

ADDENDUM

Document 00910

ADDENDUM NO. 3

Date of Addendum: 2-10-2025

PROJECT NAME: Lake Houston Wilderness Park Cottages

PROJECT NO: WBS No F-HAR014-0001-4-01-01 ; F-HAR014-0001-4-01-02

BID DATE: February 20, 2025

FROM: City of Houston, General Services Department
900 Bagby, 2nd Floor, City Hall Annex
Houston, Texas 77002
Attn: Thomas McWhorter, Project Manager

TO: Prospective Proposers

This Addendum forms a part of the Bidding Documents and will be incorporated into the Contract, as applicable. Insofar as the original Project Manual and Drawings are inconsistent, this Addendum governs.

CHANGE IN BID DATE

The Bid Date for this Project is changed from FEBRUARY 13, 2025 to **FEBRUARY 20, 2025**. Time of day and place for submittal of Bid remains the same.

This Addendum uses the change page method: remove and replace or add pages, or Drawing sheets, as directed in the change instructions below. Change bars (|) are provided in the outside margins of pages from the Project Manual to indicate where changes have been made; no change bars are provided in added Sections. Reissued Drawing Sheets show the Addendum number below the title block and changes in the Drawing are noted by a revision mark and enclosed in a revision cloud.

CHANGES TO PROJECT MANUAL

INTRODUCTORY INFORMATION

1. Document 00010F – Table of Contents. Remove and Replace it in its entirety.

SPECIFICATIONS

2. Section 329200 – Turf and Grasses_ADD03. Add attached Section 329200 – Turf and Grasses_ADD03, to Specifications.

CHANGES TO DRAWINGS

3. G0-06, SITE ACCESS, Add and replace with revised sheet which: Updated site access routes and laydown area per Bidder Site Visit.
4. C5-00 STANDARD PAVING DETAILS, Add and replace with revised sheet which: Added Detail SK-1 for Compacted Crushed Rock for access road per bidder questions referencing Sheet G0-06 note **{Contractor to provide built up stable gravel base for duration of construction for vehicular access}**.
5. A1-01- FLOOR PLAN - #24 BUNKHOUSE, Add and replace with new sheet which: Added Fire Extinguisher locations per Permit Review comments
6. A1-02- FLOOR PLAN - #12 BUNKHOUSE, Add and replace with new sheet which: Added Fire Extinguisher locations per Permit Review comments
7. A2-01- RCP - #24 BUNKHOUSE, Add and replace with new sheet which: Revised General Notes to clarify Fire Sprinkler System requirements and bidder questions
8. A2-02- RCP - #12 BUNKHOUSE, Add and replace with new Sheet which: Revised General Notes to clarify Fire Sprinkler System requirements per Permit Review comments and bidder questions
9. F1-01- FIRE ALARM PLAN - #24 BUNKHOUSE, and replace with new version to include additional fire suppression details
10. F1-02- FIRE ALARM PLAN - #12 BUNKHOUSE, Add and replace with new version to include additional fire suppression details
11. P1-01- PLUMBING PLAN - #24 BUNKHOUSE, Add and replace with new sheet which: Added note clarifying Fire Sprinkler System requirements; updated Note 6 to clarify water flow detection alarm
12. P1-02- PLUMBING PLAN - #12 BUNKHOUSE, Add and replace with new sheet which: Added note clarifying Fire Sprinkler System requirements; updated Note 6 to clarify water flow detection alarm

CLARIFICATIONS

13. Q: Reviewing the plans, mechanical schedule is calling for 9 indoor units and 9 condenser units, but on plans we can only spot 6 indoor and outdoor units, also they are numbered skipping fcu1 fcu2 fcu3 and cu1 cu2 cu3. Can you please clarify how many units are we actually installing for this project?
A: (6) units is correct. The extra units noted on the schedule that are not indicated on plan are related to scope that is not included in this Bid Package (the Ranger Cabin and Intern Cabins).
14. Q: Will you accept other commercial window manufacturers for this project?
A: Yes; the specifications list Western Windows Series 600 & 610 as the Basis of Design; Manko Window Systems and Wassau Window Systems are also listed as acceptable manufacturers and do not require a Substitution Request.
15. Q: On page A7-00 of the architectural drawings, there are no aluminum window details only aluminum storefront. Are there going to be any aluminum window details issued for this project?
A: Window details shown are diagrammatic in nature. Details pertaining to the exact manufacturer/system selected shall be submitted via shop drawings; if clarifications or modifications to the details are required based on the specific manufacturer/system submitted, those will be issued during Construction as drawing revision via Architect's Supplemental Instructions (ASI).
16. Q: Where are the storefront and door specifications?
A: No storefront/storefront doors are intended for this project. Doors labeled "AL" with Frame Type AL-A shall be Stile-And-Rail Wood Doors with glass infill (Spec Section 081433) with wood door frames (Spec Section 062000).
17. Q: Where are the glass (not Mirrors) specifications?
A: Glass for windows is specified in Section 085113; Glass lites in door panels is specified in Section 081433.
18. Q: Are there project-out vents in storefront in this project?
A: No; operable windows are specified as Double-Hung per Spec Section 085113.
19. Q: Is the electrical line already run from the nature center across the pedestrian bridge to the Project Location?
A: This is not an electrical line. It is a data line that is not to be included in this scope.

20. Q: Please provide a specification for the Road base for the access drive.
A: See revised Sheet C5-00 STANDARD PAVING DETAILS – detail (SK1_Paving Detail) for paving details regarding the roadway which supplements the previous version of Sheet C5-00.
21. Q: Can we please get an extension on this bid? Historic freeze this week made it very difficult to get job walks set up and compile pricing.
A: Change in bid date is included in this addendum.
22. Q: Please confirm new lift station and piping for it is excluded from this RFP? Lift station was found to be existing during walkthrough.
A: Lift station shown on plans is for reference only and is not included in project scope.
23. Q: During walkthrough, access path changed from what is on drawing G0-06. Please confirm that we are only to build up the trail for construction access starting from the “blocked road” sign? Can you guys revise the access plan and send out?
A: You are only to build up the road from the “blocked road” sign to the end of the road where the turnaround is to be created. Delete Sheet G0-06, SITE ACCESS, and replace with replacement Sheet G0-06 SITE ACCESS as specified in “CHANGES TO DRAWINGS” section above.
24. Q: Please provide a detail on materials and how to build up the existing trail road?
A: A paving detail is included in the replacement sheet C5-00 STANDARD PAVING DETAILS – detail (SK1_Paving Detail). You are only to build up the road from the “blocked road” sign to the end of the road where the turnaround is to be created. New replacement Sheet G0-06 SITE ACCESS provides clarification on revised site access. Both replacement drawing sheets are noted in “CHANGES TO DRAWINGS” section above.
25. Q: Please confirm that we are not to widen trail for access.
A: You are not to widen trail for access. Refer to Drawing G0-06, SITE ACCESS, included in “CHANGES TO DRAWINGS” section above.
26. Q: Please confirm that all built up access and stabilization is to remain after project is completed.
A: All Built up access and stabilization to remain after the project is completed.

27. Q: Please confirm that contractor is to bid an additional built road past construction site for a turning radius. Please advise on turning radius dimensions.
A: Refer to Drawing G0-06, SITE ACCESS, included in "CHANGES TO DRAWINGS" section above. The contractor is to create a turnaround wide enough for the largest piece of equipment/vehicle needing direct access to the building site. There is a lay down yard/staging area that has better access for large equipment.
28. Q: Please confirm that future conduit for data is not included in this RFP. This conduit is specified to be empty and will have no impact on Fire Alarm.
A: The data line and conduit are not to be included in this scope.
29. Q: Please confirm that we are only constructing (2) bunk houses. Ranger station and gates and any other construction is excluded from this RFP.
A: Per published plans and advertisement, contractor will construct two bunk houses. References to Ranger house and Intern Cabin and associated gates are for informational only and are not included in this project scope.
30. Q: Please confirm that no landscaping or finishing is included. Disturbed areas are to be graded as per drawings only.
A: All soil disturbed by construction activities, including but not limited to utility work, grading, laydown, and construction access, shall be stabilized with St. Augustine sod plugs. See attached specification "32 9200 - Turf and Grasses" for requirements for sodding disturbed areas.
31. Q: Drawings show only smoke detectors in cottages. Project Manual makes vague references to fire alarm systems. Please confirm that contractor is to install smoke detectors interlocked within each cottage. No fire alarm system is to be installed that reports to a main panel.
A: Fire alarm system with reporting is not required. Install smoke detectors and sprinklers as indicated in the drawings and specs.
32. Q: Please confirm no fire sprinklers in RFP.
A: Fire sprinklers are required as part of the project. Please see revised drawings: A1-01 , A1-02 , A2-01 , F1-01 , F1-02 , A2-02 , P1-01 and P1-02 , which make reference to these requirements and existing Spec, Division 28 – "284600 RIB Fire Detection and Alarm".
33. Q: Please provide minority and small business percentage goals for this job?
A: The project goals are 18% MBE and 6% WBE.

ADDENDUM

34. Q: Please provide GC self-performance goals for this project?
A: The Prime may self-perform up to 50% of the total advertised goal. In this case, the total advertised goal is 24.00%. The Prime may self-perform up to 12.00% for goal credit.
35. Q: Please confirm there is no Buy America Standards.
A: Buy America is not applicable for this project.

END OF ADDENDUM NO. 3

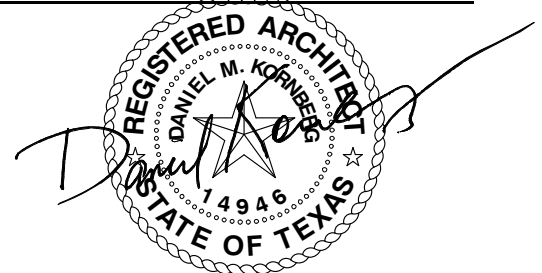
(LJ: )
Richard Vella
Assistant Director
Real Estate, Design & Construction Division
General Services Department

DocuSigned by:
Richard Vella
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DATED: 2/10/2025

Document 00010F
 Federally Funded

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02.05.2025

NOTE: Capitalized Specification Sections are included in <https://www.houstonpermittingcenter.org/media/6386/download>, and are incorporated in Project Manuals by reference as if copied verbatim. Documents listed "for filing" are to be provided by Bidder and are not included in this Project Manual unless indicated for example only. The Document numbers and titles hold places for actual documents to be submitted by Contractor during Bid, post-bid, or construction phase of the Project. Specification Sections marked with an asterisk (*) are amended by a supplemental specification, printed on blue paper and placed in front of the Specification it amends. Documents in the 00200, 00300 and 00400 series of Division 00, except for Document 00410B – Bid Form, Part B, are not part of the Contract.

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SPECIFICATIONS

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END OF DOCUMENT

**SECTION 32 92 00
TURF AND GRASSES**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Preparation of subsoil.
- B. Fertilizing.
- C. Sod installation.
- D. Maintenance.

1.02 RELATED REQUIREMENTS

- A. Section 31 22 00 - Grading: Preparation of subsoil in preparation for work of this section.

1.03 REFERENCE STANDARDS

- A. TPI (SPEC) - Guideline Specifications to Turfgrass Sodding; 2006.

1.04 SUBMITTALS

- A. See Section 01 30 00 - Administrative Requirements, for submittal procedures.
- B. Certificate: Certify grass species and location of sod source.
- C. Fertilizer mix design

1.05 DELIVERY, STORAGE, AND HANDLING

- A. Deliver sod on pallets. Protect exposed roots from dehydration.
- B. Do not deliver more sod than can be laid within 24 hours.

PART 2 PRODUCTS

2.01 MATERIALS

- A. Sod: St. Augustine, plug-type sod, not less than 3 inches square.
- B. Topsoil: Excavated from site and free of weeds, clay, or impurities.
- C. Fertilizer: recommended for grass, with fifty percent of the elements derived from organic sources; containing nitrogen, phosphorus, and potash, of proportion necessary to eliminate any deficiencies of topsoil. At least 50% of the nitrogen component shall be a slow-release formulation
- D. Water: Clean, fresh and free of substances or matter that could inhibit vigorous growth of grass.

2.02 ACCESSORIES

- A. Wood Pegs: Softwood, sufficient size and length to ensure anchorage of sod on slope.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that prepared soil base is ready to receive the work of this section.

3.02 PREPARATION

- A. Prepare subgrade in accordance with Section 31 22 00.
- B. Loosen subgrade to a depth of 2 inches
- C. Place topsoil to a minimum depth of 1 inch, or not less than is required to align with adjacent surfaces as specified below

3.03 FERTILIZING

- A. Apply fertilizer in accordance with manufacturer's instructions.
- B. Apply after smooth raking of topsoil and prior to installation of sod.
- C. Apply fertilizer no more than 48 hours before laying sod.
- D. Mix thoroughly into upper 2 inches (50 mm) of topsoil.
- E. Lightly water to aid the dissipation of fertilizer.

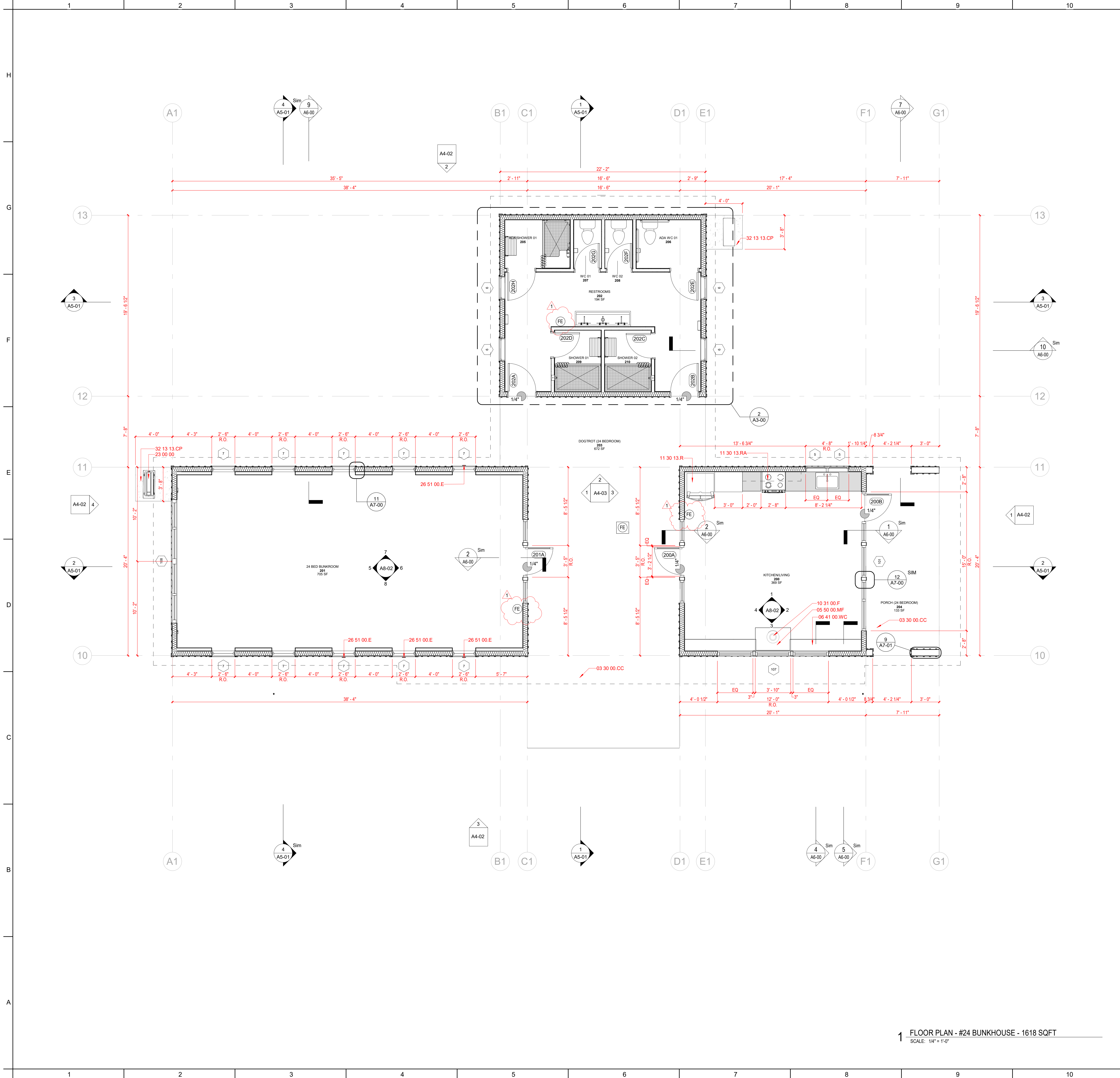
3.04 LAYING SOD

- A. Moisten prepared surface immediately prior to laying sod.
- B. Lay sod immediately after delivery to site to prevent deterioration.
- C. Create furrows approximately not less than 18 inches apart. Apply fertilizer uniformly in the furrows.
- D. Plugs shall be planted no more than 18 inches apart with the top of the plugs no less than 1/2 inch below final grade when plugs have been firmed against the bottom of the furrow. Soil shall be firmed against all sides of the sod. Sod shall not be covered by soil.
- E. Where new sod adjoins existing grass areas, align top surfaces.
- F. Where sod is placed adjacent to hard surfaces, such as curbs, pavements, etc., place top elevation of sod 1/2 inch (13 mm) below top of hard surface.
- G. Water sodded areas immediately after installation.

3.05 MAINTENANCE

- A. Provide maintenance at no extra cost to Owner; Owner will pay for water.
- B. Maintain sodded areas immediately after placement until grass is well established and exhibits a vigorous growing condition.
- C. Mow grass at regular intervals to maintain at a maximum height of 2-1/2 inches (65 mm). Do not cut more than 1/3 of grass blade at any one mowing.
- D. Neatly trim edges and hand clip where necessary.
- E. Immediately remove clippings after mowing and trimming.
- F. Water to prevent grass and soil from drying out.
- G. Roll surface to remove irregularities.
- H. Control growth of weeds. Apply herbicides in accordance with manufacturer's instructions. Remedy damage resulting from improper use of herbicides.
- I. Immediately replace sod to areas that show deterioration or bare spots.
- J. Protect sodded areas with warning signs during maintenance period.

END OF SECTION



GENERAL SHEET NOTES

A. Do not scale drawings. Use figure dimensions only.

B. Field verify all dimensions and existing conditions before proceeding with work.

C. The note "No Work in This Area" is a general statement. Some MEP work and architectural work may be required in these areas to complete a system to operational status, for minor renovation, for touch up work, or for verification of existing conditions (i.e. previously inaccessible areas) pertinent to the scope of work. Verification of such a condition may or may not impact the project and will be evaluated on a case by case basis.

D. Refer to sheet **G0-05** for partition types.

E. Where enlarged plans or partial plans are referenced, dimensions, notes, special detailing, and finish requirements are noted on the reference sheets and are omitted on the smaller scale plans.

F. Where openings are located immediately adjacent to a perpendicular wall, locate 4 1/2" from the adjoining wall to allow for double studs, gypsum board, shims & frame.

G. Provide 1'-0" clearance between latch side of in-swing doors and adjacent perpendicular walls.

H. Refer to sheet **A8-10** for cabinet types.

I. Refer to **G0-04** for standard mounting heights.

J. Where any equipment is wall mounted, provide blocking in wall.

K. GC to coordinate installations of vendor installed equipment.

L. Provide access panels in toilet rooms as required by code & authorities having jurisdiction over the project. Coordinate panel location with design team prior to installation.

M. Where specific dimensions are not included at column furring:
 - Align face of furring w/ adjacent partition or construction, or
 - Minimize protrusion of furring into the space.
 * If in doubt, request written clarification from architect prior to proceeding

N. All interior dimensions are from finished face or centerline of column.

O. Reference FF&E sheets for additional furniture information and placement.

KEYNOTES

Key Value	Keynote Text
03 30 00.CC	Cast-in-Place Concrete
05 50 00.MF	Metal Fabrication
06 41 00.WC	Architectural Wood Casework
10 31 00.F	Manufactured Fireplace
11 30 13.R	Refrigerator, Refer to FF&E
11 30 13.RA	Range, Refer to FF&E
23 00 00	Mechanical Equipment and Accessories, Refer to Mech.
26 51 00.E	Exterior Lighting
32 13 13.CP	Concrete Paving

SHEET NOTES

PROJECT TEAM

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 City of Houston - Parks & Rec. Dept.
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ISSUES & REVISIONS

No.	Date	Revision
1	2/5/25	ADD03 - Permit/Bid Revisions

Project Name:
PRD HARVEY RESTORATION PROJECTS - LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
 City of Houston - LHWPBR
 25840 FM 1485
 New Caney, TX 77357

FLOOR PLAN - #24 BUNKHOUSE

A1-01
 SCALE: As indicated

Issue / Revisions:
 7/21/2023
 ISSUE FOR PERMIT & CONSTRUCTION

Harrison Kornberg ARCHITECTS

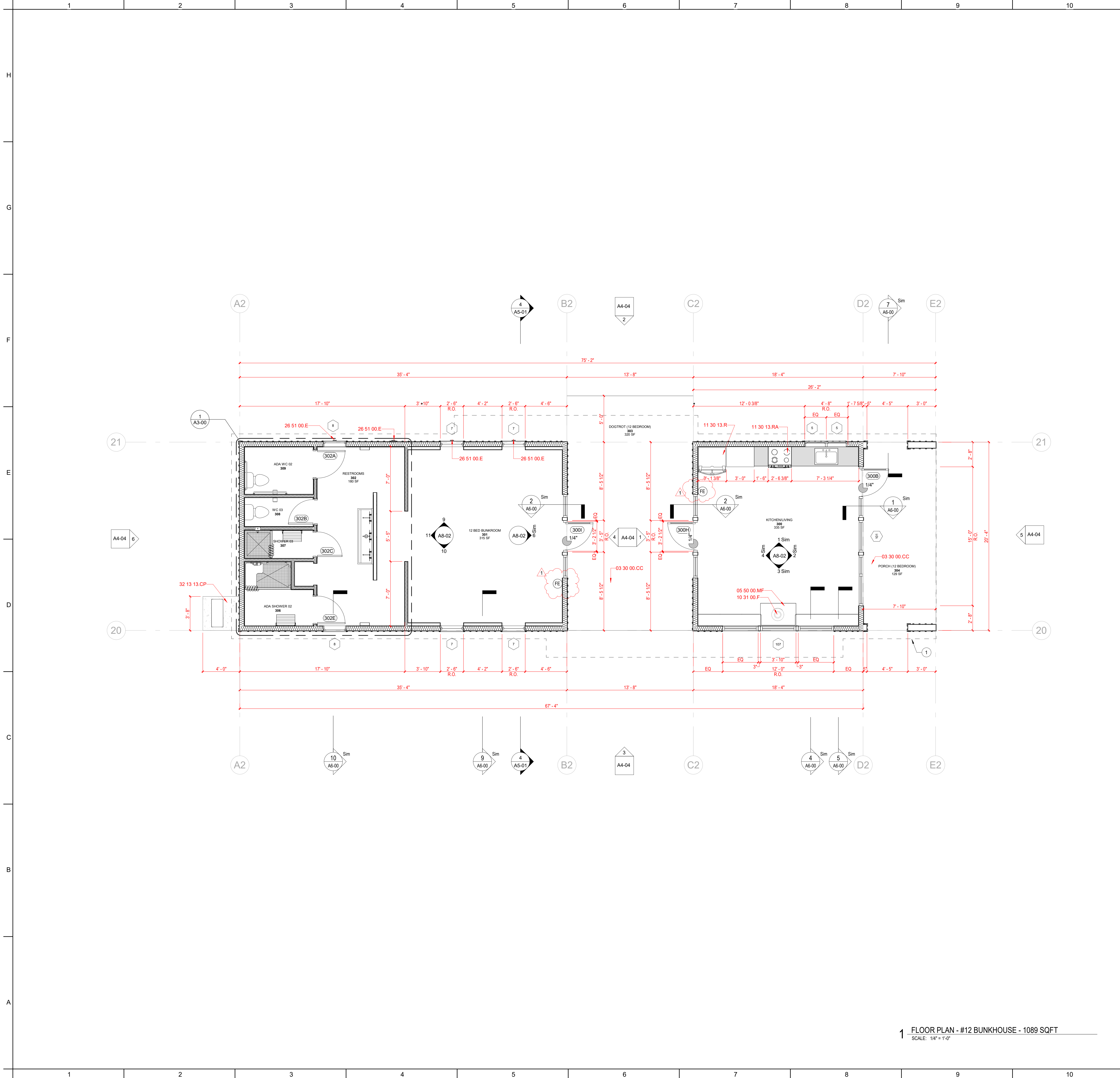
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KEY PLAN

1 FLOOR PLAN - #24 BUNKHOUSE - 1618 SQFT
 SCALE: 1/4" = 1'-0"



GENERAL SHEET NOTES

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KEYNOTES

Key Value	Keynote Text
03 30 00.CC	Cast-in-Place Concrete
05 50 00.MF	Metal Fabrication
10 51 00.F	Manufactured Fireplace
11 30 13.R	Refrigerator, Refer to FF&E
11 30 13.RA	Range, Refer to FF&E
26 51 00.E	Exterior Lighting
32 13 13.CP	Concrete Paving

SHEET NOTES

Note Number	Note Text
1	Roof projection in dashed line; RE: Roof Plans

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ISSUES & REVISIONS

No.	Date	Revision
1	2/5/25	ADD03 - Permit/ Bid Revisions

Project Name:
PRD HARVEY RESTORATION PROJECTS - LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
 City of Houston - LHWPBR
 25840 FM 1485
 New Caney, TX 77357

FLOOR PLAN - #12 BUNKHOUSE

A1-02
 SCALE: As indicated

Issue / Revisions:
 7/21/2023
 ISSUE FOR PERMIT & CONSTRUCTION

Harrison Kornberg
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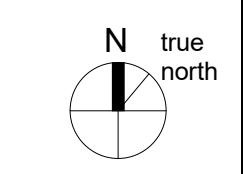
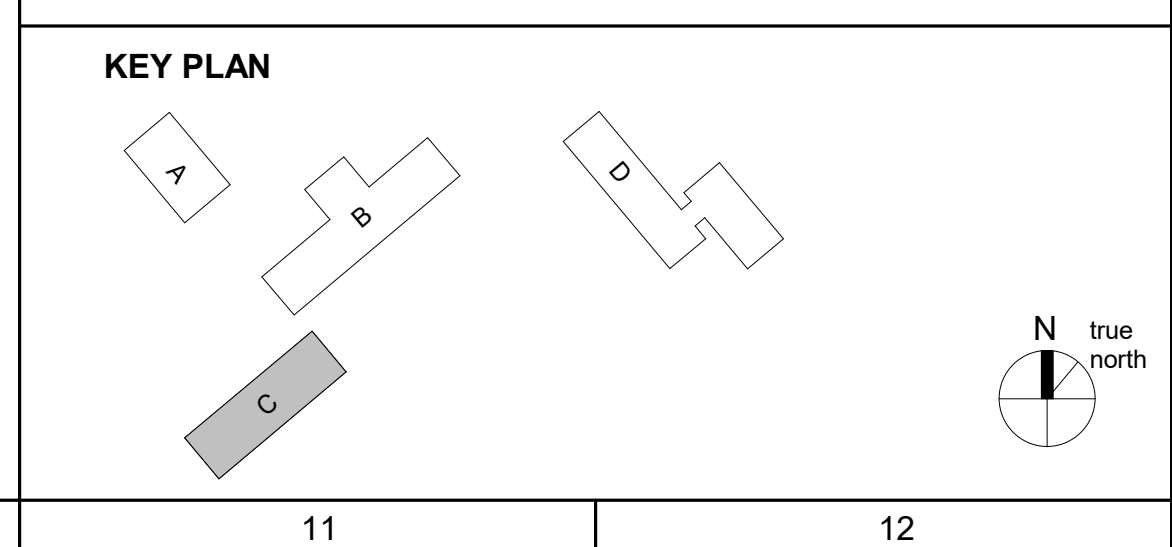
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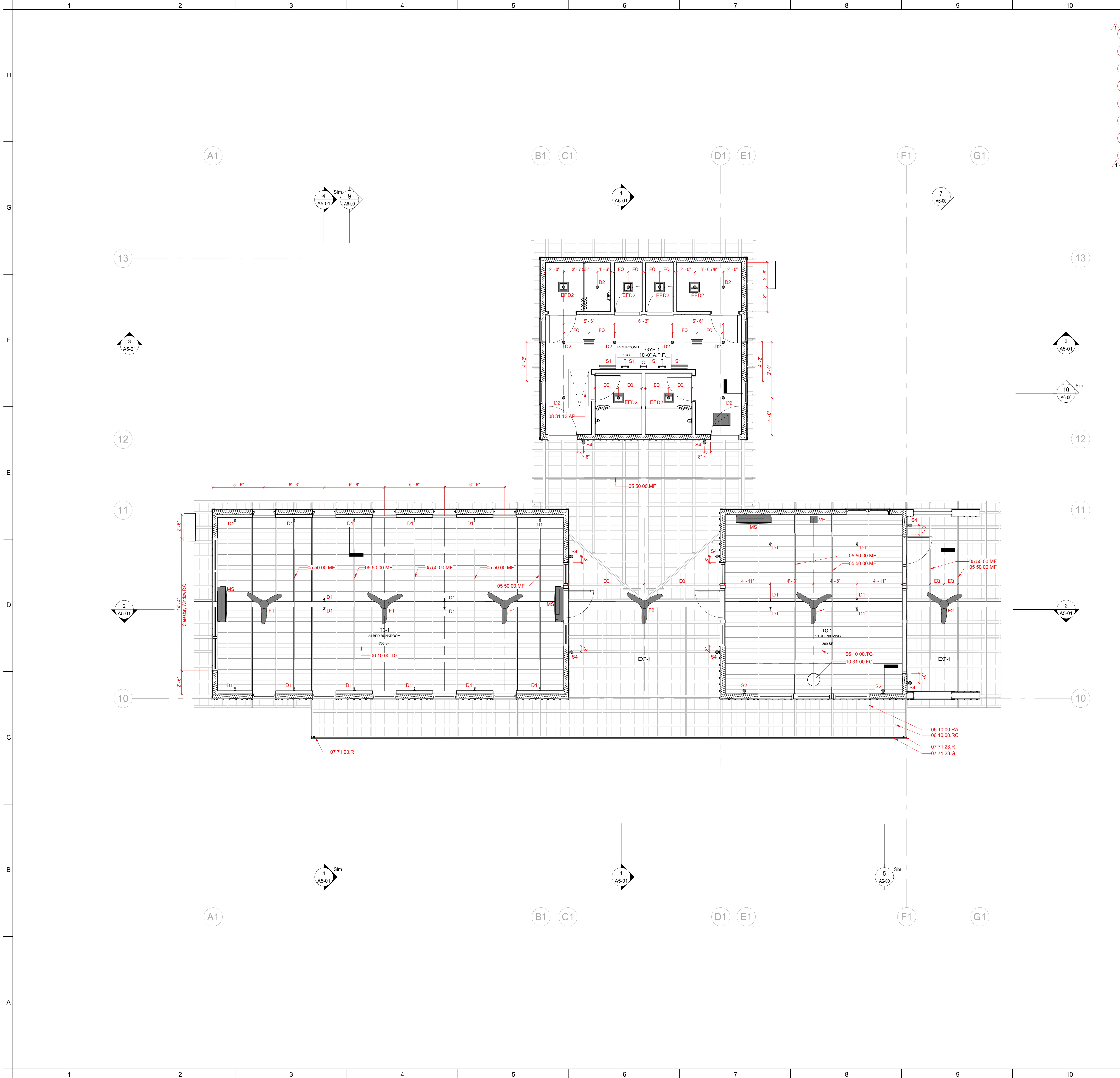
Project Name:
PRD HARVEY RESTORATION PROJECTS - LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
 City of Houston - LHWPBR
 25840 FM 1485
 New Caney, TX 77357

FLOOR PLAN - #12 BUNKHOUSE

A1-02
 SCALE: As indicated

1 FLOOR PLAN - #12 BUNKHOUSE - 1089 SQFT
 SCALE: 1/4" = 1'-0"





GENERAL SHEET NOTES

A. Refer to **Finish Schedule** for further definition of ceiling materials and finishes.

B. See **Fire Alarm Sheet** for location of Smoke Detectors.

C. Fire Sprinkler System is required. Contractor shall engage a registered firm to design and submit Fire Sprinkler plans directly to the Montgomery County Fire Marshal's Office for review and approval prior to installation. Sprinkler System shall include a Water Flow Alarm; see Fire Alarm Sheets. Sprinkler System shall be designed and installed in accordance with the Specifications in Division 21 and comply with the following codes and standards:
 - IFC Sec. 903
 - Montgomery County Exhibit A
 - NFPA 13R

D. Coordinate all locations of additional ceiling mounted equipment with architect that are not indicated on the RCP.

KEYNOTES

Key Value	Keynote Text
05 50 00.MF	Metal Fabrication
06 10 00.RA	Roof Wood Rafter 2x10 with Birdsmouth cut to 5 1/2"
06 10 00.RC	Rough Carpentry
06 10 00.TG	T&G Pine Board
07 71 23.G	Alumn. Gutter
07 71 23.R	Rain chain
08 31 13.AP	Access Panel
10 31 00.FC	Manufactured Fireplace Chimney

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PROJECT TEAM

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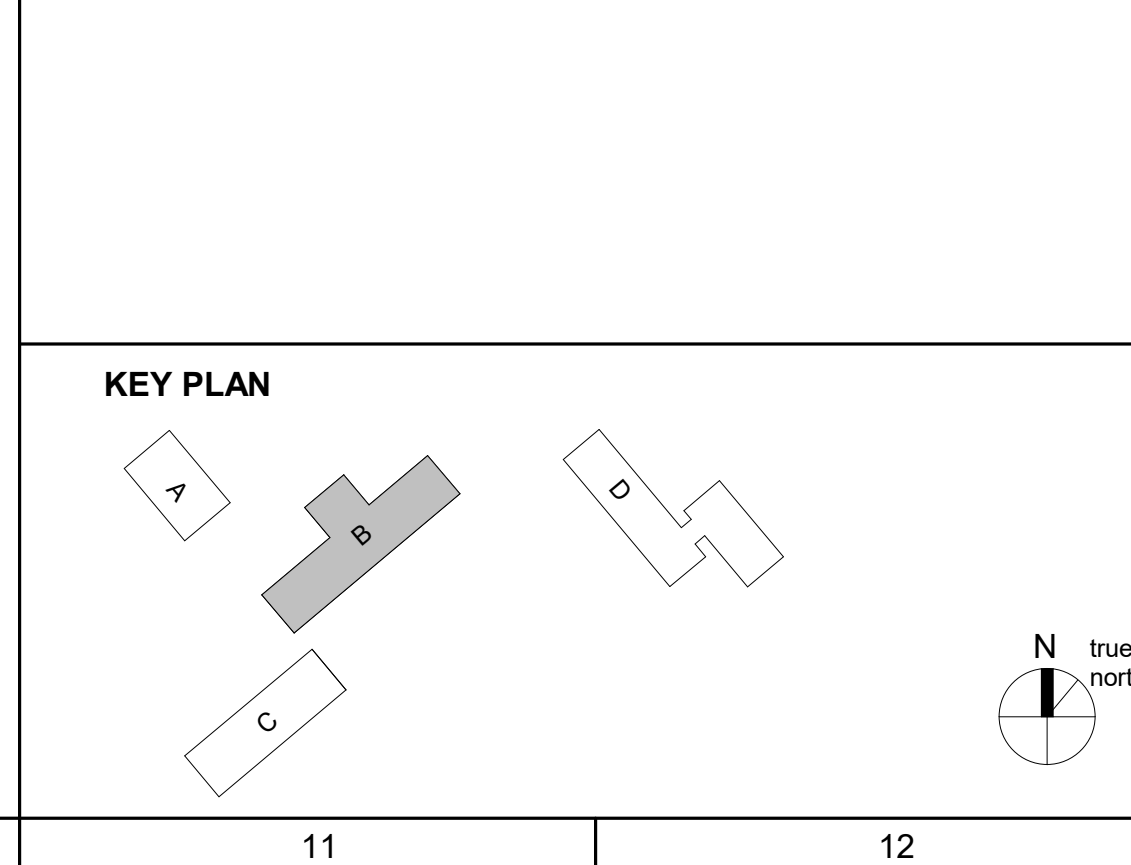
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SHEET NOTES

F1 - Interior fan w/light kit	Gypsum Ceiling GYP-1: Painted PT-1
F2 - Exterior fan w/light kit	T&G Wood: Stained finish TG-1: Stained
P1 - Pendant: kitchen island	PLY-1: Veneered Plywood
P2 - Pendant: dining table	EXP-1: Exposed Roof Decking, Joists, & Rafters
D1 - Downlight Surface mid.	Attic access hatch Painted PT-1
D2 - Downlight Recessed	
S1 - Sconce linear: restroom	
S2 - Indoor sconce: direct/indirect	
S3 - Surface light	
S4 - Exterior sconce: direct/indirect	
SS - Exterior sconce: direct only	
UC - Under cabinet LED tape light	
ML - Motion Light	
EF - Exhaust fan	
VH - Vent Hood: side wall	
GO - Garage door opener	
MS - Mini split system	



Issue / Revisions:
 7/21/2023
 ISSUE FOR PERMIT & CONSTRUCTION

HarrisonKornberg
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06 10 00.RA	Roof Wood Rafter 2x10 with Birdsmouth cut to 5 1/2"
06 10 00.RB	Roof builtup Ridge Beam
06 10 00.RC	Rough Carpentry
06 10 00.TG	T&G Pine Board
07 71 23.G	Alumn. Gutter
07 71 23.R	Rain chain
08 31 13.AP	Access Panel
10 31 00.F	Manufactured Fireplace

SHEET NOTES

- F1 - Interior fan w/light kit
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- P1 - Pendant: kitchen island
- P2 - Pendant: dining table
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- S2 - Indoor sconce: direct/indirect
- S3 - Surface light
- S4 - Exterior sconce: direct/indirect
- S5 - Exterior sconce: direct only
- UC - Under cabinet LED tape light
- ML - Motion Light
- EF - Exhaust fan
- VH - Vent Hood: side wall
- GO - Garage door opener
- MS - Mini split system

KEY PLAN

PROJECT TEAM

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ISSUES & REVISIONS

No.	Date	Revision
1	2/5/25	ADD03 - Permit/Bid Revisions

Project Name:
PRD HARVEY RESTORATION PROJECTS - LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
 City of Houston - LHWPBR
 25840 FM 1485
 New Caney, TX 77357

RCP - #12
BUNKHOUSE

A2-02
 SCALE: As indicated

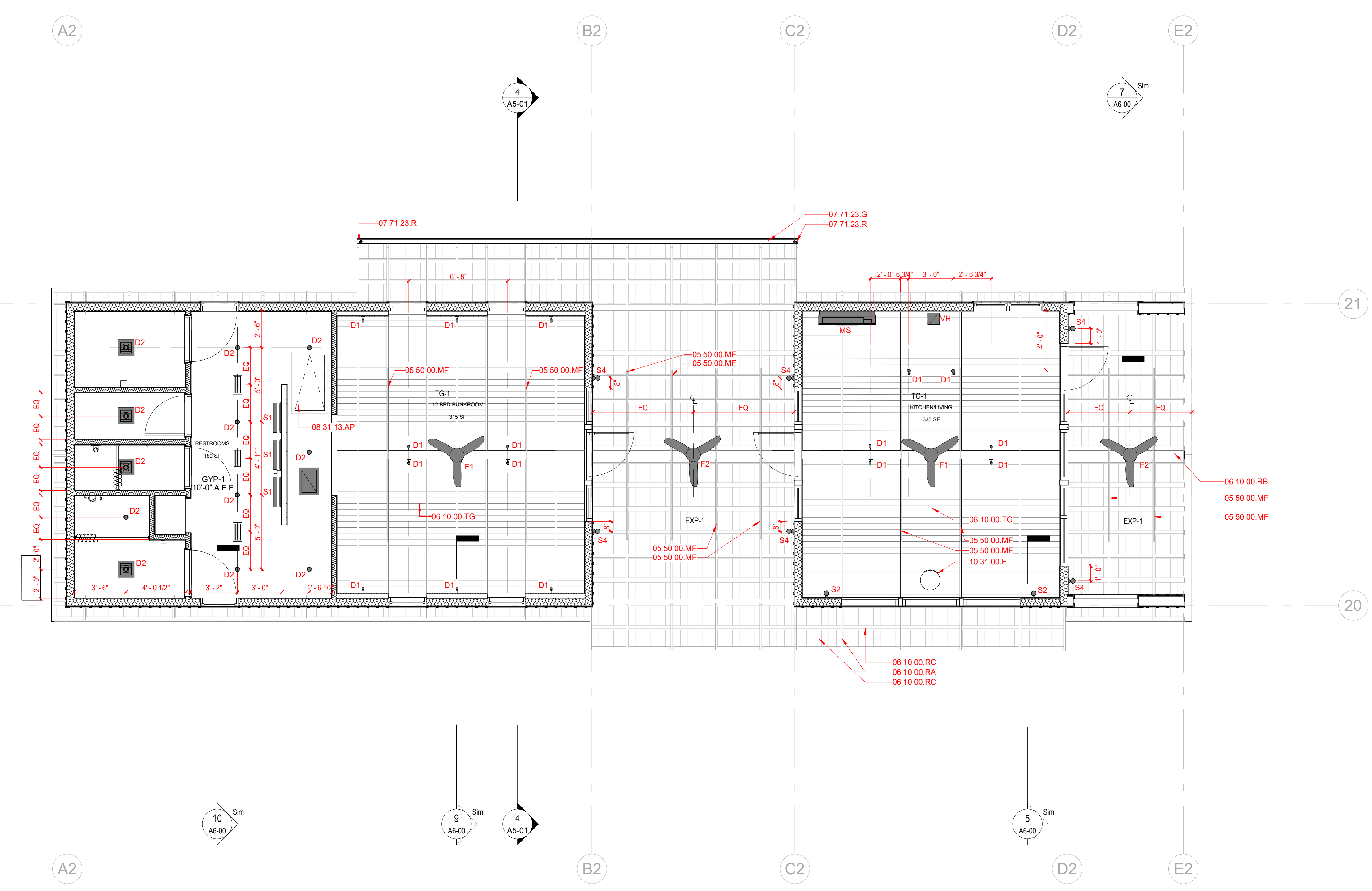
Issue / Revisions:
 7/21/2023
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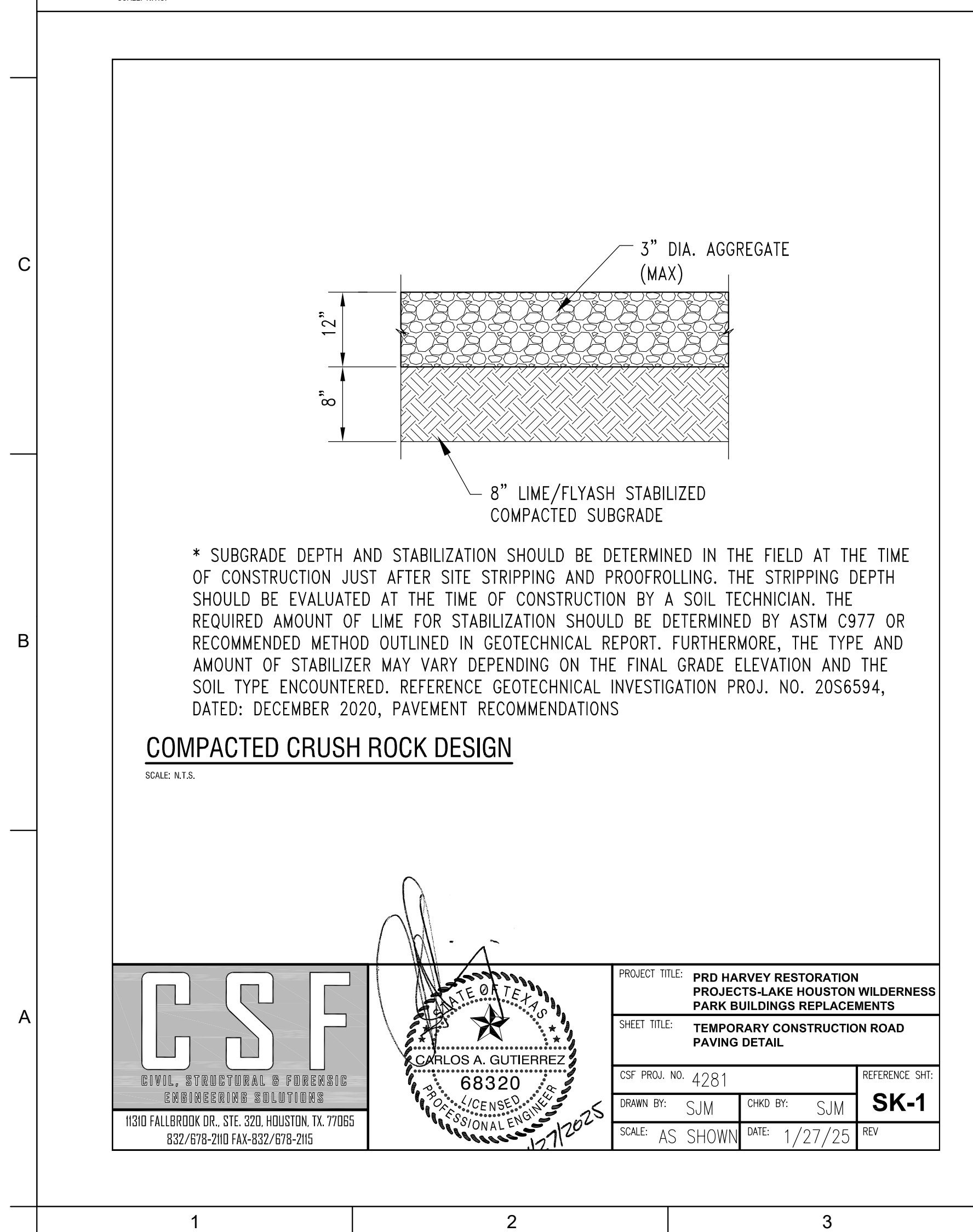
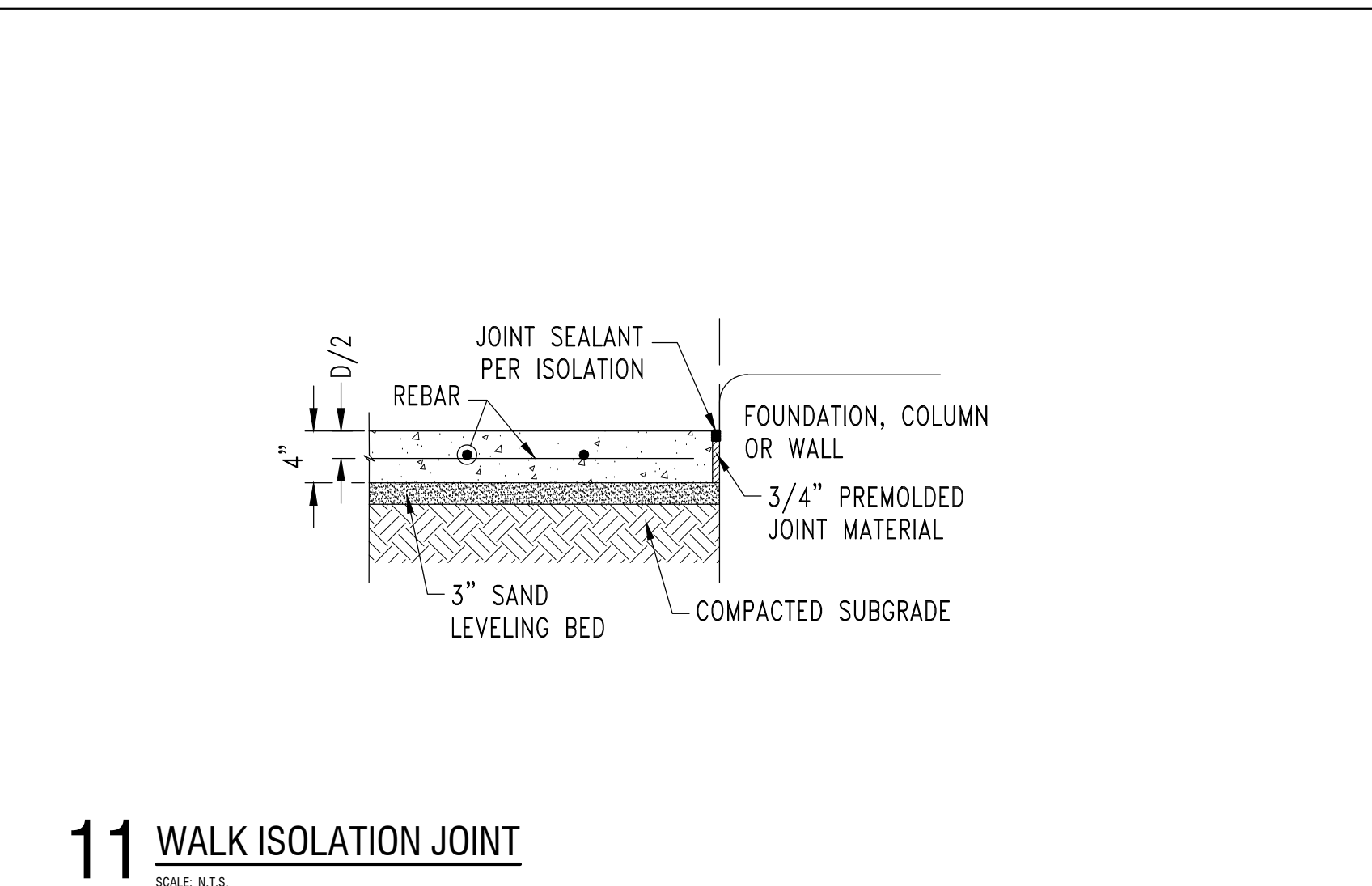
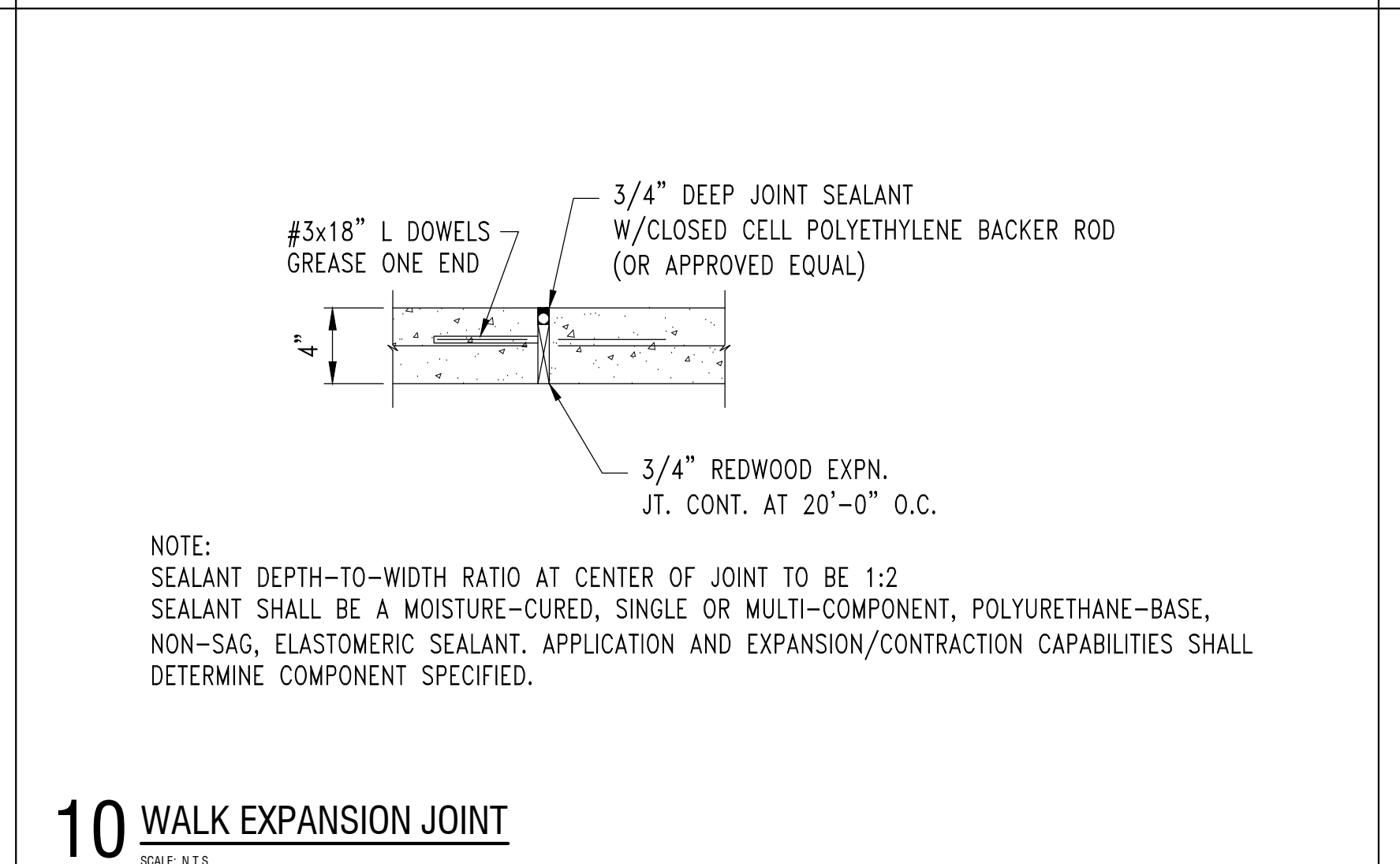
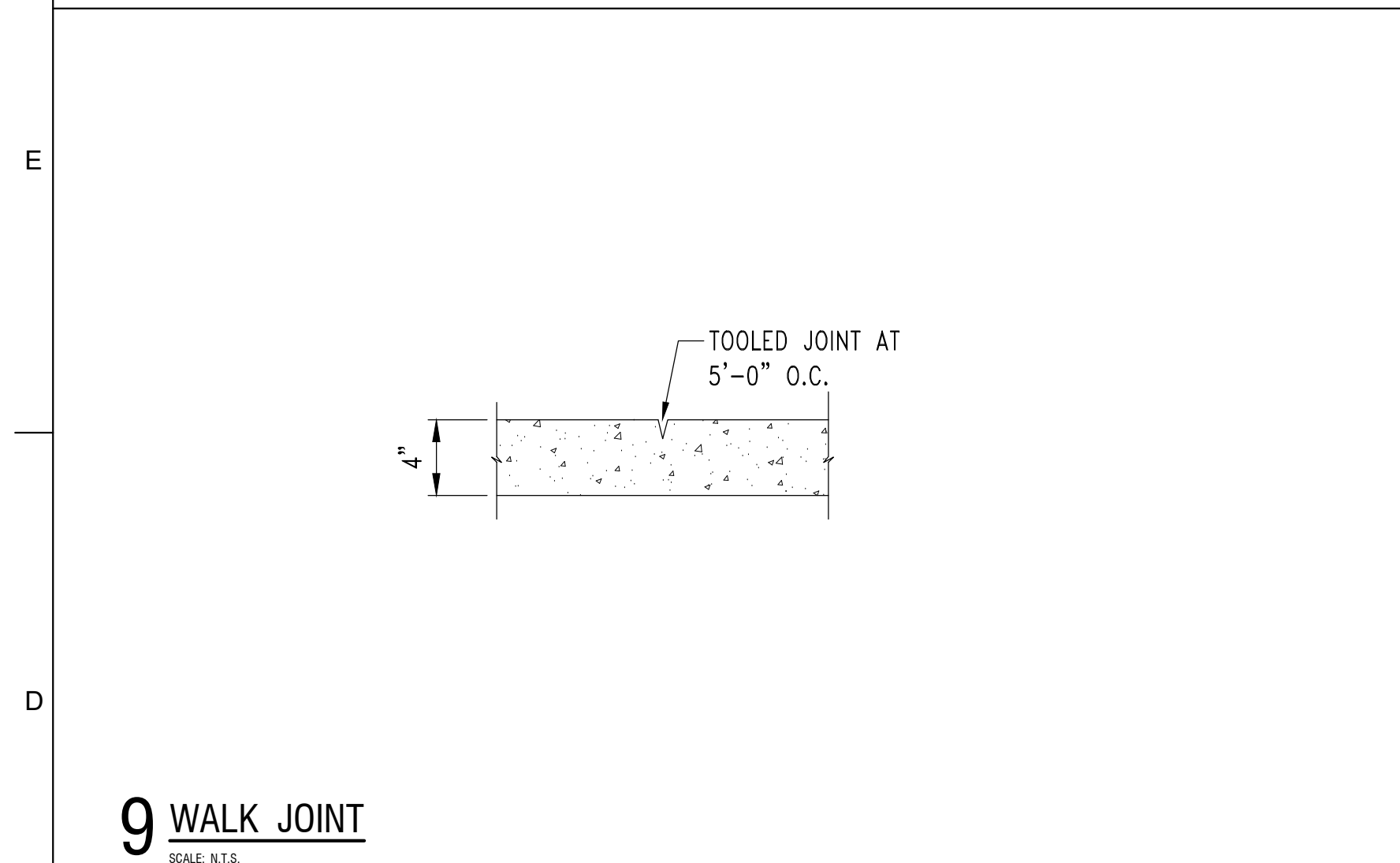
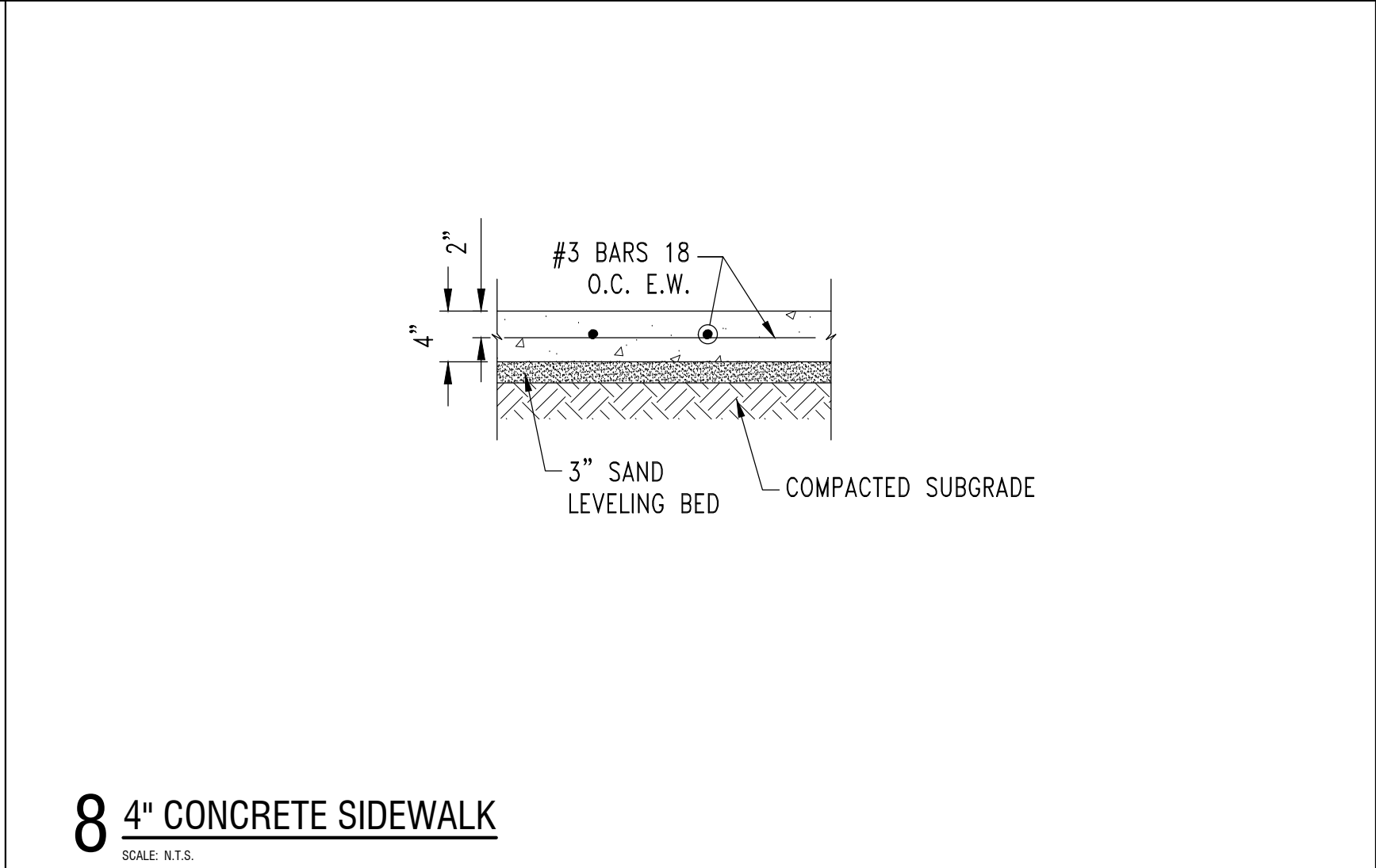
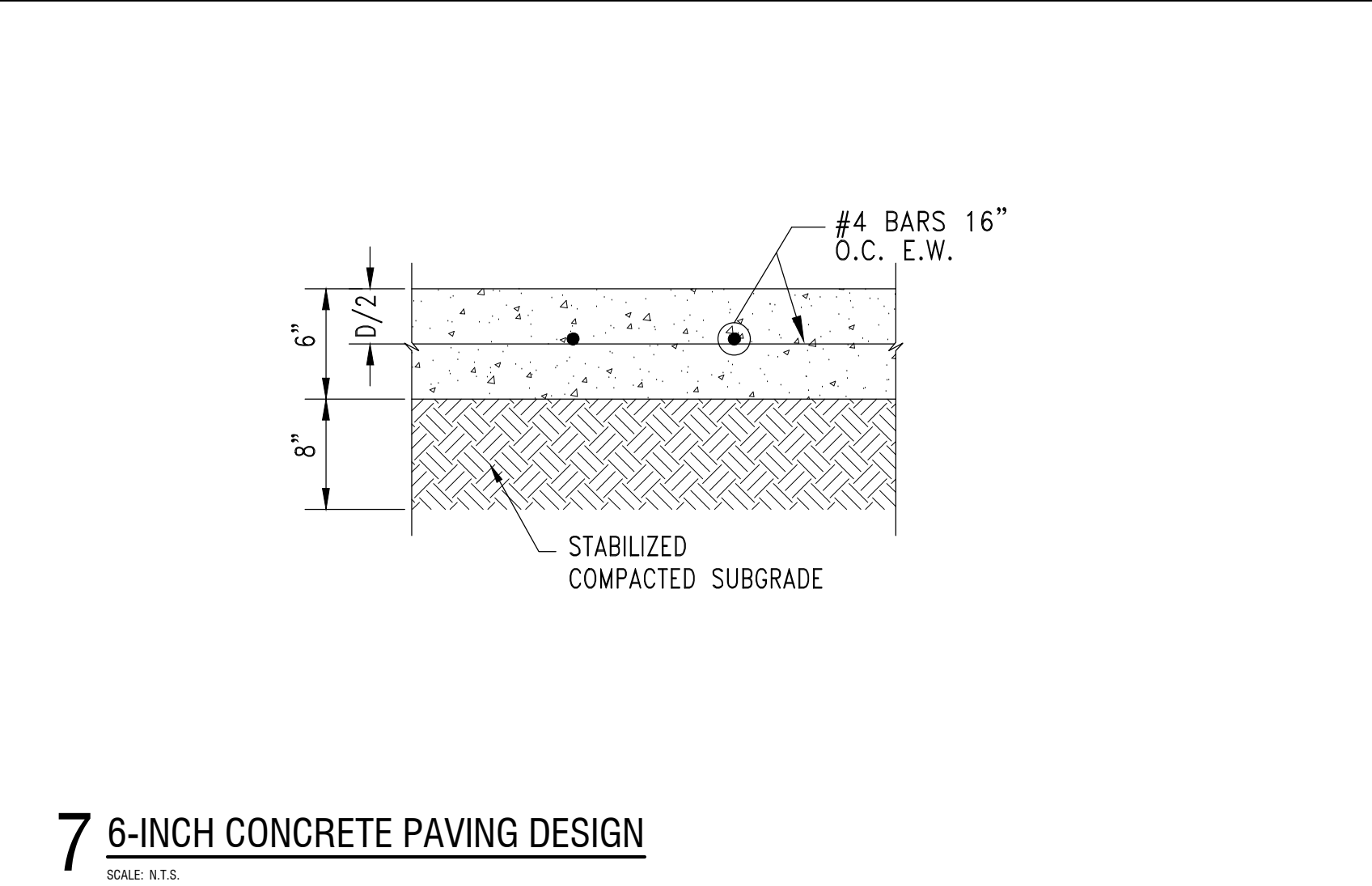
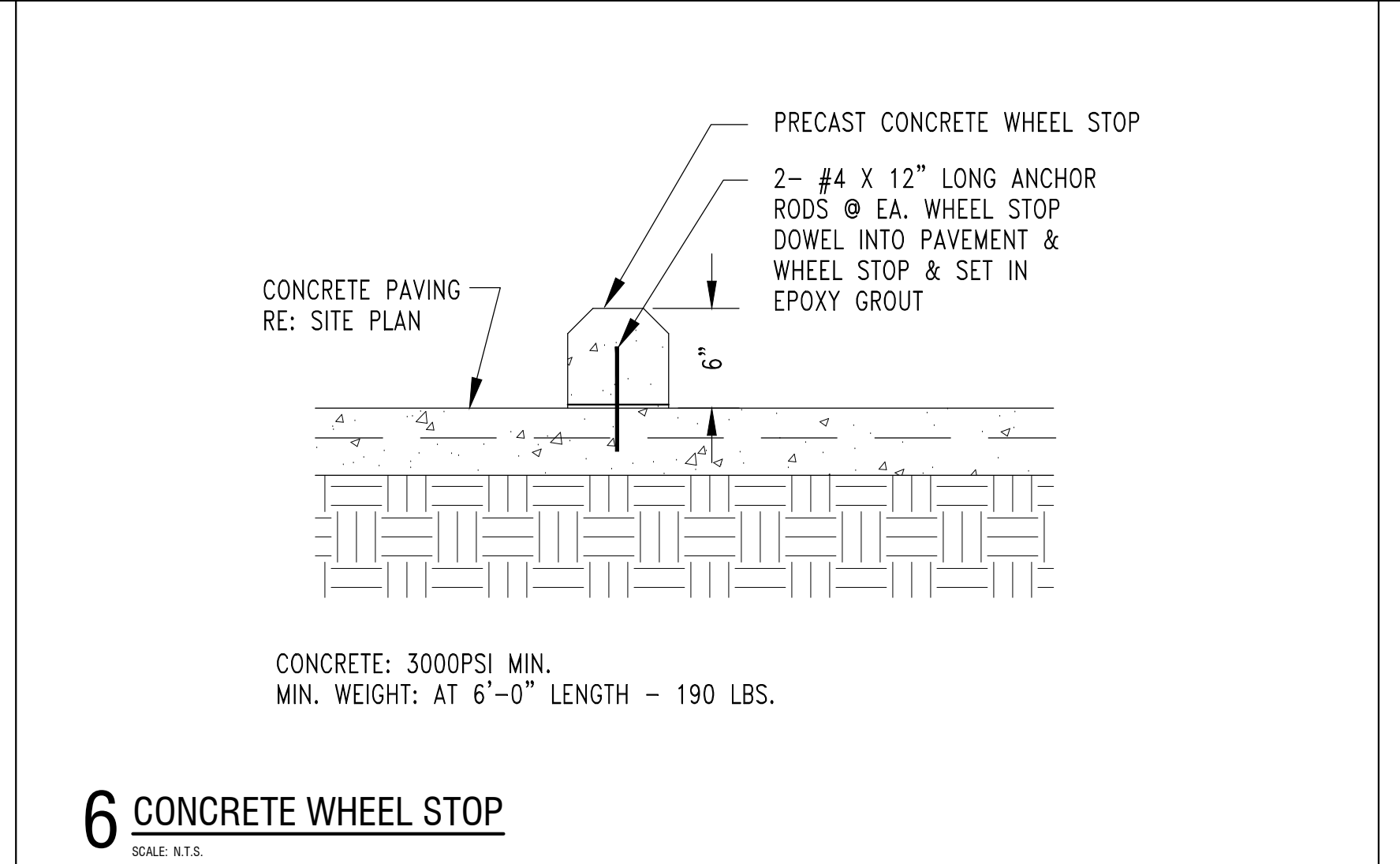
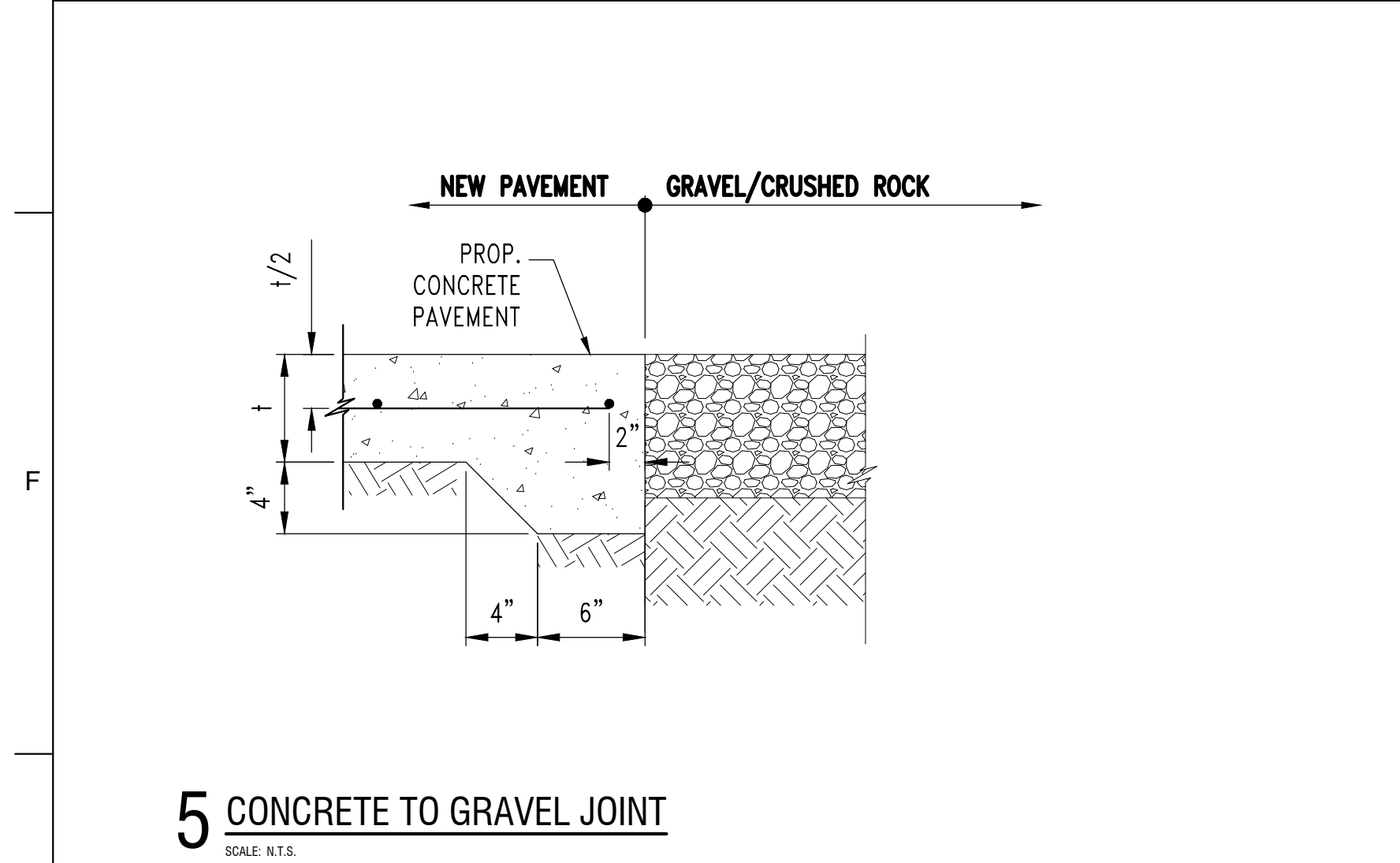
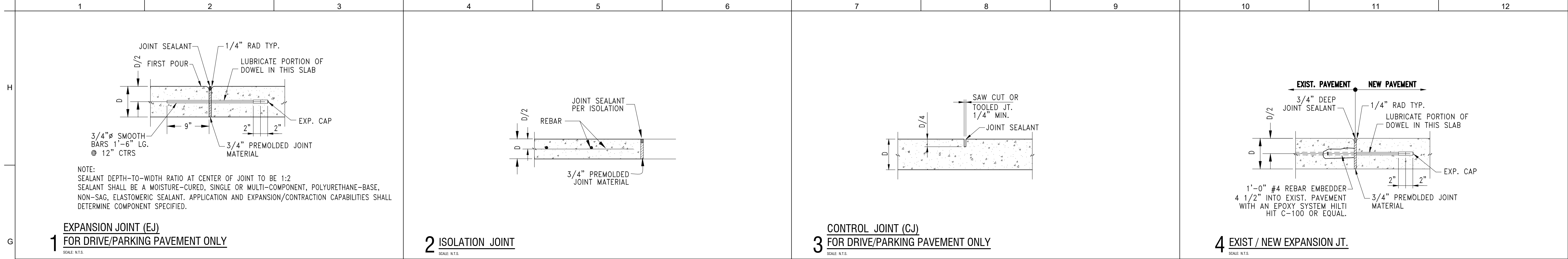
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Issue / Revisions:
04/15/2024
ISSUE FOR BID, PERMIT, &
CONSTRUCTION

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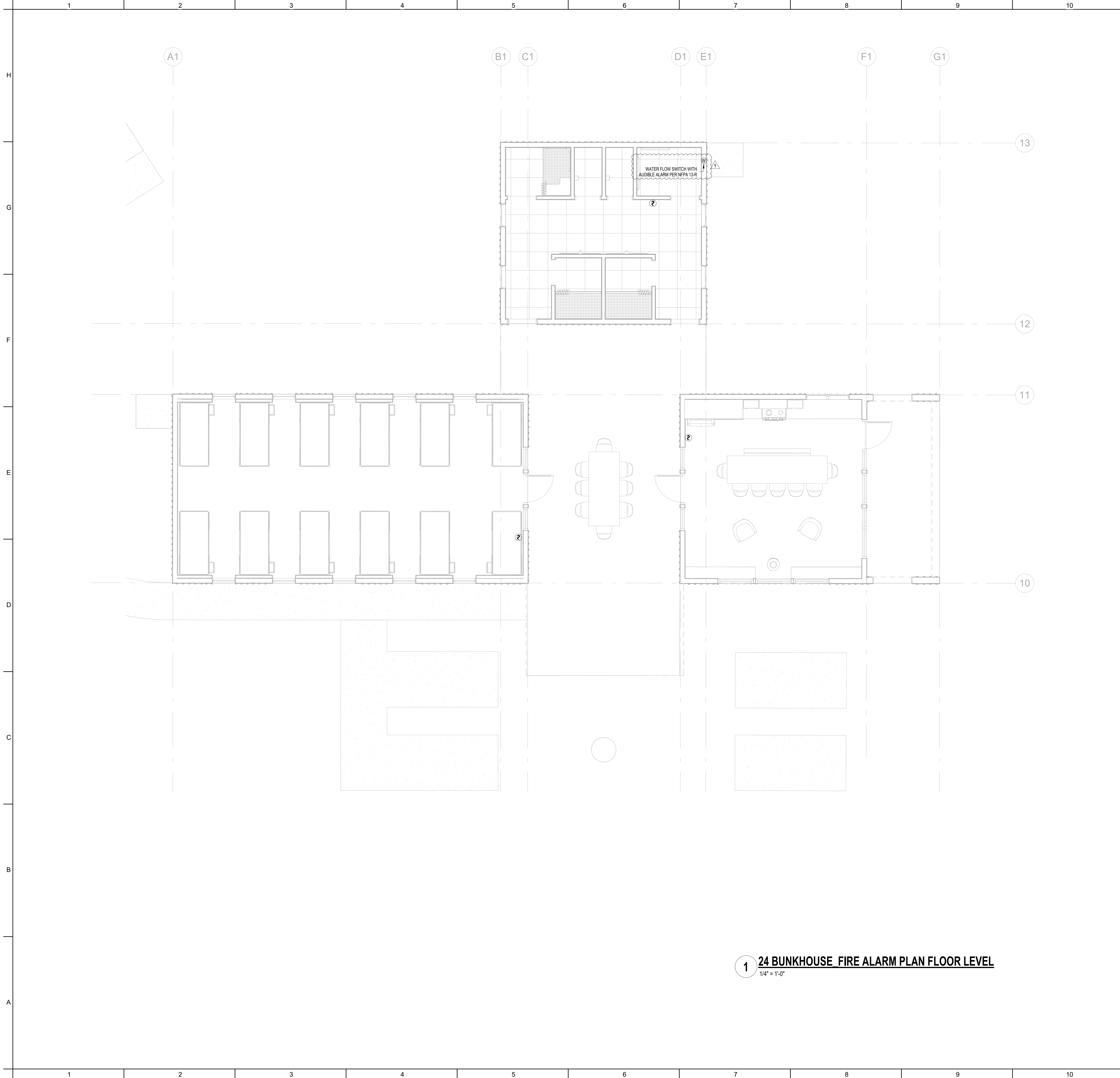
ISSUES & REVISIONS

No.	Date	Revision
0	04/15/24	BID, PERMIT, & CONSTRUCTION

Project Name:
PRD HARVEY RESTORATION PROJECTS-LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
City of Houston - LHWPPBR
25840 FM 1485
New Caney, TX 77357

STANDARD PAVING
DETAILS

C5.00
SCALE:



1 24 BUNKHOUSE FIRE ALARM PLAN FLOOR LEVEL
1/4" = 1'-0"

GENERAL SHEET NOTES

Issue / Revisions:
04/15/2024
ISSUE FOR BID, PERMIT, AND
CONSTRUCTION

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KEYNOTES

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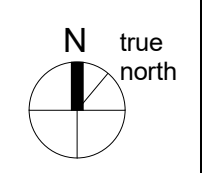
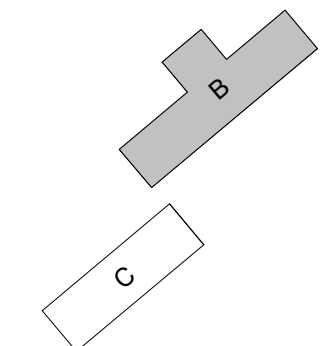
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SHEET NOTES

ISSUES & REVISIONS

No.	Date	Revision
1	02/05/2025	ADD 03 -BID/PERMIT REVISIONS

KEY PLAN

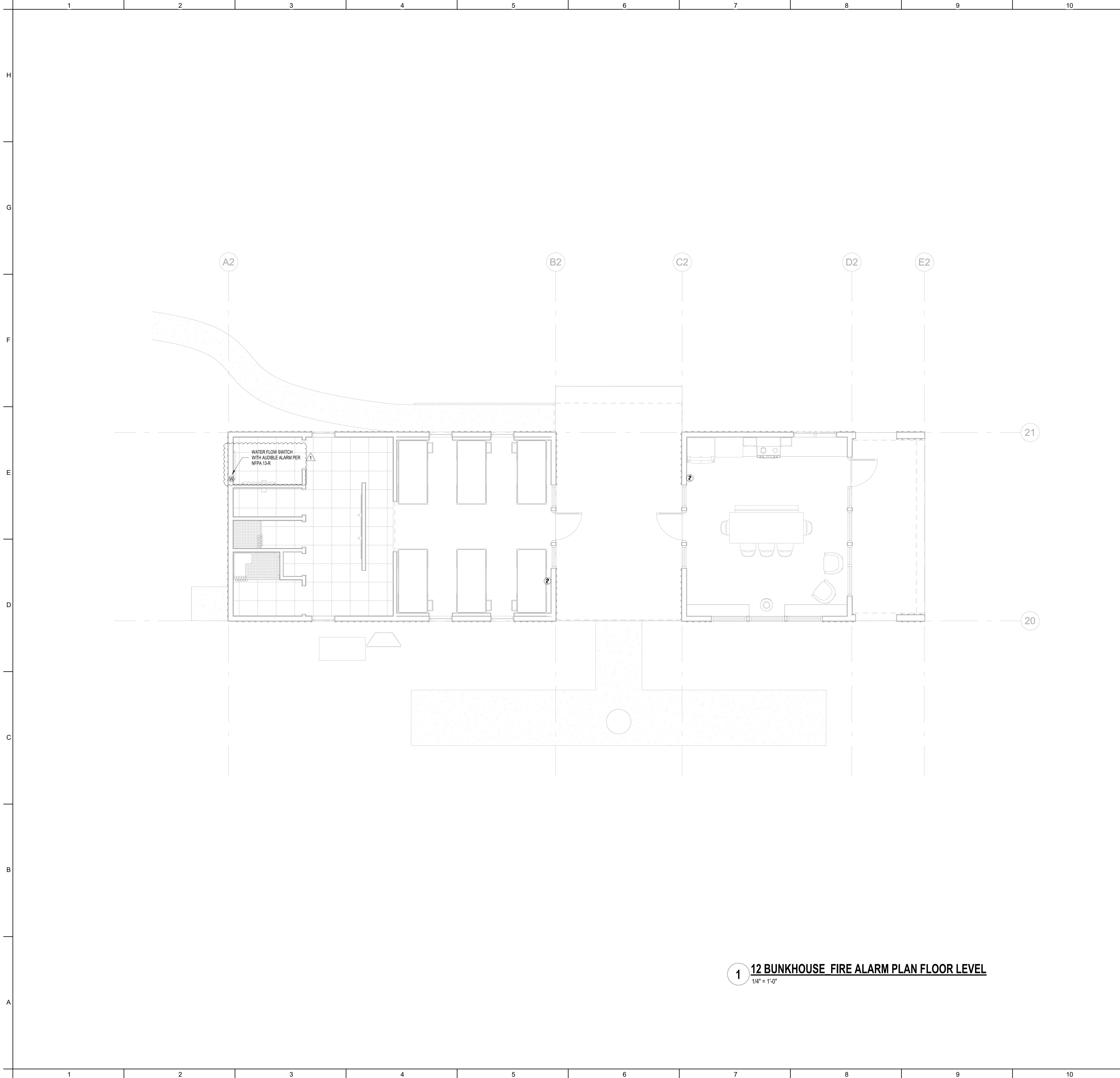


JONES ENGINEERS, L.P.
Consulting Mechanical/Electrical/Plumbing Engineers
9820 Wilhite Dr. Houston, Texas 77095 (713)222-7766
Texas Registered Engineering Firm #F-3811

Project Name:
PRD HARVEY RESTORATION PROJECTS - LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
City of Houston - LHWPBR
25840 FM 1485
New Caney, TX 77357

FIRE ALARM PLAN - #24 BUNKHOUSE

F1-01
SCALE: 1/4" = 1'-0"



GENERAL SHEET NOTES

KEYNOTES

SHEET NOTES

KEY PLAN

JONES ENGINEERS, L.P.
 Consulting Mechanical/Electrical/Plumbing Engineers
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 Texas Registered Engineering Firm #F-3811

Issue / Revisions:
 04/15/2024
 ISSUE FOR BID, PERMIT, AND
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 Contact: Project Architect Name, Ben Kleiner

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PROJECT TEAM

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ISSUES & REVISIONS

No.	Date	Revision
1	02/05/2025	ADD 03 - BID/PERMIT REVISIONS

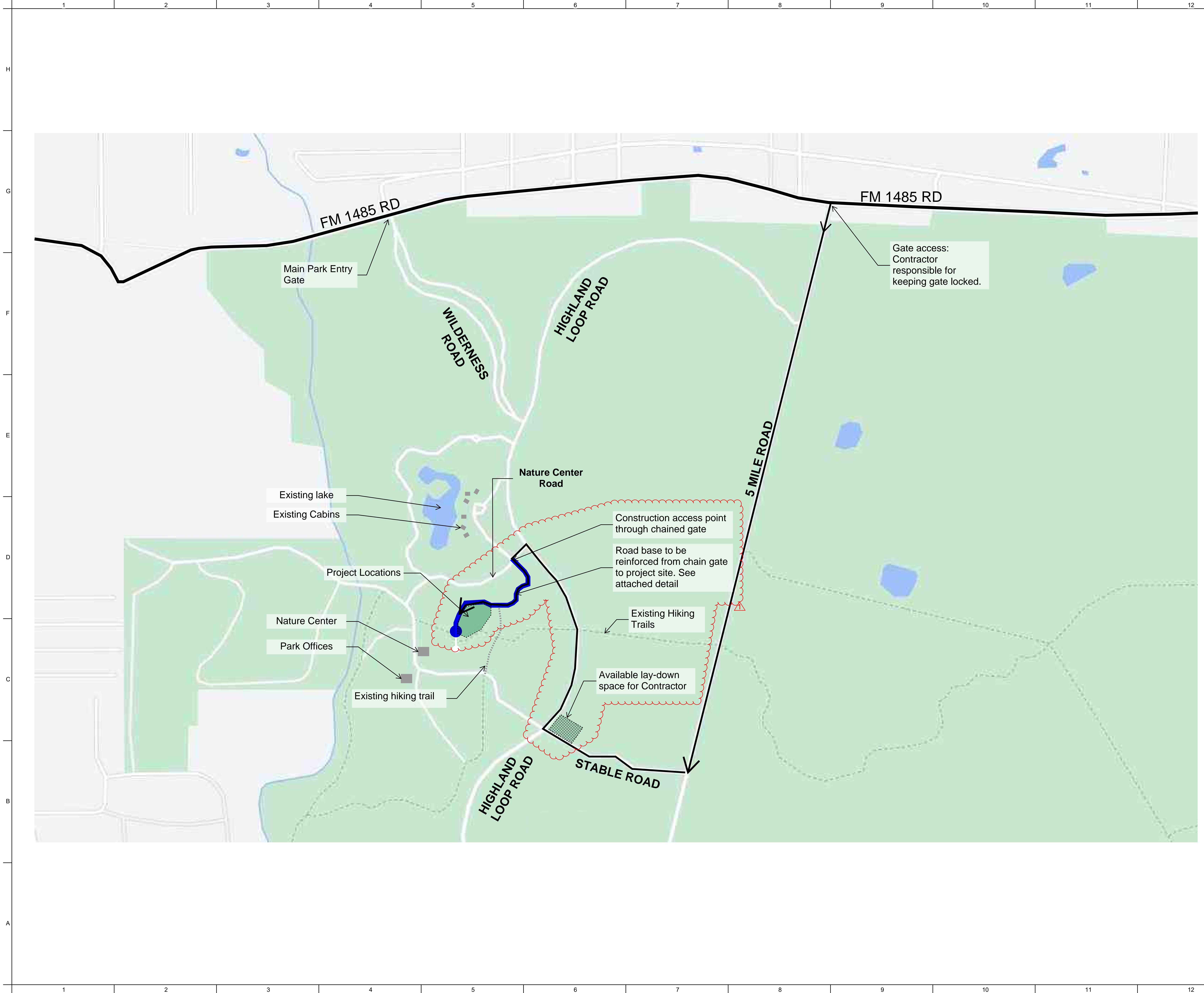
Project Name:
PRD HARVEY RESTORATION PROJECTS - LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
 City of Houston - LHWPBR
 25840 FM 1485
 New Caney, TX 77357

FIRE ALARM PLAN - #12 BUNKHOUSE

F1-02

SCALE: 1/4" = 1'-0"

1 12 BUNKHOUSE FIRE ALARM PLAN FLOOR LEVEL
 1/4" = 1'-0"



Issue / Revisions:
04/15/2024
ISSUE FOR PERMIT &
CONSTRUCTION

Harrison Kornberg
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04.15.2024
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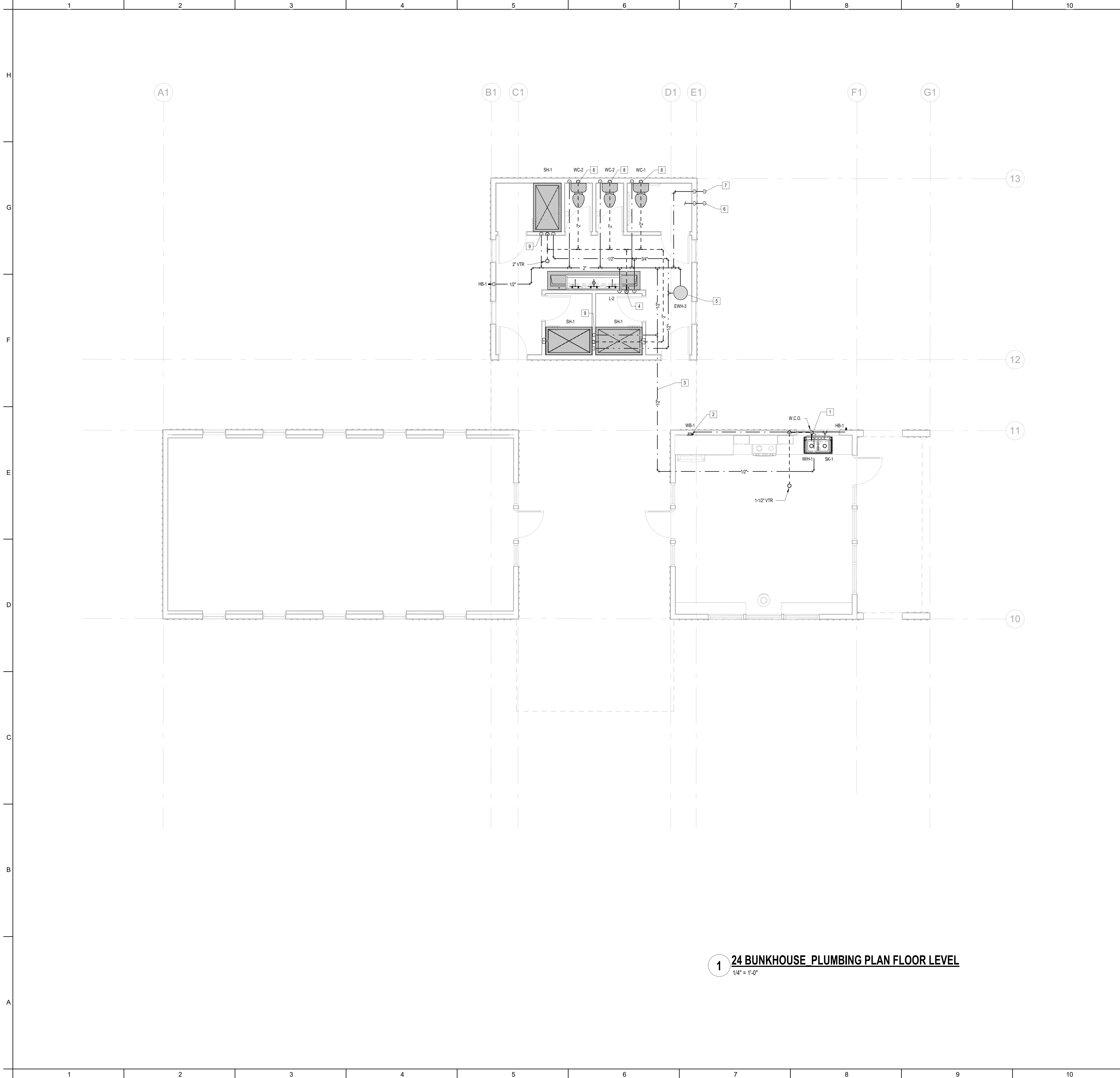
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ISSUES & REVISIONS		
No.	Date	Revision
1	2/5/25	ADD03 - Permit/Bid Revisions

Project Name:
PRD HARVEY RESTORATION PROJECTS - LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
City of Houston - LHWPBR
25840 FM 1485
New Caney, TX 77357

SITE ACCESS

G0-06
SCALE:



1 24 BUNKHOUSE PLUMBING PLAN FLOOR LEVEL
1/4" = 1'-0"

GENERAL SHEET NOTES

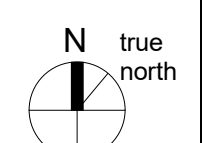
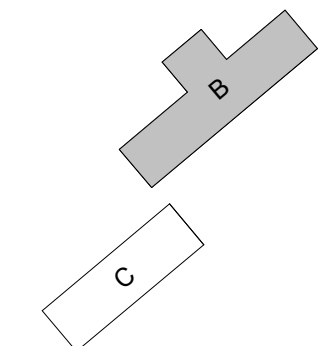
GENERAL NOTE:
BUILDING TO BE 100%
SPRINKLERED, PER NFPA 13R

KEYNOTES

#	NOTE
1	3/4" DCW DN TO SINK, 2" SAN WASTE DN, 1-1/2" V UP, TANKLESS WATER HEATER UNDER SINK.
2	1/2" DCW DN TO REF.
3	1/2" DCW LINE TO BE ROUTED ABOVE JOIST ALONG PURLING WITH HEAT TRACE.
4	3/4" DCW & DHW DN TO LAVATORY, 2" SAN WASTE DN, 1-1/2" V UP.
5	ELECTRIC WATER HEATER ABOVE CEILING.
6	1" FIRE ENTRY, PROVIDE WITH AN AUDIBLE ALARM FOR THE DETECTION OF WATER FLOW. REFER TO CIVIL FOR CONTINUATION.
7	2" DCW ENTRY, REFER TO DETAIL ON P3-01. REFER TO CIVIL FOR CONTINUATION.
8	1/2" DCW DN TO WATER CLOSET, 4" SAN WASTE DN, 2" V UP.
9	1/2" DCW & DHW DN TO SHOWER, 3" SAN WASTE DN, 1-1/2" V UP.

SHEET NOTES

KEY PLAN



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Consulting Mechanical/Electrical/Plumbing Engineers
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Texas Registered Engineering Firm #F-3811

Issue / Revisions:
04/15/2024
ISSUE FOR BID, PERMIT, AND
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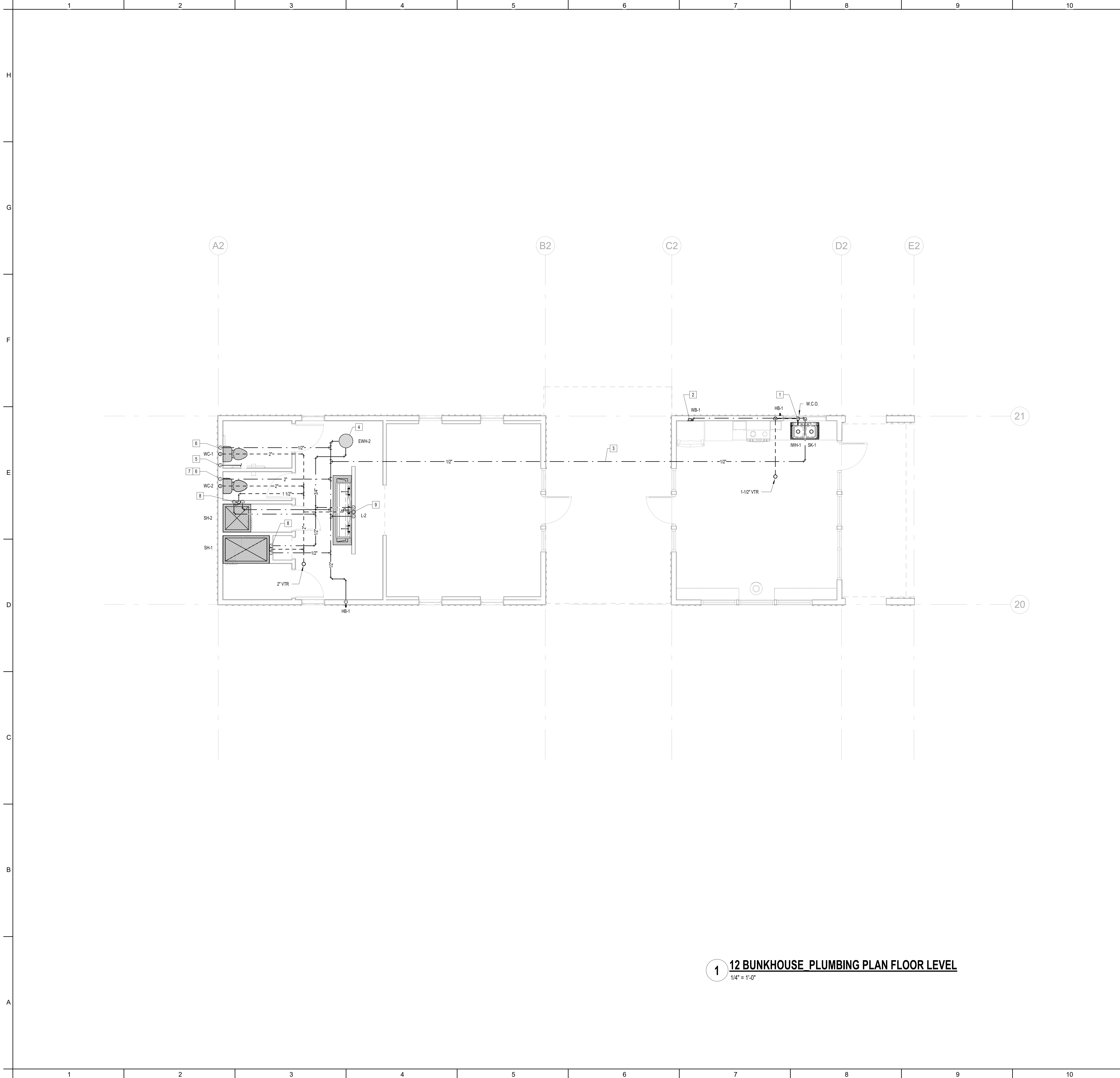
ISSUES & REVISIONS

No.	Date	Revision
1	02/05/2025	ADD 03 - BID/PERMIT REVISIONS

Project Name:
PRD HARVEY RESTORATION PROJECTS - LAKE HOUSTON WILDERNESS PARK BUILDINGS REPLACEMENTS
City of Houston - LHWPBR
25840 FM 1485
New Caney, TX 77357

PLUMBING PLAN - #24 BUNKHOUSE

P1-01
SCALE: As indicated



1 12 BUNKHOUSE PLUMBING PLAN FLOOR LEVEL
1/4" = 1'-0"

GENERAL SHEET NOTES

GENERAL NOTE:
BUILDING TO BE 100%
SPRINKLERED, PER NFPA 13R.

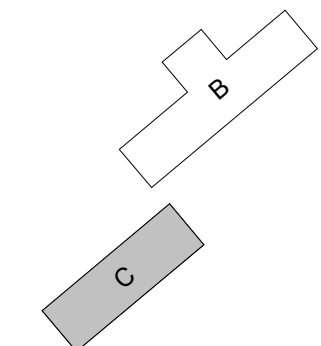
KEYNOTES

PLAN KEY NOTES

#	NOTE
1	3/4" DCW DN TO SINK, 2" SAN WASTE DN, 1-1/2" V UP, TANKLESS WATER HEATER UNDER SINK.
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9	3/4" DCW & DHW DN TO LAVATORY, 2" SAN WASTE DN, 1-1/2" V UP.

SHEET NOTES

KEY PLAN



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Issue / Revisions:
04/15/2024
ISSUE FOR BID, PERMIT, AND
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PLUMBING PLAN - #12 BUNKHOUSE

P1-02
SCALE: As indicated