TOWEL HOLDER	2	FRANKLIN BRASS	D24 24 PC	FUTURA, CHROME, 24", INSTALL 48" A.F.F.
BATH TOWEL HOLDER	2	FRANKLIN BRASS	D24 18 PC	FUTURA, CHROME, 18", INSTALL 48" A.F.F.
SHOWER ROD	2	FRANKLIN BRASS	336	60", CHROME



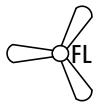




















01 ROOF & ROOF FRAMING PLAN
 1/8" = 1'
 0' 2' 4' 8'

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 ROOF & ROOF FRAMING
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ELECTRICAL LEGEND

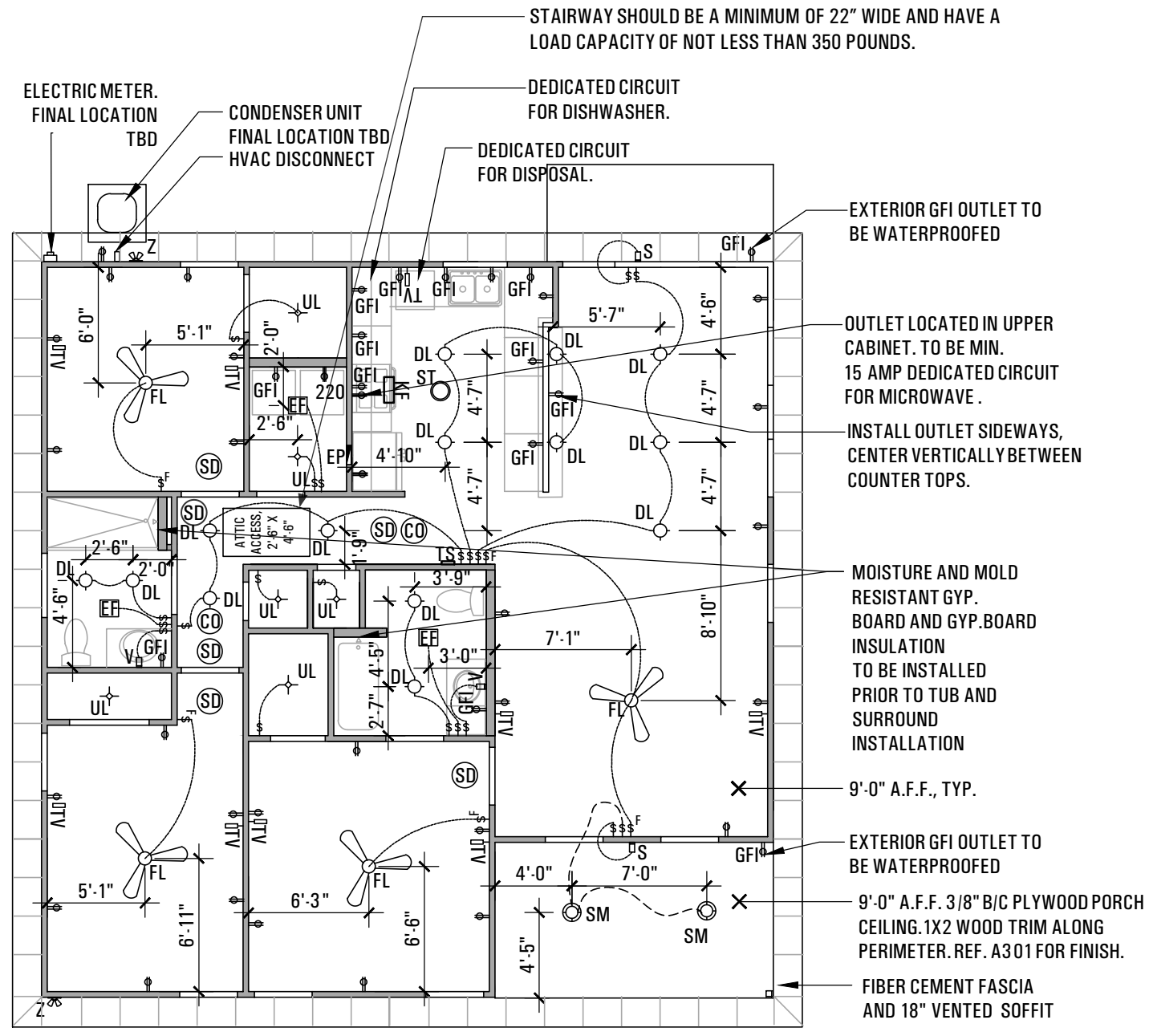
	52" INTERIOR CEILING FAN WITH LIGHT KIT, CENTER IN ROOM, U.N.O.		HARDWIRED AUDIO SMOKE DETECTOR
	EXTERIOR WALL MOUNT PORCH LIGHT		CARBON MONOXIDE ALARM
	EXTERIOR SURFACE MOUNTED LIGHT		KITCHEN EXHAUST VENT HOOD
	MOTION ACTIVATED SECURITY LIGHT, WALL MOUNTED		ELECTRICAL PANEL
	INTERIOR RECESSED DOWN LIGHT	\$	LIGHT SWITCH
	OUTLET	\$ ³	3-WAY LIGHT SWITCH
	OUTLET, 220 VOLT	\$ ^F	LIGHT SWITCH W/ FAN SPEED DIMMER
	OUTLET, GROUND FAULT INTERRUPTER		TV & PHONE CONNECTION
	BATHROOM VANITY LIGHT, WALL MOUNTED		PROGRAMMABLE THERMOSTAT
	EXHAUST FAN W/ LIGHT KIT		DOORBELL
	UTILITY LIGHT		DOORBELL CHIME
	INTERIOR WALL SCONCE		SOLAR LIGHTING TUBE

ELECTRICAL SCHEDULE

MFR	MODEL	QTY.	NOTES
FL HAMPTON BAY	AL420-WH	4	WHITE, LARSON CEILING FAN, CENTERED IN ROOM, U.N.O, INSTALL LED / CFL BULBS
S PORTFOLIO	FY09-011	2	WHITE, 4.13" OUTDOOR FLUSH MOUNT LIGHT, INSTALL LED / CFL BULBS
CO KIDDE	KN-COB-IC	2	HARDWIRED INTERCONNECTABLE CARBON MONOXIDE ALARM W/ BATTERY BACKUP
Z DEFIANT	DF-5718-WH	2	WHITE, 270 DEGREE OUTDOOR MOTION SECURITY LIGHT, INSTALL CFL / LED BULBS
DL HALO	H7ICT	14	INSTALL USING WHITE 6" HALO 410W BAFFLE TRIM, INSTALL CFL / LED BULBS
V PROGRESS	P3111-30	2	WALL MOUNT, CENTERED OVER SINK/COUNTER & MEDICINE CAB., ENERGY STAR
EF AIR KING	395094	3	WHITE, 1.5 SONE 70-CFM, ENERGY STAR QUALIFIED, BATHROOM FAN WITH LIGHT
SD KIDDE	21010407-A	5	WORRY FREE HARDWIRE SMOKE ALARM WITH 10 YEAR BATTERY BACKUP
KF AIR KING	ESQZ SERIES	1	UNDERCABINET RANGE HOOD, ENERGY STAR QUALIFIED; REFER TO A301 FOR COLOR.
UL LEVITON	R60-09726-00C	5	PORCELAIN, LAMP HOLDER WITH PULL CHAIN & OUTLET, INSTALL LED / CFL BULBS
PL PROJECT SOURCE	HRK0991A		CHROME, 15.87" MINI PENDANT LIGHT WITH METAL SHADE, INSTALL CFL / LED BULBS
SC ASHTON	LWCH322304		SATIN NICKEL CORNER HARDWIRED WALL SCONCE, 7'-0" A.F.F. - INSTALL CFL/LED BULBS
SM BUILDERS CHOICE	101WH	2	WHITE, 4.5" OUTDOOR FLUSH-MOUNT LIGHT, INSTALL CFL / LED BULBS

ELECTRICAL / LIGHTING NOTES

- WORK TO BE REVIEWED UNDER 2012 IRC AND ALL OTHER APPLICABLE CODES.
- ALL ELECTRICAL PENETRATIONS THROUGH WALL TOP PLATE TO BE SEALED WITH FIRE RATED SEALANT.
- TOP OF ALL SWITCHES TO BE LOCATED 48" ABOVE FINISH FLOOR U.N.O.
- BOTTOM OF ALL OUTLETS TO BE LOCATED 15" ABOVE FINISH FLOOR U.N.O. OUTLETS LOCATED UNDER WINDOWS ARE TO BE CENTERED UNDER WINDOW OPENINGS.
- BOTTOM OF OUTLETS LOCATED ABOVE KITCHEN CABINETRY TO BE 42" ABOVE FINISH FLOOR U.N.O.
- ALL LIGHT FIXTURES, INCLUDING FANS WITH LIGHT KITS, SHALL BE FITTED WITH COMPACT FLUORESCENT BULBS. RECESSED DOWNLIGHTS MUST SHINE PERPENDICULAR TO FLOOR AND SHALL BE 100W EQUIV., ALL OTHERS SHALL BE 60W EQUIV.
- ALL ELECTRICAL FIXTURES SHALL BE ENERGY STAR RATED.
- T.O. THERMOSTAT AND T.O. BREAKERS IN ELECTRICAL PANEL TO BE LOCATED 48" ABOVE FINISH FLOOR, U.N.O.
- ALL OUTDOOR OUTLETS TO BE WEATHERPROOF.
- ATTIC SHALL INCLUDE ONE LEVITON R60-09726-00C LIGHT FIXTURE AND OUTLET OR APPROVED EQUAL. CONTRACTOR TO SUPPLY MIN. 120 SQ. FT. OF DECKING IN ATTIC ADJACENT TO ATTIC ACCESS. SWITCH LOCATED AT WALL OUTSIDE OF ACCESS PANEL.
- ATTIC ACCESS PANEL SHALL BE 1 LAYER OF 3/8" PLYWOOD AND ONE LAYER OF 1/2" GYPSUM BOARD, WEATHER SEALED, & PRIMED AND PAINTED TO MATCH CEILING. 1X2 PAINTED TRIM AROUND EDGES.
- TV AND TELEPHONE SHALL BE COMBINED. OWNER TO CONFIRM TELEPHONE LOCATION AND TO LOCATE DATA.
- CARBON MONOXIDE ALARMS TO COMPLY WITH 2012 IRC.
- WHERE AUDIBLE AND/OR VISIBLE ALARMS ARE TO BE PROVIDED, FIRE ALARM SYSTEM TO COMPLY WITH 2012 TAS SECTION 702 FIRE ALARM SYSTEMS.
- ELECTRIC METER LOCATION TO BE DETERMINED BASED ON SITE CONDITION AND ELECTRIC POLE LOCATION.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED AND HARDWIRED AND EQUIPPED WITH A BATTERY BACKUP.



01 REFLECTED CEILING & ELECTRICAL PLAN
 1/8" = 1'
 0' 2' 4' 8'

A SERIES
 3 BED - 2 BATH
 HOUSTON, TX

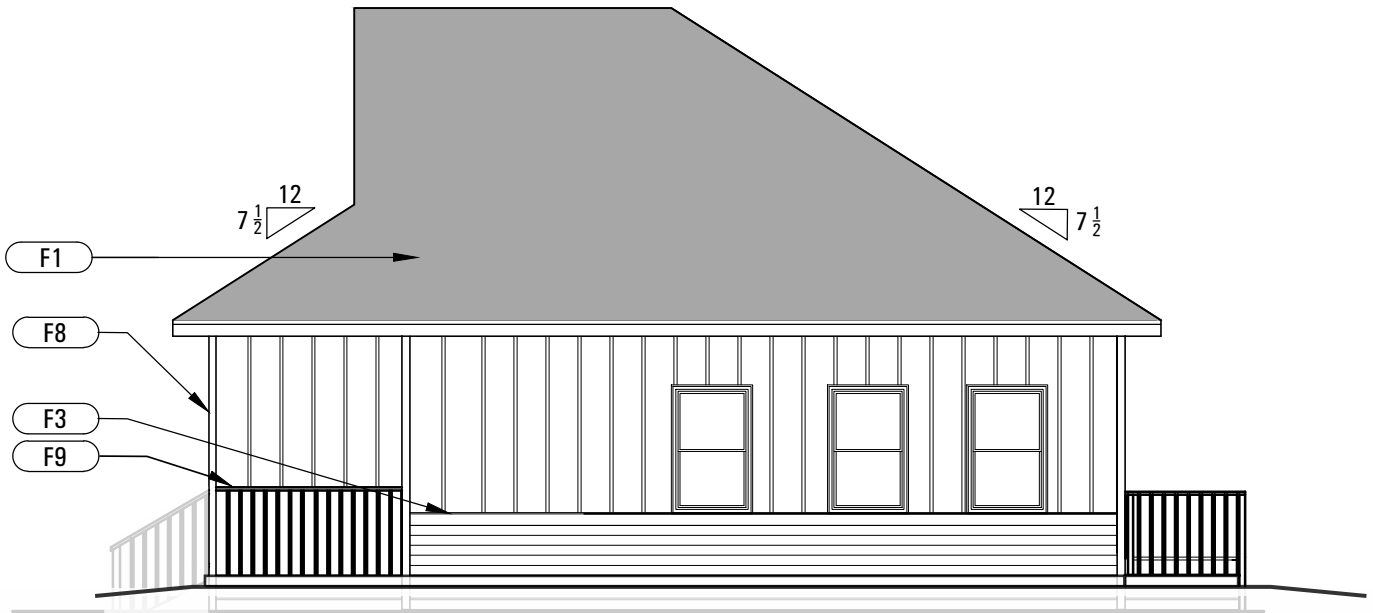
Architect
 bcWORKSHOP
 2007 Commerce Street
 Houston, TX 77002
 T 713-422-2601

REVISIONS:	DATE
PRICING	09-16-2019
ISSUE FOR PERMIT	04-26-2021

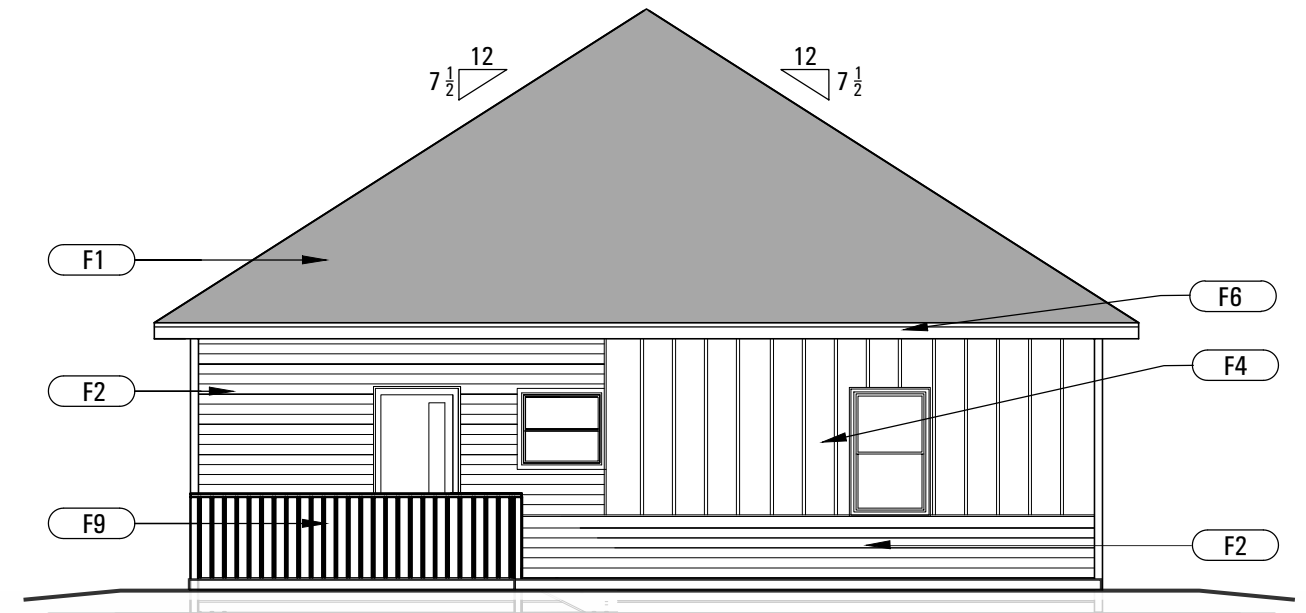
DRAWN BY: EMD

A SERIES
 3 BED - 2 BATH
 HOUSTON, TX

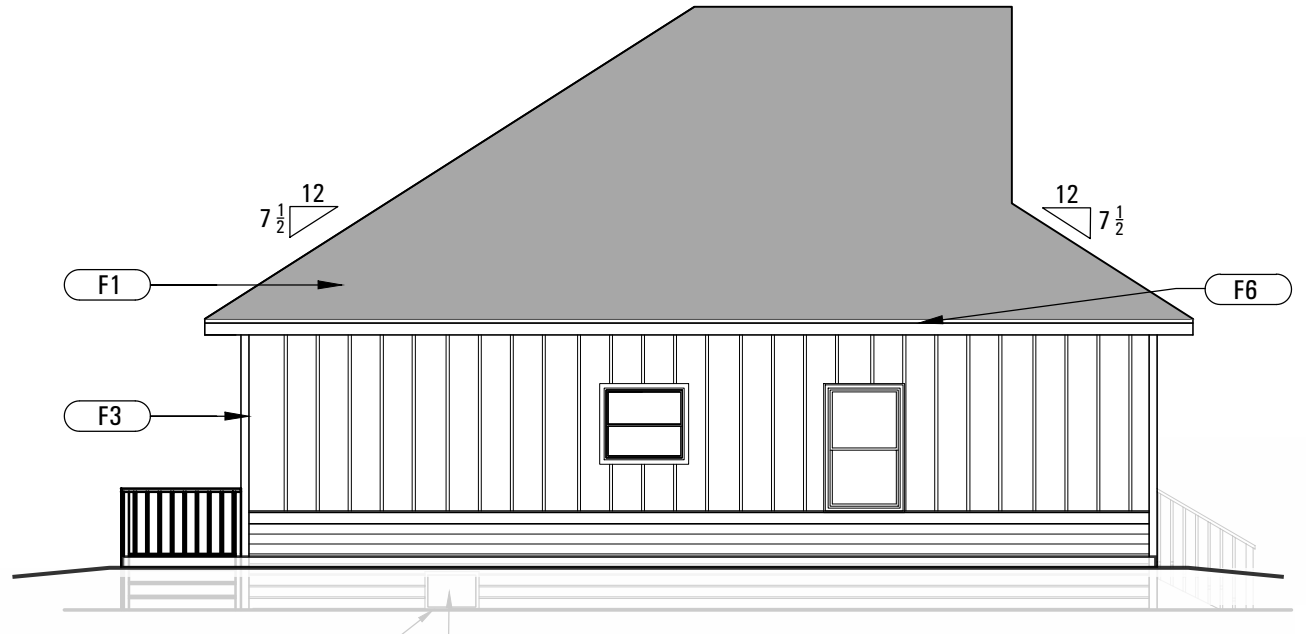
Architect
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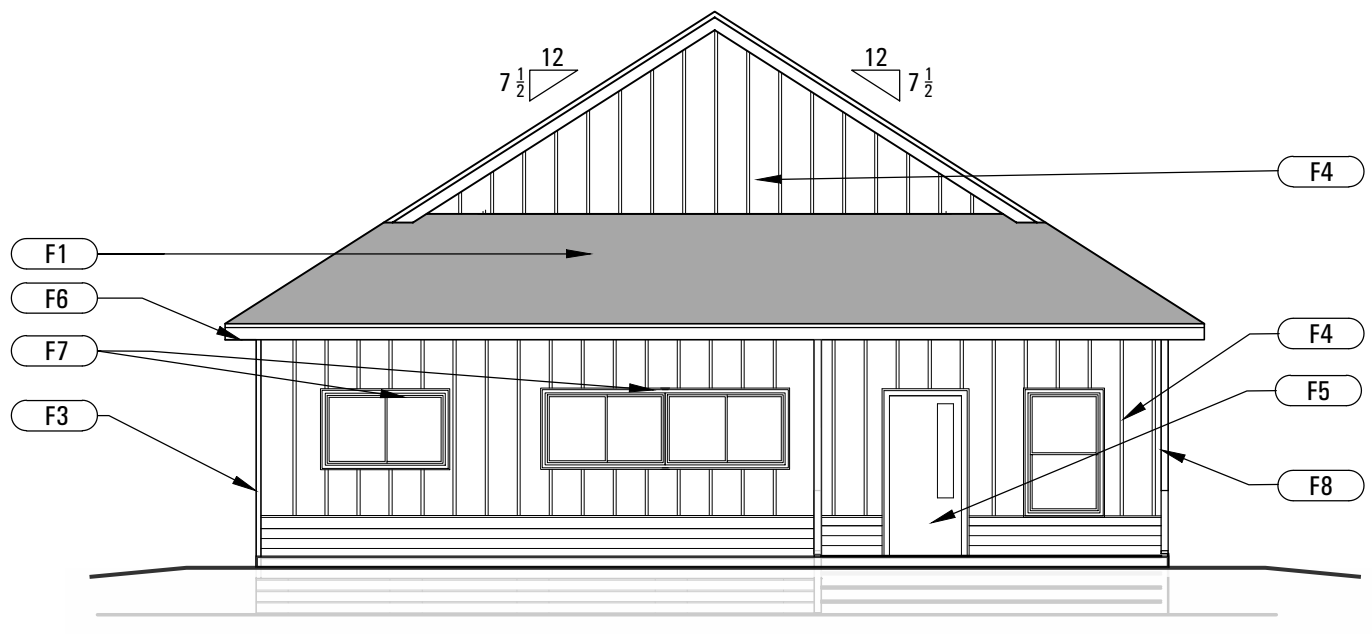
04 RIGHT SIDE ELEVATION
 1/8" = 1'
 0' 2' 4' 8'



02 REAR ELEVATION
 1/8" = 1'
 0' 2' 4' 8'



03 LEFT SIDE ELEVATION
 1/8" = 1'
 0' 2' 4' 8'



01 FRONT ELEVATION
 1/8" = 1'
 0' 2' 4' 8'

ELEVATION NOTES	ELEV. FINISH SCHEDULE		
	TYPE	DESCRIPTION	FINISH
1. ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS	F1	30 YR. COMP. SHINGLE, OVER 30# FELT	GAF TIMBERLINE. COLOR: SLATELINE
2. ALL FINISH MATERIALS SHALL BE OF LISTED MANUFACTURER OR APPROVED EQUAL	F2	HARDIE 8 1/4" LAP SIDING, 7" EXPOSURE, CONCEALED NAILING	2 COATS EXT. LATEX ACRYLIC PAINT OVER 1 COAT PRIMER. COLOR: SW 7004 SNOWBOUND.
3. ALL MATERIALS SHALL BE FASTENED ACCORDING TO ALL APPLICABLE CODES	F3	3/4" x 4" HARDIE CORNER TRIM	
4. ALL BEAMS, POSTS, EXPOSED RAFTERS AND PORCH CEILING TO BE PAINTED WITH SEE HOMEOWNER SELECTION AND A301	F4	HARDIE 4'X8' VERTICAL SIDING PANEL W/ 1X3 BATTEN BOARDS. CONCEALED NAILING, CEDARMILL FINISH.	2 COATS EXT. LATEX ACRYLIC PAINT OVER 1 COAT PRIMER. COLOR: SW 7067 CITY SCAPE.
5. 1 SET OF 5" STEEL HOUSE NUMBERS MOUNTED UNDER PORCH LIGHT FACING STREET.	F5	EXTERIOR DOOR.	2 COATS EXT. LATEX ACRYLIC PAINT OVER 1 COAT PRIMER. COLOR TBD
6. PRESSURE TREATED LUMBER TO BE THOROUGHLY DRIED BEFORE APPLYING PAINT OR STAIN	F6	HARDIE PLANK FASCIA 8" MIN W/ 18" VENTED HARDIE SOFFIT	SW 7004 SNOWBOUND
	F7	3/4" x 4" HARDIE WINDOW AND DOOR TRIM	2 COATS OF COLOR STAIN ALL SIDES PRIOR TO INSTALLATIONS, STRAIGHT BOARDS ONLY. COLOR: TST-10 MAHOGANY SEMI TRANSPARENT OR APPROVED EQUAL.
	F8	BEAMS & P.T. POSTS	
	F9	HANDRAIL. REF. 03/A601.	

REVISIONS:	DATE
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bcWORKSHOP
 EXTERIOR ELEVATIONS

A501

INTERIOR FINISH NOTES

FLOORS: SELECT A) STAINED WOOD FLOORING USING CLOSED CELL INSULATION AT SUBFLOOR OR SELECT B) VINYL FLOORING, ANTI SLIP OR LAMINATE FLOORING WITH FOIL FACED RIGID INSULATION UNDER FLOOR JOISTS, AIR SEALED AT ALL EDGES. COLOR: REF. A301 FINISH SCHEDULE

KITCHEN COUNTERTOPS & BACKSPLASH: ALL COUNTERTOPS IN KITCHEN TO BE CITUARTZ OR APPROVED EQUAL, BACKSPLASH AND COUNTERTOP TO BE FULLY ADHERED DOWN WITH BULLNOSE EDGE. REF: A301 FINISH SCHEDULE FOR COLOR.

BATHROOM COUNTERTOPS: BATHROOM COUNTERTOPS TO BE CULTURED MARBLE WITH INTEGRATED SINK, CUT TO FIT, WHERE APPLICABLE. REF: A301 FINISH SCHEDULE FOR COLOR.

WALLS & CEILING: CORNERS TO BE 90 DEGREES. FINISHED WITH A TIGHT MONTERREY DRAG TEXTURE. 1 COAT SHERWIN WILLIAMS PRO-MAR 200 ZERO-VOC PRIMER & 2 COATS FLAT LATEX PAINT, SHERWIN WILLIAMS PRO-MAR 200 ZERO-VOC, OR APPROVED EQUAL. REF: A301 FINISH SCHEDULE FOR COLOR.

TRIM: MITER ALL CORNERS. ALL TRIM TO BE PAINTED TO MATCH WALLS WITH SEMI-GLOSS SHEEN. ENSURE TRIM IS SANDED SMOOTH BEFORE PAINTING. BASE TRIM TO BE 1X4 CONTINUOUS SOLID WOOD BASE INSTALLED TIGHT TO FINISH FLOOR. DOOR TRIM TO BE 1X4 CONTINUOUS SOLID WOOD. WINDOWS TO HAVE 1X6 CONTINUOUS PAINTED SILL. GYPSUM BOARD TO RETURN TO WINDOW UNIT AT HEADER & JAMB (3 SIDES)

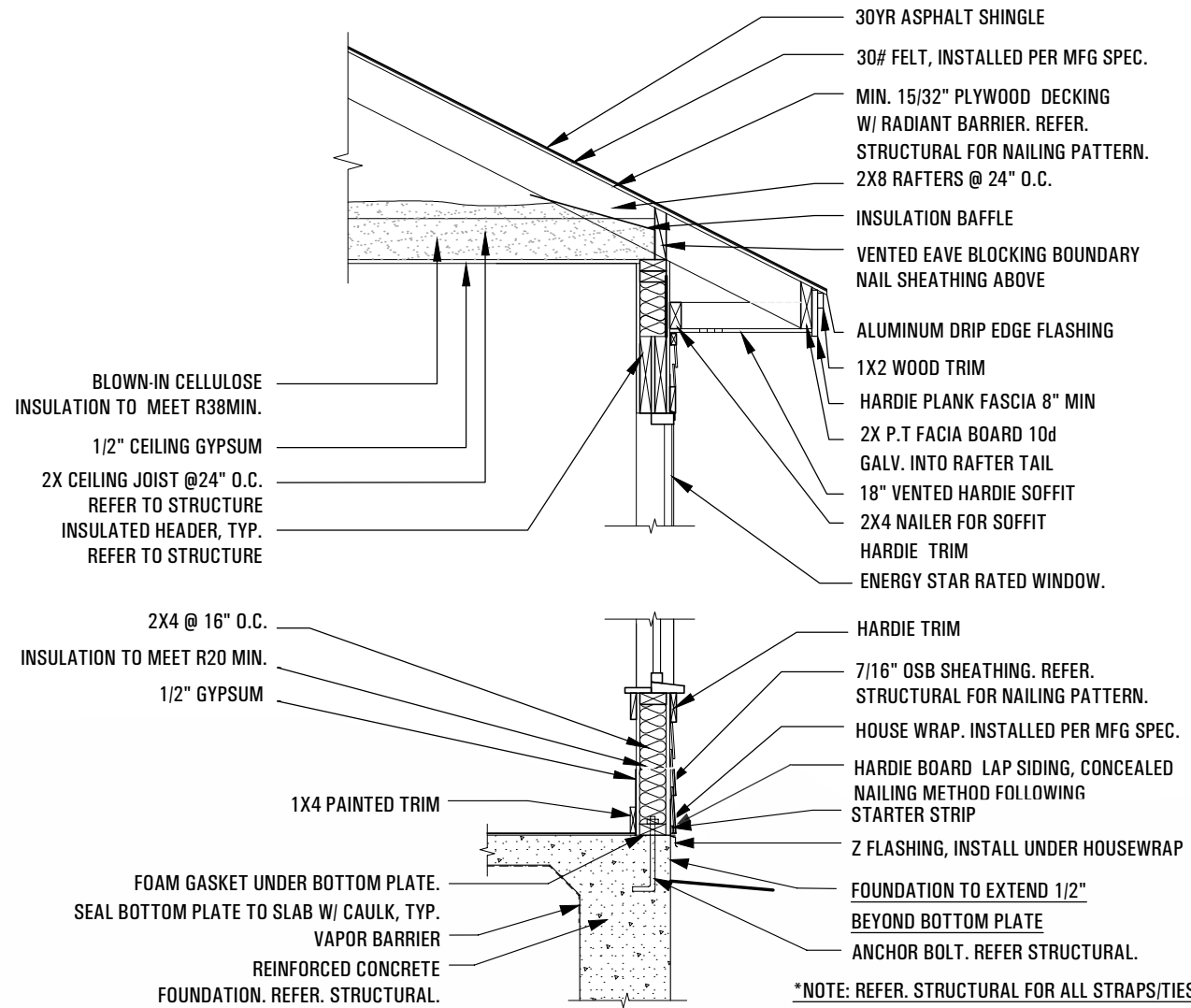
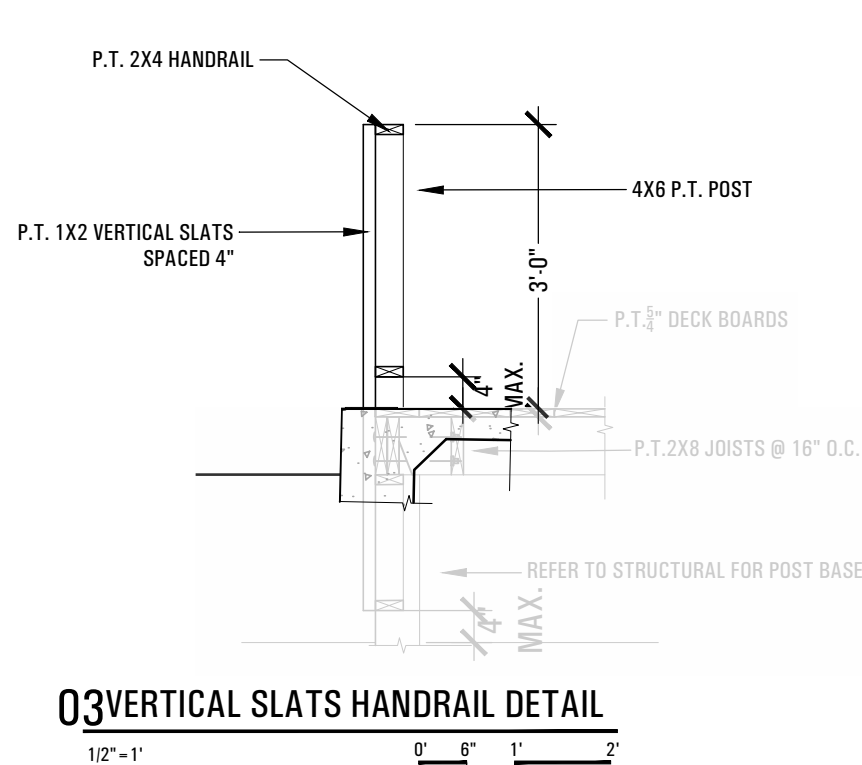
SHOWER WALLS: WALLS AT SHOWER OR SHOWER/TUB SHALL BE 1 PIECE SHOWER SURROUND WITH ADAPTER FOR GRAB BAR BLOCKING. INSTALL OVER CONTINUOUS CEMENTITIOUS BACKER BOARD INSTALLED PER MFR RECOMMENDATIONS. SEAL ALL JOINTS AND SCREW FASTENERS WITH REDGARD WATER PROOFING MEMBRANE OR APPROVED EQUAL.

SHOWER WALLS FOR ACCESSIBLE SHOWER: WALLS SURROUNDING SHOWER SHALL 1 PIECE SHOWER SURROUND WITH GRAB BARS AND SHOWER SEAT. INSTALL OVER CONTINUOUS CEMENTITIOUS BACKER BOARD INSTALLED PER MFR RECOMMENDATIONS. SEAL ALL JOINTS AND SCREW FASTENERS WITH REDGARD WATERPROOFING MEMBRANE OR APPROVED EQUAL

BEDROOM CLOSETS: INSTALL CLOTHES HANGING ROD & SHELF IN EACH CLOSET. SHELVES TO BE MAX. 72" A.F.F. INSTALL BRACKETS TO SUPPORT SHELF & ROD SPACED MAX. 48" O.C., BRACKETS TO BE ANCHORED TO WALL STUDS.

WASHER & DRYER CLOSET: INSTALL 2 ADJUSTABLE WIRE SHELVES ABOVE WASHER & DRYER, ENSURING CLEARANCE BENEATH FOR WASHER LID.

APPLIANCES: REFER TO SPECS FOR APPLIANCES, ENERGY STAR RATED OR EQUIVALENT. REF: A301 FINISH SCHEDULE FOR COLOR.



A SERIES
3 BED - 2 BATH
HOUSTON, TX

Architect
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 2007 Commerce Street
 Houston, TX 77002
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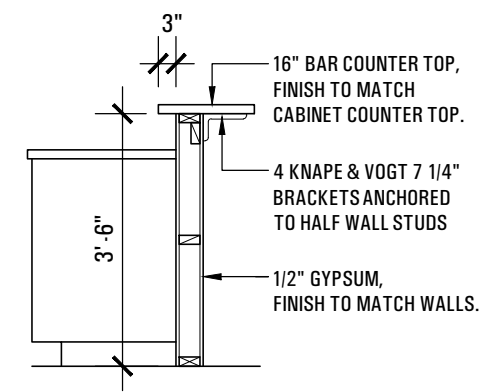
DRAWN BY: EMD

bcWORKSHOP
 DETAILS

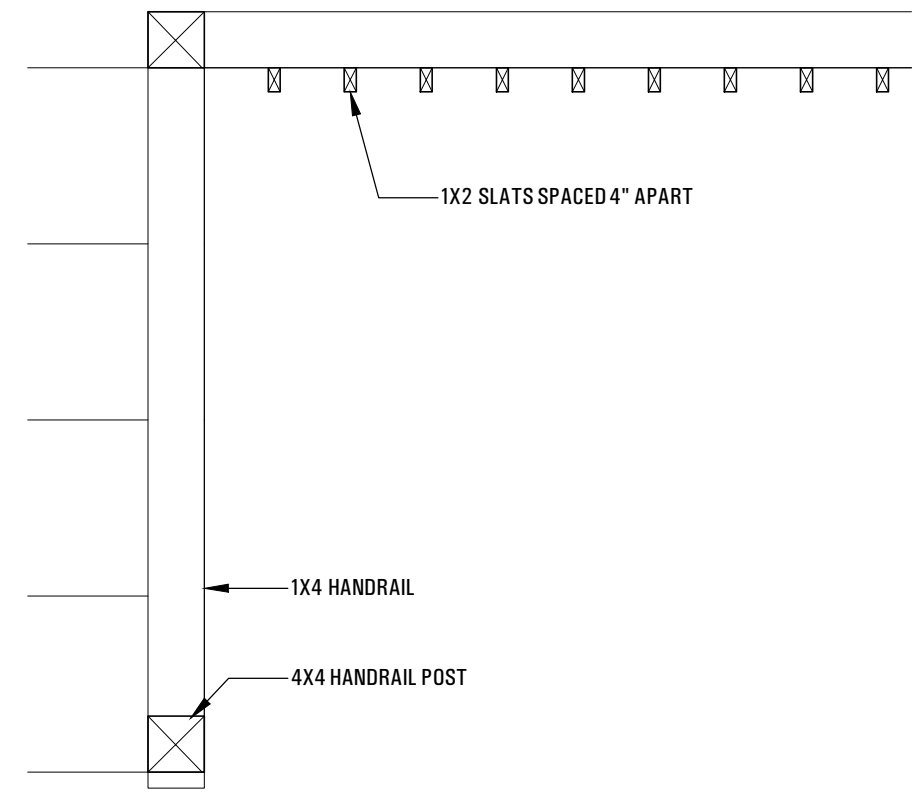
A601

A SERIES
 3 BED - 2 BATH
 HOUSTON, TX

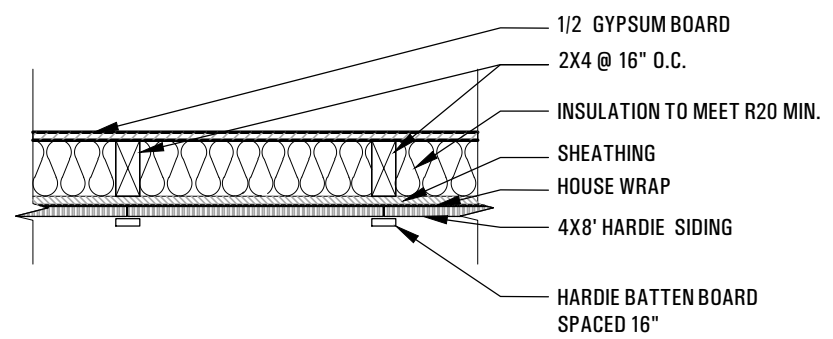
Architect
 bcWORKSHOP
 2007 Commerce Street
 Houston, TX 77002
 T 713-422-2601



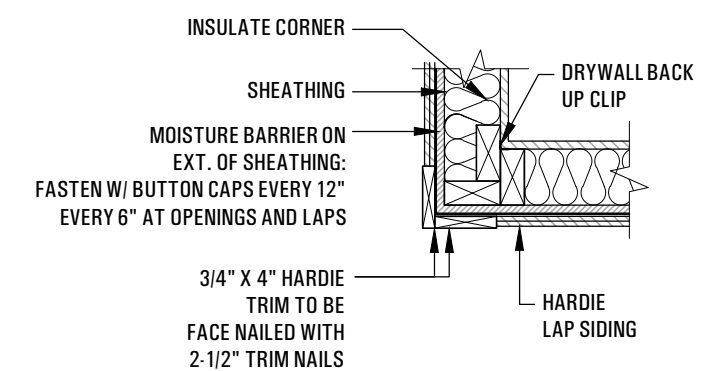
05 KITCHEN BAR SECTION [2 OPTIONS]
 1/4" = 1' 0' 6" 1' 2'



03 PORCH/HANDRAIL SLATS FLOOR PLAN DETAIL
 1 3/4" = 1' 0' 3" 6" 1'



02 BOARD AND BATTEN DETAIL
 1 3/4" = 1' 0' 3" 6" 1'



01 EXTERIOR CORNER FRAMING DETAIL
 1 3/4" = 1' 0' 3" 6" 1'

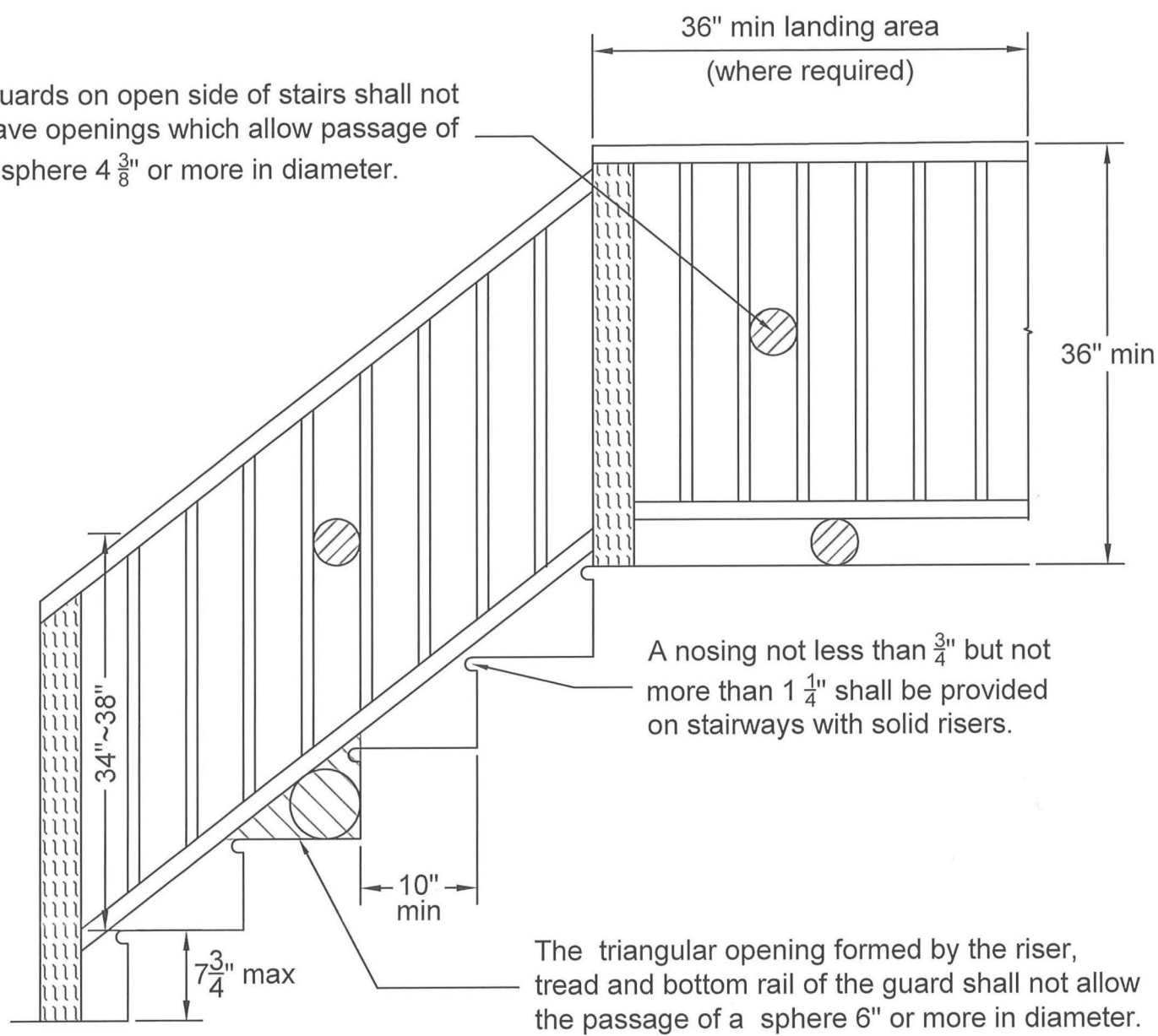
REVISIONS:	DATE
PRICING	09-16-2019
ISSUE FOR PERMIT	04-26-2021

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bcWORKSHOP
 DETAILS

A602

Guards on open side of stairs shall not have openings which allow passage of a sphere $4\frac{3}{8}$ " or more in diameter.

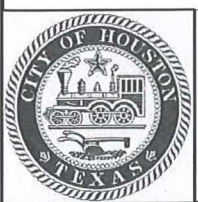


A nosing not less than $\frac{3}{4}$ " but not more than $1\frac{1}{4}$ " shall be provided on stairways with solid risers.

The triangular opening formed by the riser, tread and bottom rail of the guard shall not allow the passage of a sphere 6" or more in diameter.

Notes:

1. Individual stair treads shall be designed for a uniformly distributed live load of 40 psf or a 300 pound concentrated load acting over an area of 4 square inches, whichever produces the greater stress.
2. Guardrails and handrails shall be designed for a single concentrated load of 200 pound applied in any direction at any point along the top.



STANDARD DRAWING
CITY OF HOUSTON
 DEPARTMENT OF PUBLIC WORKS & ENGINEERING

RESIDENTIAL STAIR DETAILS
 1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY:
[Signature]
 BUILDING OFFICIAL
 DATE: 010/7/19 DWG NO: 19-06-R 1 OF 1

A SERIES
3 BED - 2 BATH
HOUSTON, TX

Architect
bcWORKSHOP
 2007 Commerce Street
 Houston, TX 77002
 T 713-422-2601

REVISIONS:	DATE
PRICING	09-16-2019
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bcWORKSHOP
 CITY OF HOUSTON
 DETAILS
A603



HCDD NEW DEVELOPMENT PROGRAM A SERIES 3 BED - 2 BATH HOUSTON, TX

Architect bcWORKSHOP 2007 Commerce Street Houston, TX 77002 T 713-422-2601

FOR USE IN ACRES HOME LARA LOT PROJECT ONLY

Table with 2 columns: REVISIONS, DATE. Includes entries for PRICING, ISSUE FOR PERMIT, and REVISIONS 1.

DRAWN BY: EMD

bcWORKSHOP SITE PLAN

A101

FLATWORK/LOT COVERAGE

Table listing coverage for BUILDING, RAMP, PORCH, CARPORT, OTHER STRUCTURE, DRIVEWAY, WALKWAY, and AC PAD.

Table showing TOTAL coverage for LOT and APPROACH.

Table showing COVERAGE percentage.

Table showing APPROACH coverage.

PROPOSED NEW FLATWORK

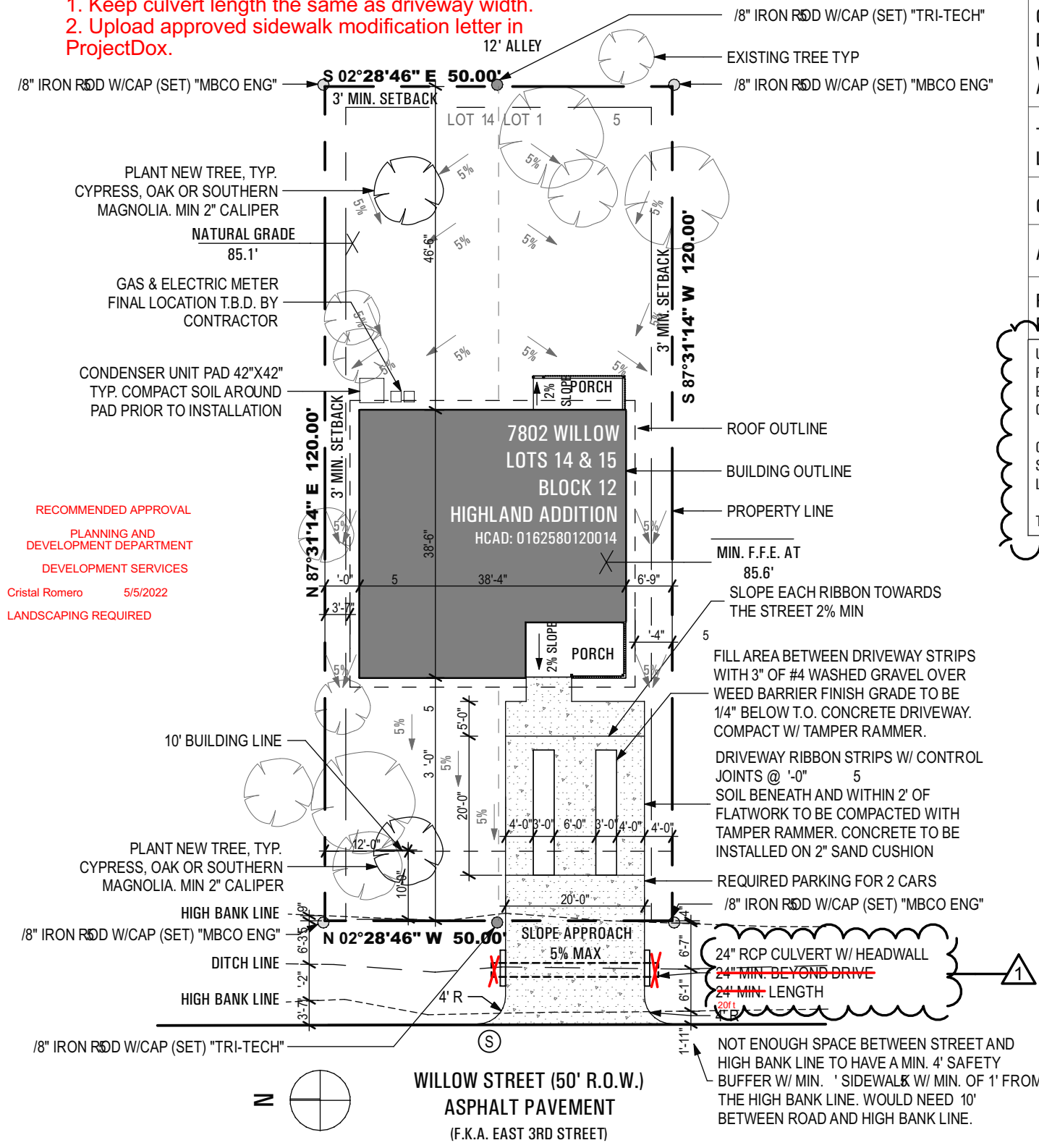
Table detailing UNCONDITIONED SPACE, FRONT PORCH, BACK PORCH, GARAGE, and CONDIOTNED SPACE.

APPROVED

Traffic Design

Lei Lei 5/6/2022

- 1. Keep culvert length the same as driveway width.
2. Upload approved sidewalk modification letter in ProjectDox.



RECOMMENDED APPROVAL PLANNING AND DEVELOPMENT DEPARTMENT DEVELOPMENT SERVICES
Cristal Romero 5/5/2022
LANDSCAPING REQUIRED

MINIMUM F.F.E IS SET AT 85.6' BASED ON THE C.O.H REQUIREMENTS OF 12" ABOVE NEAREST SANITARY MANHOLE. F.F.E FOR THIS PROPERTY HAS BEEN SET BASED ON SURVEYS PROVIDED TO BCWORKSHOP BY SUB-CONTRACTORS OF CONTRACTOR.

Table with columns: KEY, COMMON NAME, QTY, SIZE, SPACING, NOTES. Lists items like LOCAL SOD, TREE, and SHRUB.

- 1. ALL PLANTS AND SOD SHALL BE NURSERY BROWN, MATCH RESPECTIVELY, AND BE FULL & WELL ROOTED.
2. SPREAD TOPSOIL TO A DEPTH OF MINIMUM 2 INCHES OVER ENTIRE AREA TO BE SODDED.
3. CONTRACTOR TO NOTIFY OWNER OF FINAL SELECTION AND LOCATION FOR TREES AND SHRUBS.

- 1. THIS PROPERTY LIES WITHIN FLOOD ZONE "X" ACCORDING TO F.I.R.M. MAP NO. 48201C.
2. VERTICAL DATUM IS NAVD 1988, 2001 ADJUSTMENT.
3. SITE DRAWINGS ARE FOR REFERENCE AND LOCATION OF HOUSE FOOTPRINT AND FLATWORK IN RELATION TO THE PROPERTY LINE.

01 SITE PLAN

1" = 20'



REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
05/10/22

PROJECT INFORMATION

City Project Number: _____

Date: 05/04/2021

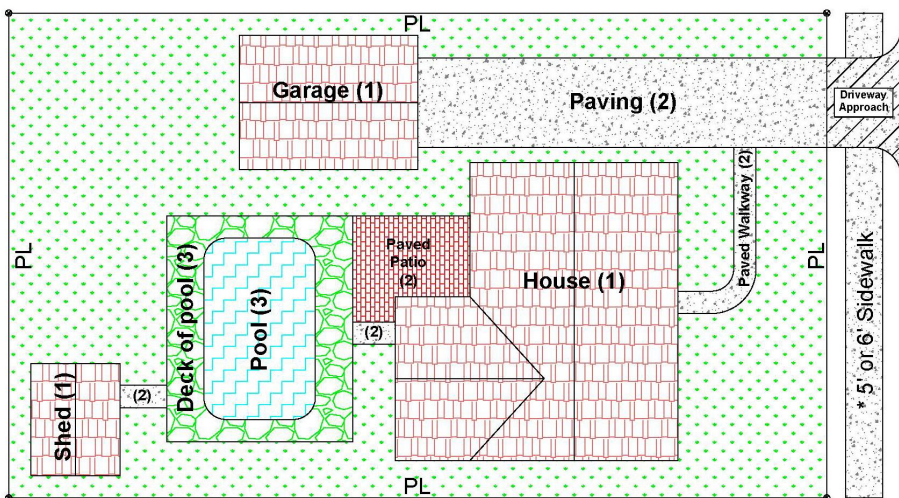
Address: 7802 Willow Street, Houston, TX 77088

Applicant's Printed Name: _____

Applicant's Signature: _____

CALCULATION OF IMPERVIOUS AREA PERCENTAGE

A. Total area of impervious cover located on private property.



This diagram is to assist in identifying the various items considered impervious.

* 6' sidewalk for major thoroughfare

	Existing Sq. Ft.		Addition Sq. Ft.		Final Sq. Ft.
1. Building(s) (e.g., house, garage, shed, carport)	1334	+	↔	=	1334 ↓+
2. Paving (e.g., driveway, sidewalk, patio. etc.)	182	+	↔	=	182 ↓+
3. Swimming Pool/Detention Ponds, etc.		+	↔	=	↓+
4. Others		+	↔	=	↓+
Totals	1516	+		=	1516 sq. ft. (A)

B. Total Area of Lot: 6000 sq. ft.

C. Percentage Impervious Area Calculation

$$\left(\frac{1516}{A} \div \frac{6000}{B} \right) \times 100 = \frac{25.27}{C} \%$$

NOTE: If > 65% , refer the Infrastructure Design Manual, Chapter 9, Section H for additional provisions.



Generated by REScheck-Web Software

Compliance Certificate

Project HCDD A Series Option 2

Energy Code: **2015 IECC**
 Location: **Houston, Texas**
 Construction Type: **Single-family**
 Project Type: **New Construction**
 Conditioned Floor Area: **1,334 ft²**
 Glazing Area **13%**
 Climate Zone: **2 (1371 HDD)**
 Permit Date:
 Permit Number:

AC Unit: XV18 TruComfort™ Variable
 Speed Model 4TTV8024A - 24,000 BTU
 or equivalent. ENERGY STAR Qualified

18 SEER Efficiency
R-8 Duct Insulation

Construction Site:
 7802 Willow St.
 Houston, TX 77088

Owner/Agent:
 City of Houston
 HOUSING AND COMMUNITY
 DEVELOPMENT DEPARTMENT

Designer/Contractor:
 bcWORKSHOP
 2007 Commerce Street
 Houston, TX 77002
 713-422-2601
 info@bcworkshop.org

Compliance: Passes using UA trade-off

Compliance: **22.8% Better Than Code** Maximum UA: **206** Your UA: **159** Maximum SHGC: **0.25** Your SHGC: **0.25**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
 It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	1,334	38.0	0.0	0.030	0.030	40	40
Wall: Wood Frame, 16" o.c.	1,221	20.0	0.0	0.059	0.084	60	86
Door 1: Solid Door (under 50% glazing)	20			0.170	0.400	3	8
Door 2: Solid Door (under 50% glazing)	20			0.170	0.400	3	8
Window 1: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6
Window 2: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6
Window 3: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6
Window 4: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6
Window 5: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6
Window 6: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6
Window 7: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6
Window 8: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6
Window 9: Vinyl Frame SHGC: 0.25	15			0.350	0.400	5	6

Project Title: HCDD A Series Option 2
 Data filename:

Report date: 02/09/22
 Page 1 of 10



21-19664

RESERVED FOR COMPLIANCE
 The presence of this review does not release the applicant from full responsibility to comply with all applicable code and regulations.
 05/10/22

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Window 10: Vinyl Frame SHGC: 0.25	12			0.350	0.400	4	5
Window 11: Vinyl Frame SHGC: 0.25	12			0.350	0.400	4	5
Floor 1: Slab-On-Grade (Unheated) Insulation depth: 0.0'	152		0.0	1.042	1.042	0	0

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Benje Feehan - Architect

Name - Title

Signature

00/. 7/2022

Date



REScheck Software Version : REScheck-Web

Inspection Checklist

Energy Code: 2015 IECC

Requirements: 100.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] ¹	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A401, A601
103.1, 103.2, 403.7 [PR3] ¹	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A403
302.1, 403.7 [PR2] ²	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr____ Cooling: Btu/hr____	Heating: Btu/hr____ Cooling: Btu/hr____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A301

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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21119664

REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
05/10/22

Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 [FO1] ¹	Slab edge insulation R-value.	R-____ <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	R-____ <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.2 [FO3] ¹	Slab edge insulation depth/length.	____ ft	____ ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11] ²	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.9 [FO12] ²	Snow- and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------



21119664

REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
05/10/22

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] ¹	Door U-factor.	U- ____	U- ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] ¹	Glazing U-factor (area-weighted average).	U- ____	U- ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.2, 402.3.3, 402.5 [FR3] ¹	Glazing SHGC value (area-weighted average).	SHGC: ____	SHGC: ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A401
402.4.1.1 [FR23] ¹	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A000
402.4.3 [FR20] ¹	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A301
403.3.1 [FR12] ¹	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A000
403.3.5 [FR15] ³	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A301
403.4 [FR17] ²	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R- ____	R- ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.4.1 [FR24] ¹	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)



21119664

REVIEWED FOR COMPLIANCE
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 05/10/22

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.5.3 [FR18] ²	Hot water pipes are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A000
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A301

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ²	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.1.1, 402.2.5, 402.2.6 [IN3] ¹	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] ¹	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A000

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [FI1] ¹	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [FI2] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A400
402.2.3 [FI22] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
402.2.4 [FI3] ¹	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A403
402.4.1.2 [FI17] ¹	Blower door test @ 50 Pa. ≤=5 ach in Climate Zones 1-2, and ≤=3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A301
403.3.4 [FI4] ¹	Duct tightness test result of ≤=4 cfm/100 ft ² across the system or ≤=3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A301
403.3.3 [FI27] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A301
403.3.2.1 [FI24] ¹	Air handler leakage designated by manufacturer at ≤=2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.1.1 [FI9] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.1.2 [FI10] ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1 [FI11] ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)



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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermos-syphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.2 [FI30] ²	Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
404.1 [FI6] ¹	75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps. Does not apply to low-voltage lighting.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A403
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)



21119664

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 05/10/22

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
401.3 [FI7] ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
303.3 [FI18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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2015 IECC Energy Efficiency Certificate

Insulation Rating		R-Value
Above-Grade Wall		20.00
Below-Grade Wall		0.00
Floor		0.00
Ceiling / Roof		38.00
Ductwork (unconditioned spaces):		<u>8.00</u>

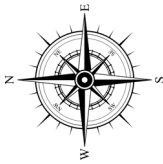
Glass & Door Rating		U-Factor	SHGC
Window		0.35	0.25
Door		0.17	

Heating & Cooling Equipment		Efficiency
Heating System:	<u>TRANE XB90</u>	<u>92.1 AFUE</u>
Cooling System:	<u>TRANE XV18</u>	<u>18 SEER</u>
Water Heater:	<u>RHEEM # XE38S06ST45U1</u>	<u>.93 UEF</u>

Name: _____ Date: _____

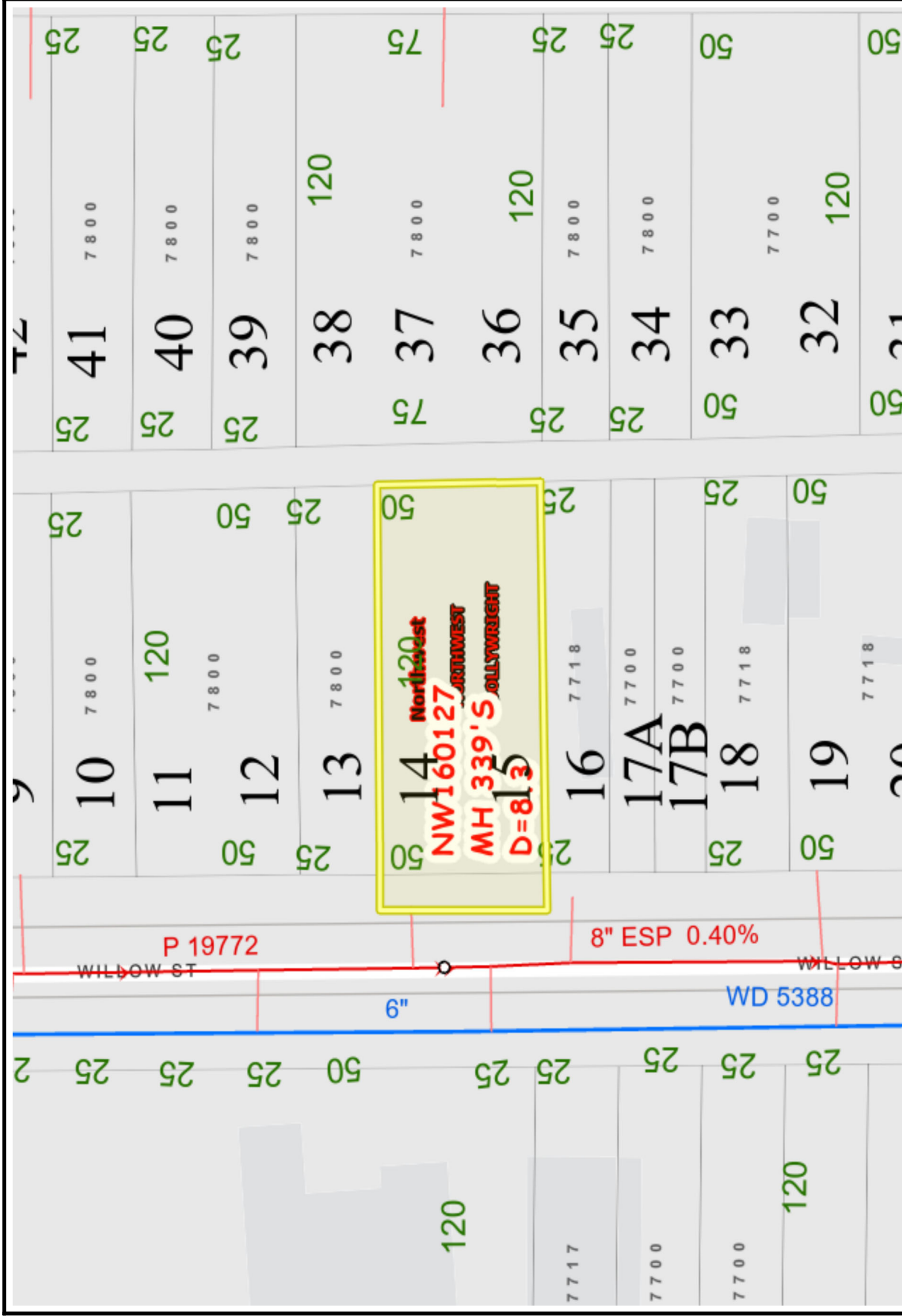
Comments

7802 Willow Street



Legend

- LandbaseAndRoads_gx
- City Limits
- Major Thoroughfares
- Proposed Freeway
- TBW Freeway
- Freeway
- Major Thoroughfare
- TBW Major
- Thoroughfare
- Proposed Major
- Thoroughfare
- Major Collector
- TBW Major
- Collector
- Proposed Major
- Collector
- Transit Corridor
- Street
- Proposed Grand
- Parkway
- OutsideWastewater_gx
- Meter
- Historical Flow
- Meter
- Fitting
- EndofLine
- Interconnect
- Sanitary Node



The following data sets were generated by and for the Houston Public Works Department. The asset information within this map are continually being updated, refined and are being provided for official use only and remains the property of the Houston Public Works Department. Providing this document to you does not constitute a release under the Freedom of Information Act (5 U.S.C. 552), and due to the sensitivity of the information, this document must be appropriately safeguarded. PLEASE NOTE that these data sets are NOT intended to be used as an authoritative geographic location or as a legal document and have no legal force or effect. Users are responsible for checking the accuracy, completeness, currency and/or suitability of these datasets, which are provided "AS IS".

REVIEWED FOR COMPLIANCE
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 05/10/22





December 22, 2021

Mr. Gonzalo E. Gonzalez
Houston Land Bank
P. O. Box 131106
Houston, Texas 77219

ILMS Project Number: 21124711 **WCR File Number:**

Legal Description: 0.1435 acre of land being Lots 14 and 15, Block 12, Highland Addition, located at 7802 Willow Street

Proposed Development: Construction of a single family residence

Wastewater:

Impact Fee: \$1,621.63
Admin Fee: \$29.72
Connection Point(s): 8-inch sewer in Willow Street
Proposed Service Units: 1.0000
Treatment Plant: Northwest
Pumping Station: Dollywright

Water:

Impact Fee: \$1,618.11
Admin Fee: \$29.72
Connection Point(s): 6-inch water main in Willow Street
Proposed Service Units: 1.0000

Pamela Armenta

For Rudy Moreno, Jr.
Deputy Assistant Director
Infrastructure and Development Services
CEH:RM:PA (Council District B)

For Carol Ellinger Haddock, P.E.
Director
Houston Public Works

This approval is subject to the standard City of Houston requirements and supplemental requirement(s) listed below.

Standard Requirements:

The City Engineer may, from time to time, revise the Houston Public Works Infrastructure Design Manual, resulting in changes to the design criteria and parameters that must be followed in the development of this site.

Wastewater discharges from non-domestic sources must be reviewed for organic loading capacity and industrial wastewater permit requirements. Contact the Industrial Wastewater Service at 832-395-5800 if the sanitary sewer discharge contains non-domestic waste. Failure to comply with industrial wastewater permit requirements may result in termination of service or other enforcement remedies according to Chapter 47 Article V of the City of Houston Code of Ordinances.

Please note, if the sanitary sewer line to which connection will be made is deeper than twenty feet (20'), or is larger than thirty-six

Mr. Gonzalo E. Gonzalez
Houston Land Bank
ILMS Project No 21124711
December 22, 2021



inches (36") in pipe diameter, then the connection must be made to the nearest existing manhole of the sanitary sewer line. Please contact Mr. Simon Tung in the City Engineer's Office at (832) 394-9135 prior to engineering the plans for connection.

Failure to pay the Impact Fees within six (6) months from the date of this letter will result in the expiration of this reservation and a new application must be submitted. If this project is not under construction within two (2) years from the date of this letter and a new application must be submitted. All fees must be paid prior to issuance of a building permit and may be paid online, by mail, or at 1002 Washington Avenue. A copy of the Impact Fee receipts and copy of this letter must be submitted with your construction plans when applying for a building permit. Plans must be approved by the Code Enforcement Branch of the Building and Development Services Division prior to the issuance of a permit.

Please note, the Wastewater and Water Impact Fees quoted above are not refundable for any reason including failure to obtain a building permit or failure to complete the project for any reason.

This information is based on the City of Houston Geographic Information Management System Maps. These maps are prepared utilizing the best information available to the City and the City cannot warrant their accuracy or completeness. The exact size and location of all utility lines should be field verified.

For direct inquiries, please contact Utility Analysis at (832) 394-8888 or email wcrtechs@houstontx.gov. Be sure to reference the ILMS project number listed in this letter.

Supplemental Requirement(s):

- Ordinances provide for a waiver of impact fees for houses (single family residences) that sell to the first-time purchaser for less than the median price of a home in Houston during the month the proposed home is permitted. Currently, the median price is approximately \$287,127. If you feel that your proposed development may qualify for this exemption, please do not pay the impact fees referenced in this letter and make certain that you fill out an Impact Fee Exemption Form at 1002 Washington Avenue when applying for a building permit.

HIGHLAND

Addition to Houston.

I, H. V. Fletcher, a civil engineer of Houston, Texas, do hereby certify that the attached plat is a true and correct copy of the sub-division of Highland Addition to Houston, Harris County, Texas, as staked by me in November 1910, being lots 10 to 27 inclusive and lots 42 to 59 inclusive, all in block 2 Highland Acre Homes as platted by O E Stinson and recorded Sept 8th 1910 in Volume 3 Page 45, Record of maps and plats of Harris County, Texas

H V Fletcher, Civil Engineer

The State of Texas, County of Harris

The Wright Land Company, the owner of the tract shown on this plat, does hereby subdivide the same according to said plat, and do now dedicate to the use of the public all streets and avenues as shown on same, subject to the following reservations:

First: The fee simple title to each and all of said streets and avenues as against the general public and as against all persons who have purchased, or will purchase lots abutting on any of said streets is expressly reserved and retained by the said The Wright Land Company, or its assigns, and no part of said title is hereby conveyed.

Second: The said The Wright Land Company or its assigns reserves the right to close and discontinue any street or streets between any blocks if no lot abutting the portions of the streets to be closed have been sold

Third: The exclusive right to place poles in said streets whether the same be for stringing electric wires or for any other purposes is reserved. No street car or railroad of any kind whatsoever shall be operated in any of the streets nor shall any track for a street car or railroad be laid in said streets without the consent of the said The Wright Land Company or its assigns.

In witness whereof, The Wright Land Company has caused this plat to be signed by its President and attested by its corporate seal, this 22nd day of November 1910

The Wright Land Company
By A. A. Wright, Pres

(seal)
Attest: R. L. Wright, Secretary

The State of Texas, County of Harris. Before me J. J. Hardaway, a Notary Public in and for Harris County, Texas, on this day personally appeared A A Wright, President and Presiding Member of The Wright Land Company, and R. L. Wright, Secretary thereof, both known to me to be the persons whose names are subscribed to the foregoing instrument, and they acknowledged to me that the said corporation executed the foregoing instrument by and through them as its President and Secretary and that they executed the same as the act and deed of said corporation, for the purposes and considerations therein expressed

Given under my hand and seal of office this 22nd day of November 1910
(seal) J. J. Hardaway, Notary Public in and for Harris County, Texas

File No. 75004

Filed for Record - Nov 26, 1910 at 3 o'clock P.M. Recorded - December 2nd 1910 at 9.20 o'clock P. M. *[Signature]* Clerk County Court Harris Co. Texas *[Signature]* Deputy

