

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 1342 Tulane St Houston Tx 77008
 Historic District / Landmark Houston Heights West HCAD # 0207100000051
 Subdivision Houston Heights Lot 31 Block 174

DESIGNATION TYPE

- Landmark Contributing
 Protected Landmark Noncontributing
 Archaeological Site Vacant

PROPOSED ACTION

- Alteration or Addition Relocation
 Restoration Demolition
 New Construction Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Pablo Lambca
 Company _____
 Mailing Address 1342 Tulane St
 Phone 734-259-4898
 Email pablo.lambca@gmail.com
 Signature P. Lambca
 Date 11-17-2016

APPLICANT (if other than owner)

Name Emerson Jones
 Company Arch Precision Inc
 Mailing Address 2646 S Loop W
#590 Houston TX 77054
 Phone 281 796 6612
 Email EJONES@ARCH-INC.COM
 Signature E Jones
 Date 11-16-2016

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



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DEVELOPMENT
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Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 1332 Tulane St Houston TX 77008

BUILDING TYPE

- single-family residence garage
- multi-family residence carport
- commercial building accessory structure
- mixed use building other
- institutional building

ALTERATION TYPE

- addition roof
- foundation awning or canopy
- wall siding or cladding commercial sign
- windows or doors ramp or lift
- porch or balcony other

WRITTEN DESCRIPTION

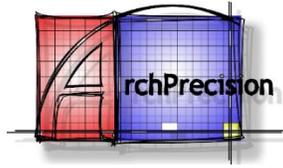
- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|---|---|
| <ul style="list-style-type: none"> <input checked="" type="checkbox"/> current site plan <input checked="" type="checkbox"/> proposed site plan <input checked="" type="checkbox"/> current floor plans <input checked="" type="checkbox"/> proposed floor plans <input checked="" type="checkbox"/> current window and door schedule <input checked="" type="checkbox"/> proposed window and door schedule | <ul style="list-style-type: none"> <input checked="" type="checkbox"/> demolition plan <input checked="" type="checkbox"/> current roof plan <input checked="" type="checkbox"/> proposed roof plan <input checked="" type="checkbox"/> current elevations (all sides) <input checked="" type="checkbox"/> proposed elevations (all sides) <input checked="" type="checkbox"/> perspective and/or line of sight |
|---|---|



City of Houston Historic Preservation Department
Project Address:
1332 Tulane St
Houston, Tx 77008

Re: Narrative of intent to the City of Houston Historic Preservation Department

The current property is in good condition. It is 974 SF total living area and the land area is 4,356 SF.

- The existing exterior elements are in good condition. See photos on A0.02
 - Wood siding
 - Decorative trim
 - Window frames
 - Roofing
 - Columns
 - Patio decking
 - Patio Railing
 - Patio Stairs

Addition: The addition includes a 2 story living area to the back of the house. A portion of the addition is inset 4" from the existing structure in order to show the delineation from the existing to new. See plans and elevations on A2.1 and A2.3.

The existing closet in the back of the house is a prior addition; not a part of the original structure and is being removed. See 2/A2.0.

At the appeal of the property owner, new gables; one at the existing front hipped roof and one at the new level 2 hipped roof, are requested to be approved by the Preservation Department since this is a non-contributing structure. It is proposed to add some character to the front elevation while still complimenting the character of the existing building. Refer to sheets A0.02, A2.2 and A2.3.

Drawing List:

A0.02 PROPOSED 3D VIEWS, EXISTING PHOTOS
A1.0 SITE PLANS
A2.0 EXISTING FLOOR PLAN, DEMOLITION PLAN
A2.1 PROPOSED FLOOR PLANS
A2.2 EXISTING ELEVATIONS, EXISTING ROOF PLAN, DEMOLITION ROOF PLAN
A2.3 PROPOSED ELEVATIONS, ROOF PLAN

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