

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address _____
 Historic District / Landmark Houston Heights East HCAD # 0201100000022
 Subdivision Houston Heights Lot 21 Block 114

DESIGNATION TYPE

- Landmark Contributing
 Protected Landmark Noncontributing
 Archaeological Site Vacant

PROPOSED ACTION

- Alteration or Addition Relocation
 Restoration Demolition
 New Construction Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Vintage Bayou City Homes
 Company _____
 Mailing Address 921 Columbia, 77008

 Phone (713)417-4217
 Email lesleppard@yahoo.com
 Signature [Signature]
 Date 11/22/2016

APPLICANT (if other than owner)

Name _____
 Company _____
 Mailing Address _____

 Phone _____
 Email _____
 Signature _____
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS:

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

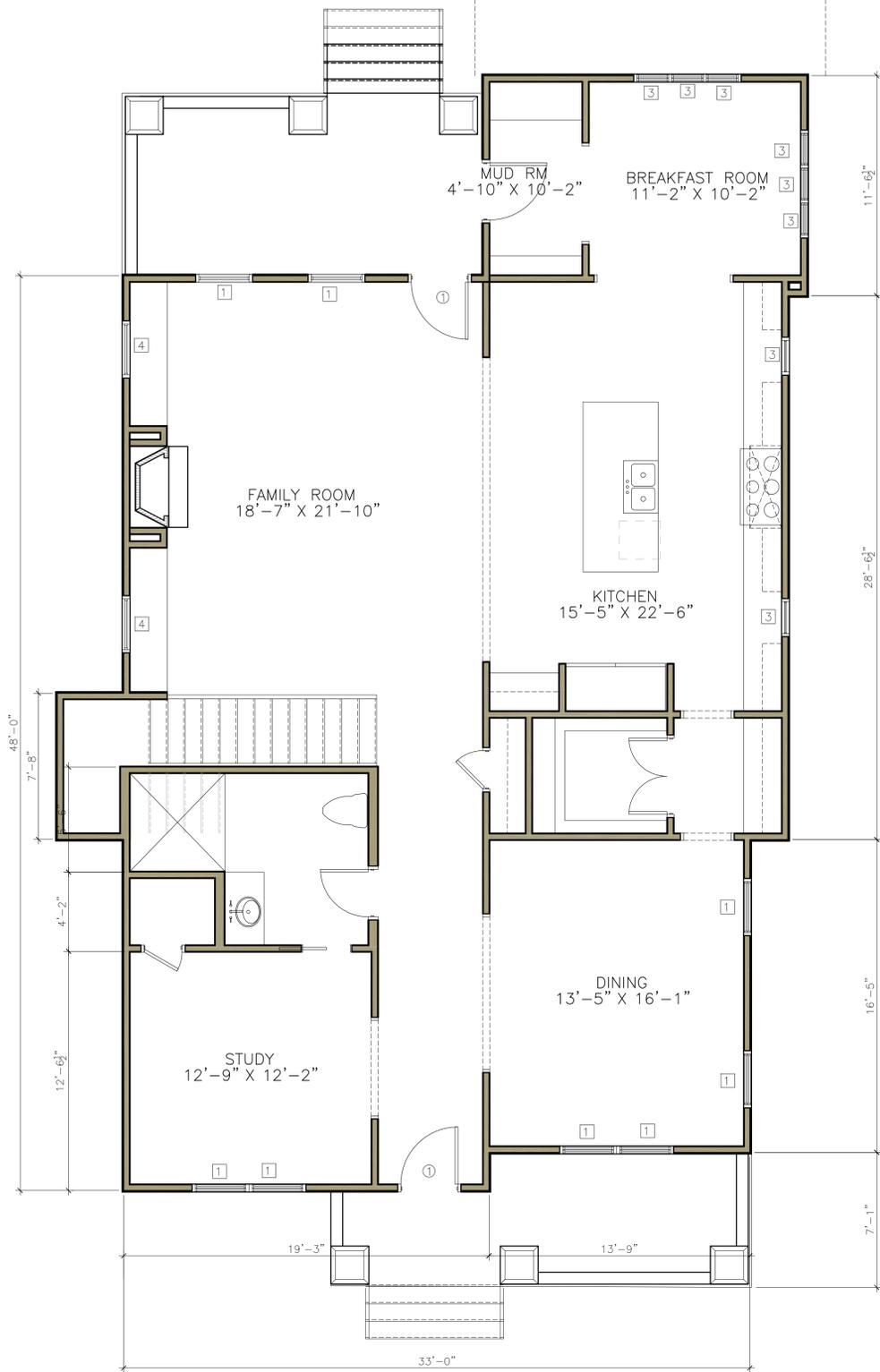
WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

Proposed is a 2-story new construction home of 3,753 square feet with 10' first floor ceilings and 9' second floor ceilings. Materials include Hardi plank lap siding, brick columns, composition shingle roof, and wood 1/1 windows. Foundation will be pier and beam with a finish floor height of 32" above grade.



01 1ST FLOOR CONSTRUCTION PLAN

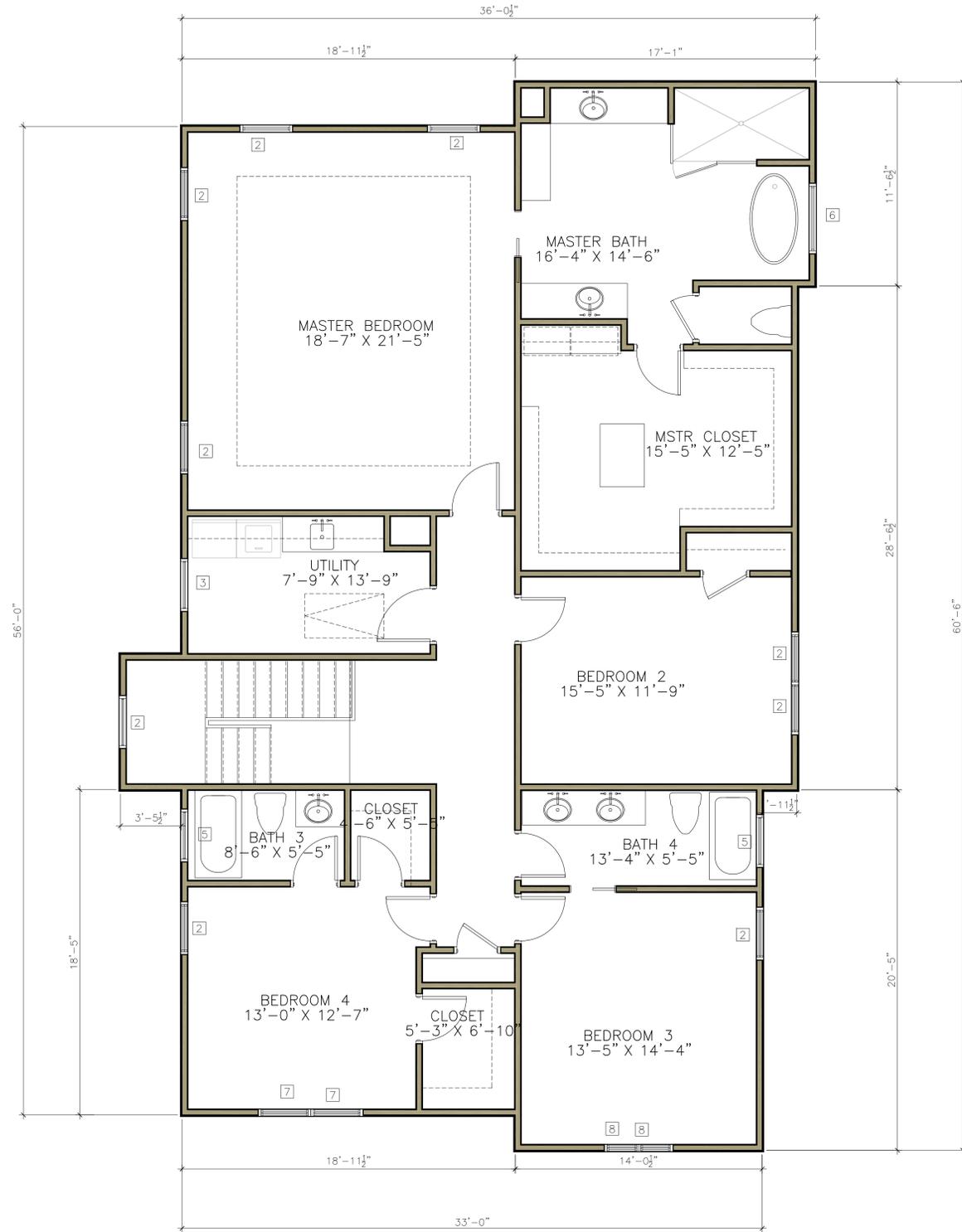
1/4" = 1'-0"

- WINDOW SCHEDULE- ALL WOOD JELDWEN 1/1 UNO
1. 3'X6' DBL HUNG
 2. 3'2"X4'-8" DBL HUNG
 3. 2'-0"X4'-0" DBL HUNG
 4. 3'-0"X4'-0" DBL HUNG
 5. 3'-0"X2'-0" TEMPERED VINYL FIXED
 6. 4'-0"X2'-0" TEMPERED FIXED
 7. 3'X3' DBL HUNG
 8. 2'X3' DBL HUNG

○ DOOR SCHEDULE

1. 3'X6'8" W/ TRANSOM
2. 18' GARAGE DOOR
3. 3'X6'8" SOLID EXTERIOR DOOR

03 WINDOW/DOOR SCHEDULE



02 2ND FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"

FIRST FLOOR 1,822 SF
SECOND FLOOR 1,931 SF
TOTAL 3,753 SF

Lot 21 Block 114
Houston Heights

FLOOR PLAN

Issue/Revision:
11.22.16 HAHC

Drawing Description:

FLOOR PLAN

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

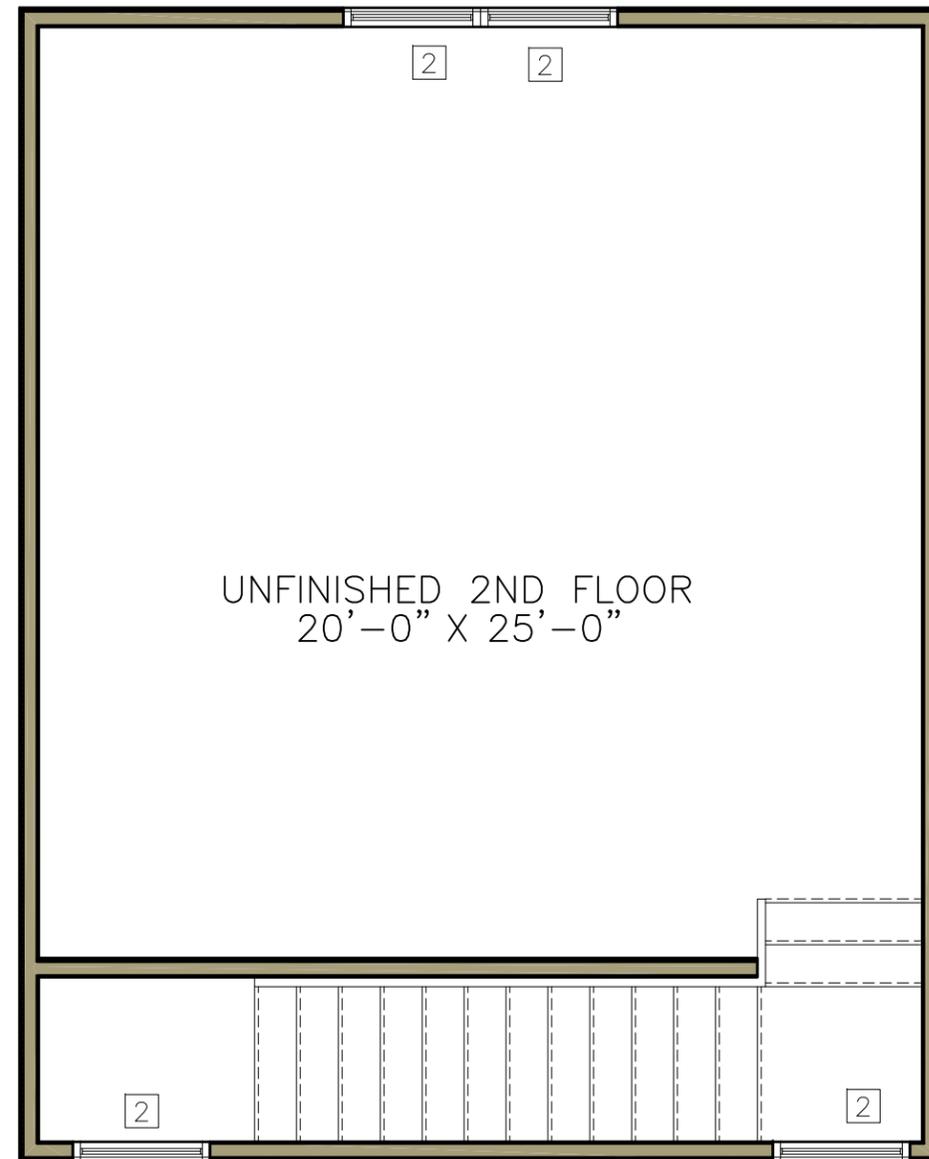
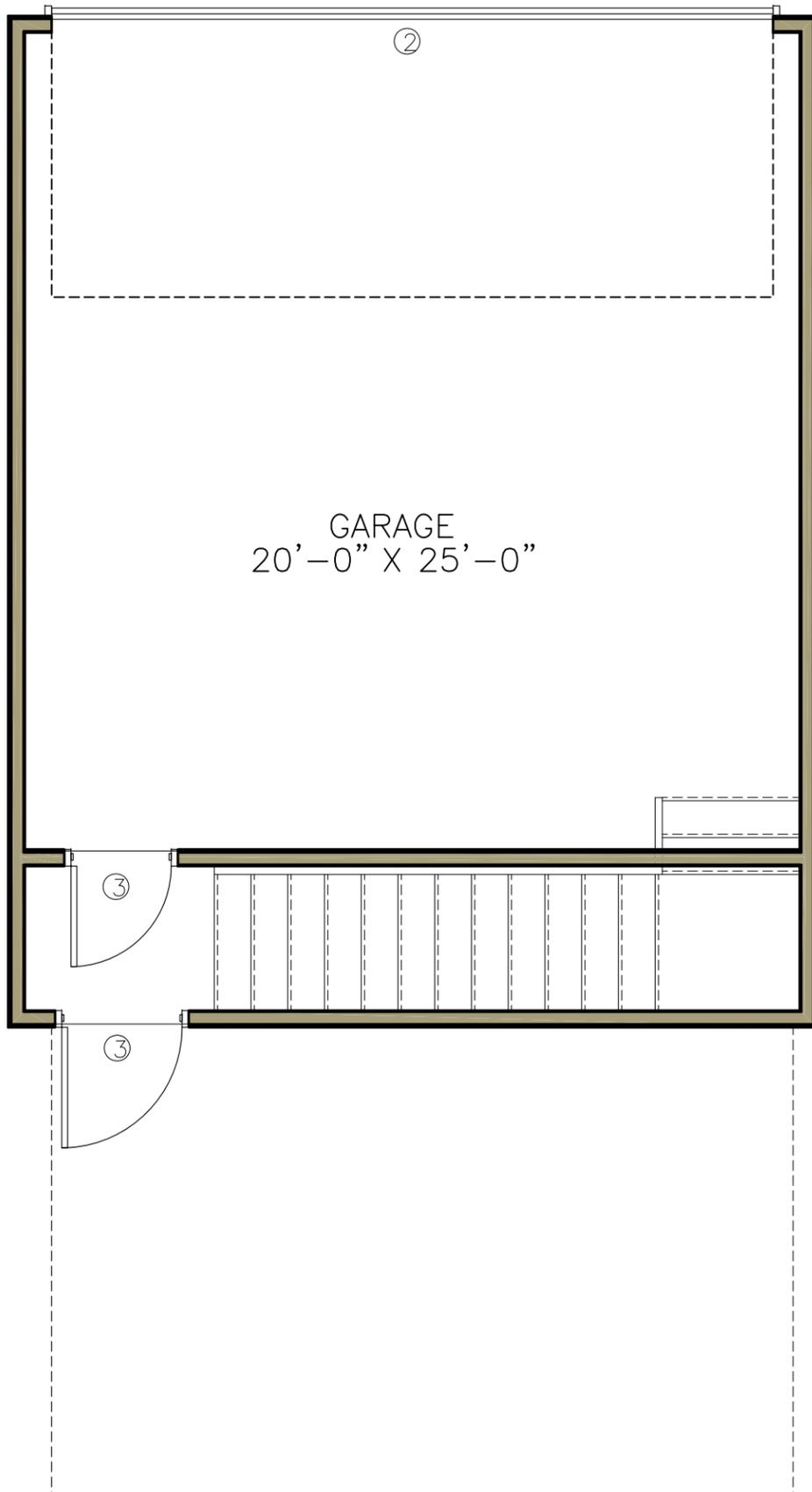
Proj. Mgr.:

Date:

Sheet No.:

A 1.1

Nov 22, 2016 - 11:33am





01 FRONT ELEVATION

1/4" = 1'-0"

02 GARAGE FRONT



04 RIGHT SIDE ELEVATION

1/4" = 1'-0"

Lot 21 Block 114
Houston Heights

ELEVATIONS

Issue/Revision:
11.22.16 HAHC

Drawing Description:

ELEVATIONS

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.:

Date:

Sheet No.:

A 3.1



1. ALL EGRESS WINDOW SILLS ARE TO A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM OPENING ARE 24" HIGH, 20" WIDE AND MINIMUM 5.7 SQ. FT NET CLEAR OPENING. THERE SHALL BE AT LEAST ONE EGRESS WINDOW PER BEDROOM.
2. OPENINGS ON A 1 HOUR FIRE-RATED EXTERIOR WALL SHALL BE PROTECTED WITH AN ASSEMBLY ACCORDING TO IRC R302.1. PENETRATIONS INTO OR THROUGH FIRE-RATED WALLS SHALL CONFORM TO IRC R302.4. CONTRACTOR SHALL DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY.
3. PROVIDE SAFETY TEMPERED GLAZING IN ALL HAZARDOUS LOCATIONS LISTED IN IRC308.4.
4. SEE S1.5 FOR GUARD RAIL NOTES.
5. PLATE HEIGHTS ARE TAKEN FROM NOMINAL FIRST FINISHED FLOOR ELEVATION UNLESS OTHERWISE NOTED.
6. ALL PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC CHAPTER 10 AND BE U.L. AND ICBO APPROVED. A COPY OF THE MANUFACTURER INSTALLATIONS MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR'S REVIEW.
7. ALL VENT TERMINALS SHALL BE NO LESS THAN 4" HORIZONTAL OR VERTICAL FROM ANY WINDOW OR GRAVITY AIR INLET OR 1' ABOVE ANY DOOR. VENTS SHALL CONFORM WITH IRC M1804
8. ALL GLAZING TO BE DOUBLE PANED AND LOW-E. PROVIDE MINIMUM SHGC = .25 AND U-FACTOR OF .40 PER IECC RESIDENTIAL.

- (A) HARDI SIDING. RE: CONTRACTOR FOR SPECS.
- (B) CLASS A COMPOSITE SHINGLE ROOF OVER 15# FELT AND 7/16" OSB ROOF DECKING. RE: CONTRACTOR FOR SPECS AND COLOR.
- (C) 42" HIGH GUARDRAIL. RE: S1.5
- (D) TEMPERED SAFETY GLASS.
- (E) PROVIDE FLASHING AT ALL ROOF TO WALL INTERSECTIONS. PROVIDE MINIMUM 4" COVER AT ROOF AND WALL, LAP ALL FLASHING.
- (F) TYPICAL WOOD LATTICE TO PROVIDE CRAWLSPACE VENTILATION. PROVIDE ACCESS OPENING 18"X24" PER SECTION R408.4
- (G) ESCAPE / EGRESS WINDOW

01 BACK ELEVATION

1/4" = 1'-0"

02 GARAGE BACK

03 GENERAL NOTES



04 LEFT SIDE ELEVATION

1/4" = 1'-0"

Lot 21 Block 114

Houston Heights

ELEVATIONS

Issue/Revision:
11.22.16 HAHC

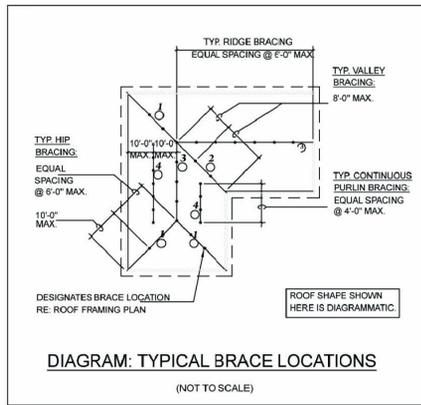
Drawing Description:
ELEVATIONS

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	A 3.2
Proj. Mgr.:	Date:	Nov 22, 2016 - 11:23am

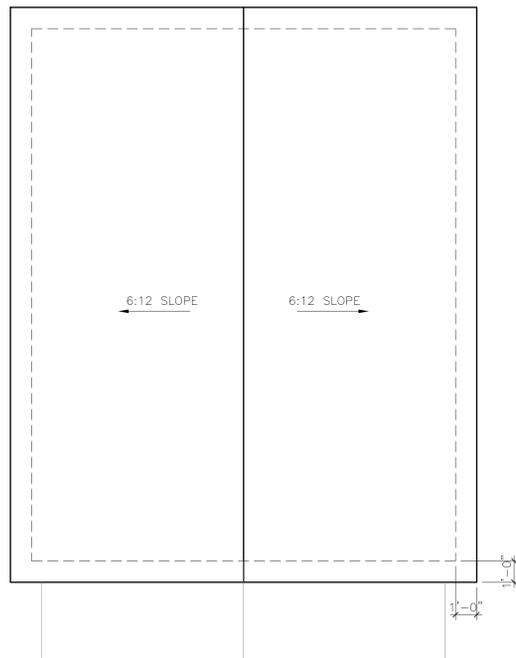
PLAN NOTES

ROOF FRAMING IS DESIGNED FOR COMPOSITION SHINGLE ROOF @ 3.5 PSF.

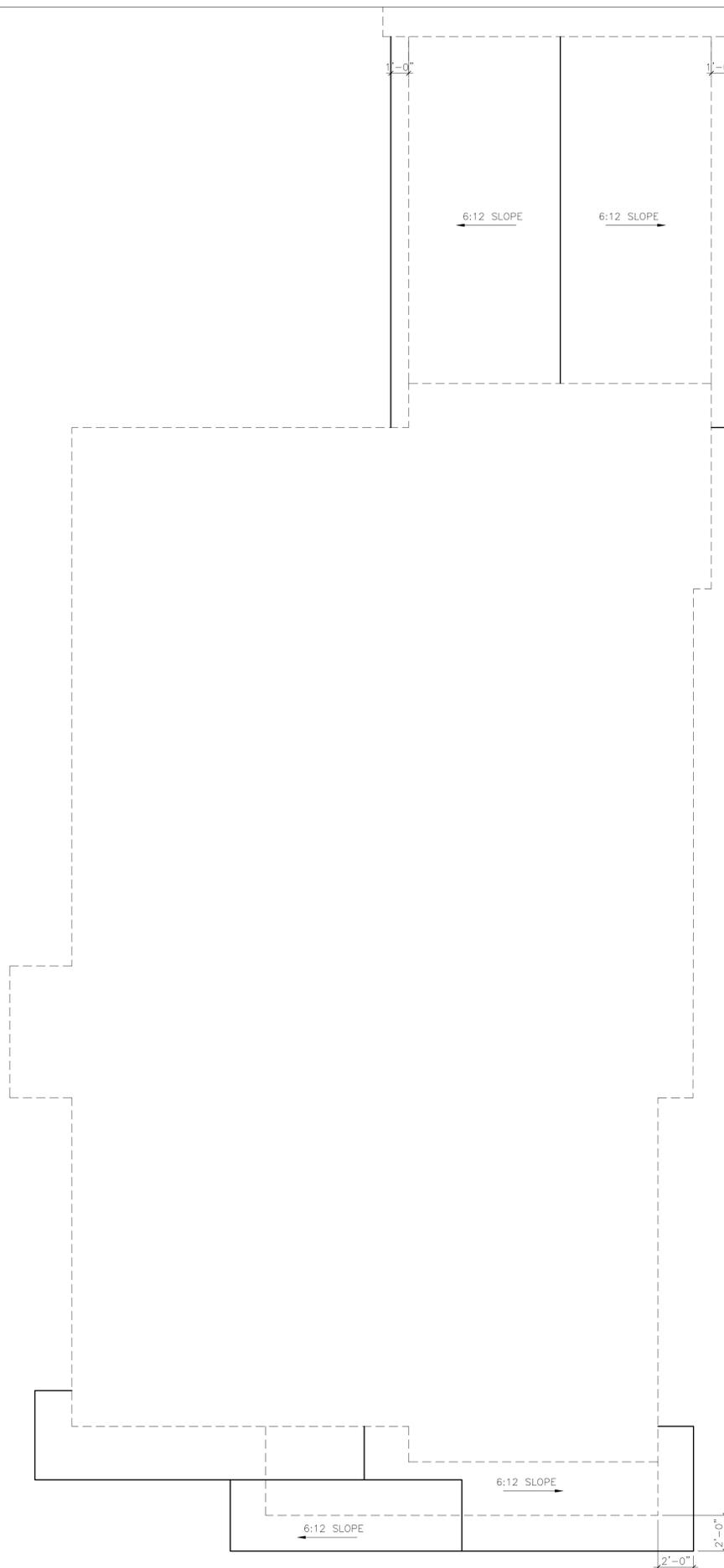
1. ALL RAFTERS ARE 2x6 #2 S.Y.P. AT 16" O.C. U.O.N.
2. RAFTERS SHALL BE NAILED TO ADJACENT CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS. WHERE NOT PARALLEL, RAFTER TIES SHALL BE SPACED NOT MORE THAN 48" O.C.
3. PROVIDE 2x6 COLLAR TIES AT 32" O.C. AT UPPER 1/3 OF ROOF.
4. DEPTH OF RIDGE BEAM, HIP OR VALLEY RAFTER
 - A. SHALL BE ONE SIZE WIDER THAN THE LARGEST RAFTER FRAMING INTO IT (EXAMPLE: 2x8 BEAM FOR 2x6 RAFTER).
 - B. SHALL MATCH OR EXCEED THE CUT END OF THE RAFTER.
5. PROVIDE DOUBLE FRAMING @ EDGES OF ALL ROOF OPENINGS LARGER THAN 24".
6. PROVIDE DOUBLE RAFTERS UNDER ALL CORNER WALLS (U.O.N.).
7. ROOF DECKING TO BE 1/2" O.D.X. WITH PANEL SPAN RATING OF 24-G.
RE: GENERAL NOTES FOR OTHER REQUIREMENTS.
8. RE: ARCH. DWGS FOR ROOF SLOPES & OTHER DATA NOT CONTAINED HEREIN.



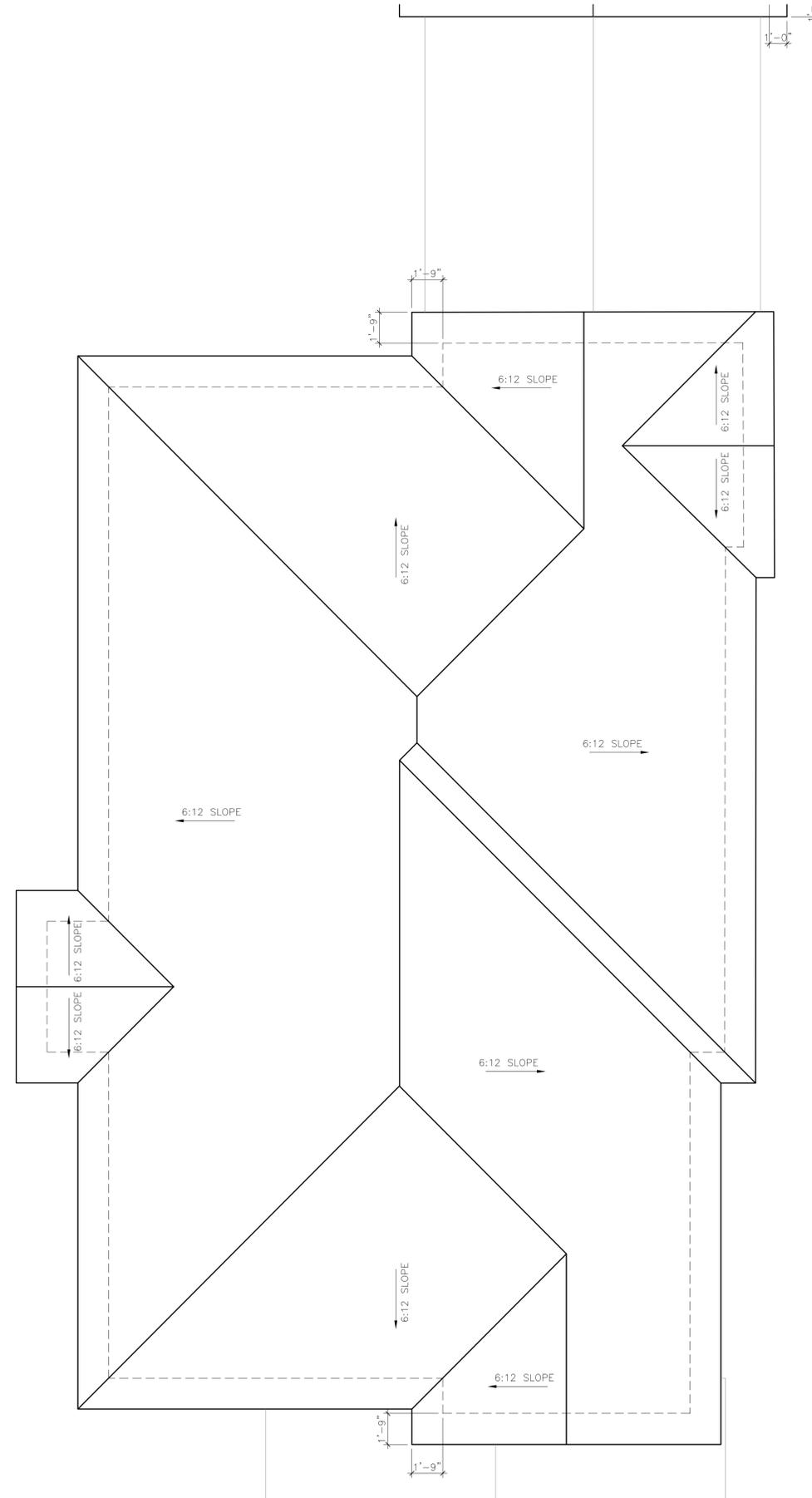
01 FRAMING NOTES



02 GARAGE ROOF PLAN 1/4" = 1'-0"



03 FIRST FLOOR ROOF PLAN 1/4" = 1'-0"



04 ROOF PLAN 1/4" = 1'-0"



713-225-7454
 whatsup@design3inc.com

The designs contained herein are the property of DESIGN3 STUDIO, INC. and are subject to all copyright restrictions and are not to be reprinted or resold without the written consent of DESIGN3 STUDIO, INC. The General Contractor is responsible for conforming to all local jurisdiction codes and regulations. DESIGN3 STUDIO INC is not responsible for Means and Methods. The General Contractor is responsible for all techniques, scheduling and procedures.

Lot 21 Block 114
 Houston Heights

ROOF FRAMING PLAN

Issue/Revision:
 11.22.16 HAHC

Drawing Description:

ROOF FRAMING PLAN

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	S 1.3
Proj. Mgr.:	Date:	



House to north



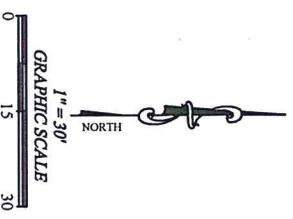
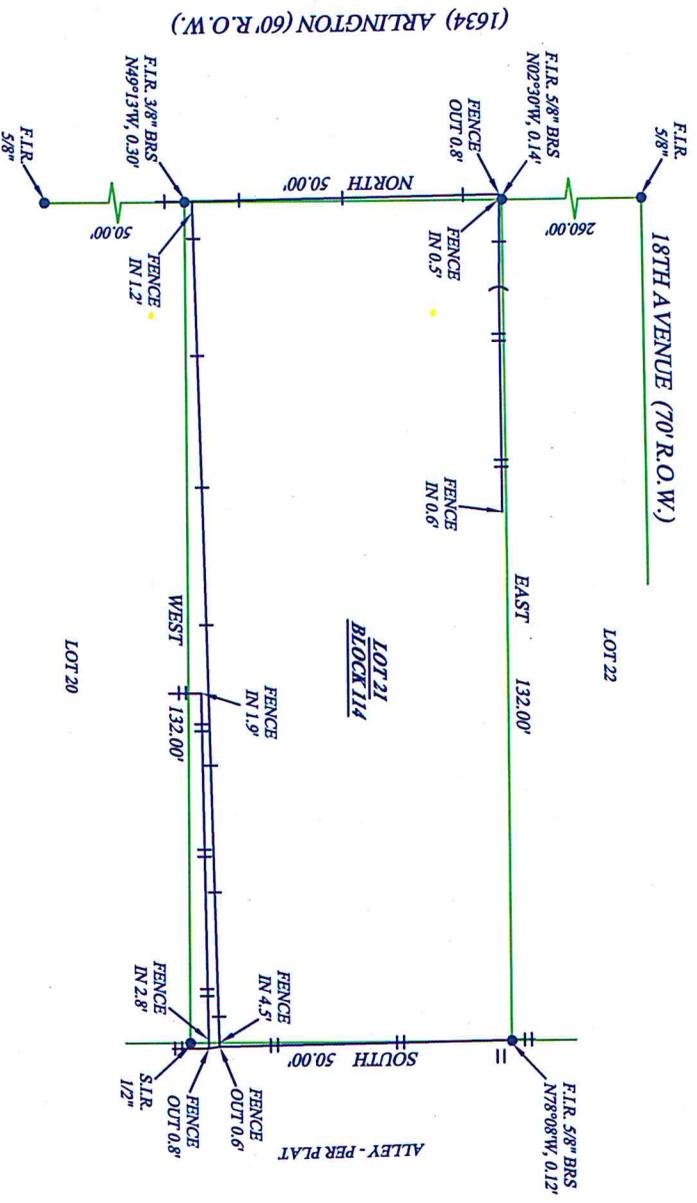
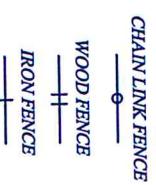
House to South

ADDRESS
(1634) ARLINGTON
HOUSTON, TX 77008

LEGAL DESCRIPTION: (AS FURNISHED)
 Lot 21, Block 114, of HOUSTON HEIGHTS, an addition in Harris County, Texas, according to the map or plat thereof recorded in Volume 1-A, Page 114, of the Map Records of Harris County, Texas.

SCALE: 1" = 30'

The Certified Registered Professional Land Surveyor Applying this survey certifies the accuracy, standards and sufficiency of the survey provided hereon.
 All information shown on this survey, Relies on a Commitment for Title Insurance, as provided by the Title Company and GF number referenced hereon. The surveyor did not research subject property.



NOTES:
 1: Any Restrictive Covenants recorded under Harris County Clerk's File No(s) M516607, R50046, V620908, V719174, W994254, 20130372002, 20130600380 and 20140203179.

BASIS OF BEARING: BEARINGS ARE BASED ON THE RECORDED PLAT

SURVEYOR INFORMATION:

ELITE SURVEYING COMPANY, INC.



P.O. Box 1697 "Sa Haba Estate"
 Pearland, TX 77588-1697
 Phone: 281-997-1585
 Fax: 281-485-6321

Chicago Title
 Marc R. Archibula
 Vice-President/ Executive Officer
 3700 Buffalo Speedway Suite 415
 Houston Texas 77098
 Direct Line) 713-456-9884
 Phone) 713-456-9880 / fax) 713-456-9881
 marc.archibula@cti.com

SURVEYOR'S CERTIFICATE

1, Bradley G. Wells, Texas Registered Professional Land Surveyor No. 5499, do hereby certify that the survey plat hereon is a true and accurate representation of the property hereon described, and do further state that this survey accurately depicts the substantial improvements to said property as located on the ground, and that there are no encroachments onto said property by any such improvements except as shown hereon.

Bradley G. Wells
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS
 BRADLEY G. WELLS
 5499
 DATED: 11/5/2016
 FOR THE FIRM

CLIENT GF#: CTT16873523WA
 SURVEY JOB #: 11-6-16
 SURVEY INVOICE #: 10566
 SURVEYOR: ROB
 DRAFTER: C. GRIFFIN
 APPROVED: B.G. WELLS
 CERTIFIED TO: (AS PROVIDED)

LEGEND
 A/C: AIR CONDITIONER
 B/D: BUILDING
 (C): CALCULATED
 C/B: CHAIN BEARING
 C/W: CONCRETE BLOCK WALL
 C/L: CENTERLINE
 C/C: CONCRETE
 C/CV: COVERED
 C/S: CONCRETE SLAB
 (D): DESCRIPTION
 D/W: DRIVEWAY
 E.O.W.: EDGE OF WATER
 (M): MEASURED
 P.C.: POINT OF CURVATURE
 P.C.P.: PERMANENT CONTROL POINT
 P.I.: POINT OF INTERSECTION
 P.O.B.: POINT OF BEGINNING
 P.O.C.: POINT OF COMMENCEMENT
 P.P.: POINT POLE
 P.R.C.: POINT OF REVERSE
 P.M.M.: PERMANENT REFERENCE MONUMENT
 P.T.: POINT OF TANGENCY
 C/LF: CHAIN LINK FENCE
 W/F: WOOD FENCE
 H/WF: HOOGWINE FENCE

FLOOD ZONE

(FOR INFORMATIONAL PURPOSES ONLY)
 SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X" AREA OF MINIMAL FLOODING, PER FIRM. THIS SHEET NUMBER BEING QUARANTEED IN ACCORDANCE OF THE ABOVE INFORMATION. THE LOCAL F.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

DATE	REVISION	DATE	REVISION	QC/1	QC/2
				C.G.	B.G.W.

BUYERS SIGNATURE: X _____

CHICAGO TITLE COMPANY
 VINTAGE BAYOU CITY HOMES, INC

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.
 CHICAGO TITLE COMPANY
 VINTAGE BAYOU CITY HOMES, INC