

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 618 HIGHLAND STREET  
Historic District / Landmark WOODLAND HEIGHTS HCAD # 0372940000006  
Subdivision WOODLAND HEIGHTS Lot 6 Block 29

## DESIGNATION TYPE

- Landmark  
 Protected Landmark  
 Archaeological Site  
 Contributing  
 Noncontributing  
 Vacant

## PROPOSED ACTION

- Alteration or Addition  
 Restoration  
 New Construction  
 Relocation  
 Demolition  
 Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name Jason Guyre  
Company \_\_\_\_\_  
Mailing Address 618 Highland St.  
Houston, TX 77009  
Phone (832) 746-5448  
Email [REDACTED]  
Signature Jason Guyre  
Date 1/3/17

## APPLICANT (if other than owner)

Name AARON MENDIAS  
Company CASIMANO ARCHITECT  
Mailing Address 4511 NETT ST.  
HOUSTON, TX 77007  
Phone 713 858-2126  
Email [REDACTED]  
Signature Aaron Mendias  
Date 1-4-2017

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**Well in advance** of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

**PROPERTY ADDRESS:** 618 HIGHLAND STREET

## BUILDING TYPE

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> carport             |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building                 | <input type="checkbox"/> other               |
| <input type="checkbox"/> institutional building             |  |

## ALTERATION TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> addition     | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

## WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

## PHOTOGRAPHS

 label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

## DRAWINGS

 scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> current site plan                 | <input checked="" type="checkbox"/> demolition plan                 |
| <input checked="" type="checkbox"/> proposed site plan                | <input checked="" type="checkbox"/> current roof plan               |
| <input checked="" type="checkbox"/> current floor plans               | <input checked="" type="checkbox"/> proposed roof plan              |
| <input checked="" type="checkbox"/> proposed floor plans              | <input checked="" type="checkbox"/> current elevations (all sides)  |
| <input checked="" type="checkbox"/> current window and door schedule  | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight           |

## 618 Highland Street Project Details

- Legal Description:** Lot 6, Block 29, Woodland Heights as recorded in Vol. 2, p. 33 of the map records of Harris County, Texas.
- Site:** The existing site is 5,000 S.F. and is located on Highland Street with Reagan Street being the nearest cross street. It's located in the Woodland Heights with a physical address of 618 Highland Street. The site has a one-story frame residence with a front porch with a footprint of 1802 S.F. A two car, 1 story garage sits behind the residence with a drive connecting it to Highland street. The Garage foot print is 500 S.F. The house has its own sidewalks within the property going from front to entry to the city sidewalk that parallels the street.
- Shape/Mass:** The existing structure measures 65'-5" deep by 37'-4" wide which includes a covered front porch that extends 9'-2" off the front of the residence. The existing ridge measures 20'-2" and the eave measures 9'-8". The addition will be on the southern portion of the residence away from Highland street. A second floor will be added directly above this addition as well. The addition will increase the footprint by 580 SF.
- Setbacks:** The existing residence is set back 19'-6" from the property line along Highland Ave. It is 3'-0" from the west property line, 9'-8" from the east property line, and 24'-2 ¾" from the South (rear) property line.
- Foundation:** The existing house features a pier and beam foundation with a finished floor height of 2'-0".
- Windows/Doors:** The existing house features wood single hung 1/1 windows, wood single pane fixed windows, which will be retained. The house features a wood and glass front door which will be retained. The rear door is wood and glass and will be relocated on new addition.

- Exterior Materials: The existing residence features 117 wood siding to be retained. The addition will match and tie into the existing siding. The new soffit on the second story addition will match and tie into the existing.
- Roof: The existing roof features cross hip terminating in gable on the North, East, & South Elevations. There is also a gable in the middle of the North Elevation. The roof is a 7/12 pitch clad in composition shingles. The addition will feature a 7/12 slope gable.
- Front Elevation (North): The existing structure features a projecting porch with under a gable with a wood and glass entry door. There are 4 1/1 windows on this elevation on 117 wood siding with a siding water table just below the window sills. The porch extends 9'-2" North of the main body of the house and features original columns, railing, and wood flooring. This elevation shall remain unchanged.
- Side Elevation (West): Not visible from right of way. See elevations. The existing structure features 6 windows, all of which shall be retained. The structure has a hip running the length of this elevation. The South side of the West elevation shall have the existing 1 story roof removed for the addition to be located directly above the first-floor portion. The addition will match the siding and continue up to a second-floor soffit. Six new windows will be in this second-floor addition. A 7: 12 hip roof covering the addition with two gables at the ends.
- Side Elevation (East): The existing structure features a North of center projecting wall with six windows under a gable. The Southern portion of the elevation (toward the rear of the property) shall be the new addition. The new addition shall match existing siding conditions. The windows are to match existing on the house. The 2-story addition has a dual gable symmetrical composition.

Rear Elevation (South): Not visible from right of way. See Elevations. The existing structure features a gable projection wall with three ganged 1/1 windows and a gable window. The two-story addition shall match existing siding and have a hip roof facing the rear property line.

Criteria Adherence (b): This addition to a contributing structure satisfies criteria by keeping with the original stylings of houses of that period. This gives unified house identity that is appropriate with the style of the neighborhood. The addition is set back from the front elevation. The original siding, trim, overhang, soffit detail, and colors will be matched to the existing house. This addition allows the house to be competitive with contemporary houses in the type, size, and amount of interior spaces without compromising the exterior form in an obtrusive manner.

## Photos of House

Front Elevation (North)



Side Elevation (West) Partial image: Not visible from right of way



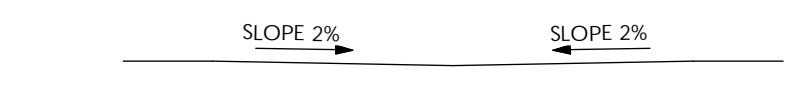
Side Elevation (East):



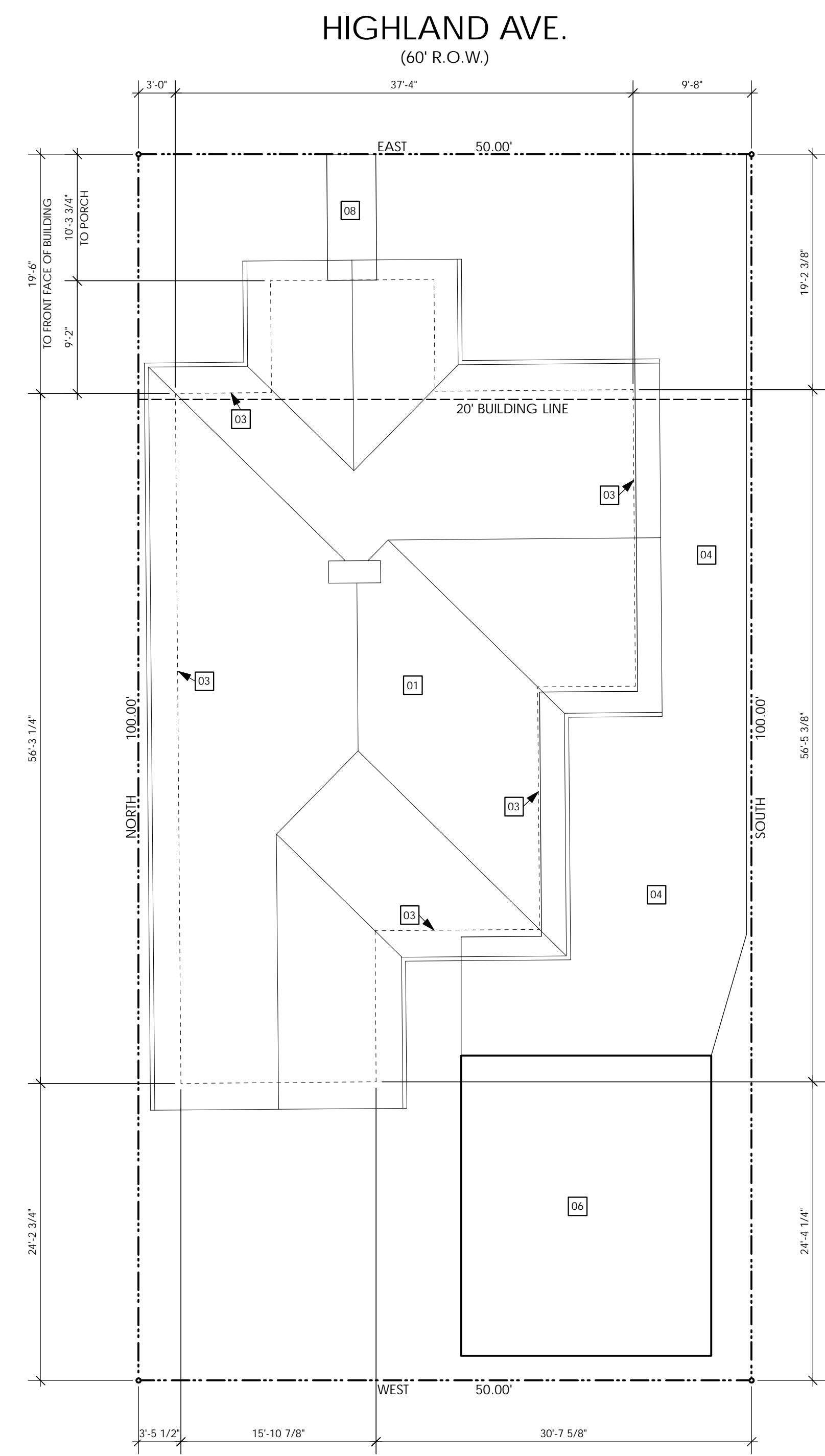


Rear Elevation (South):

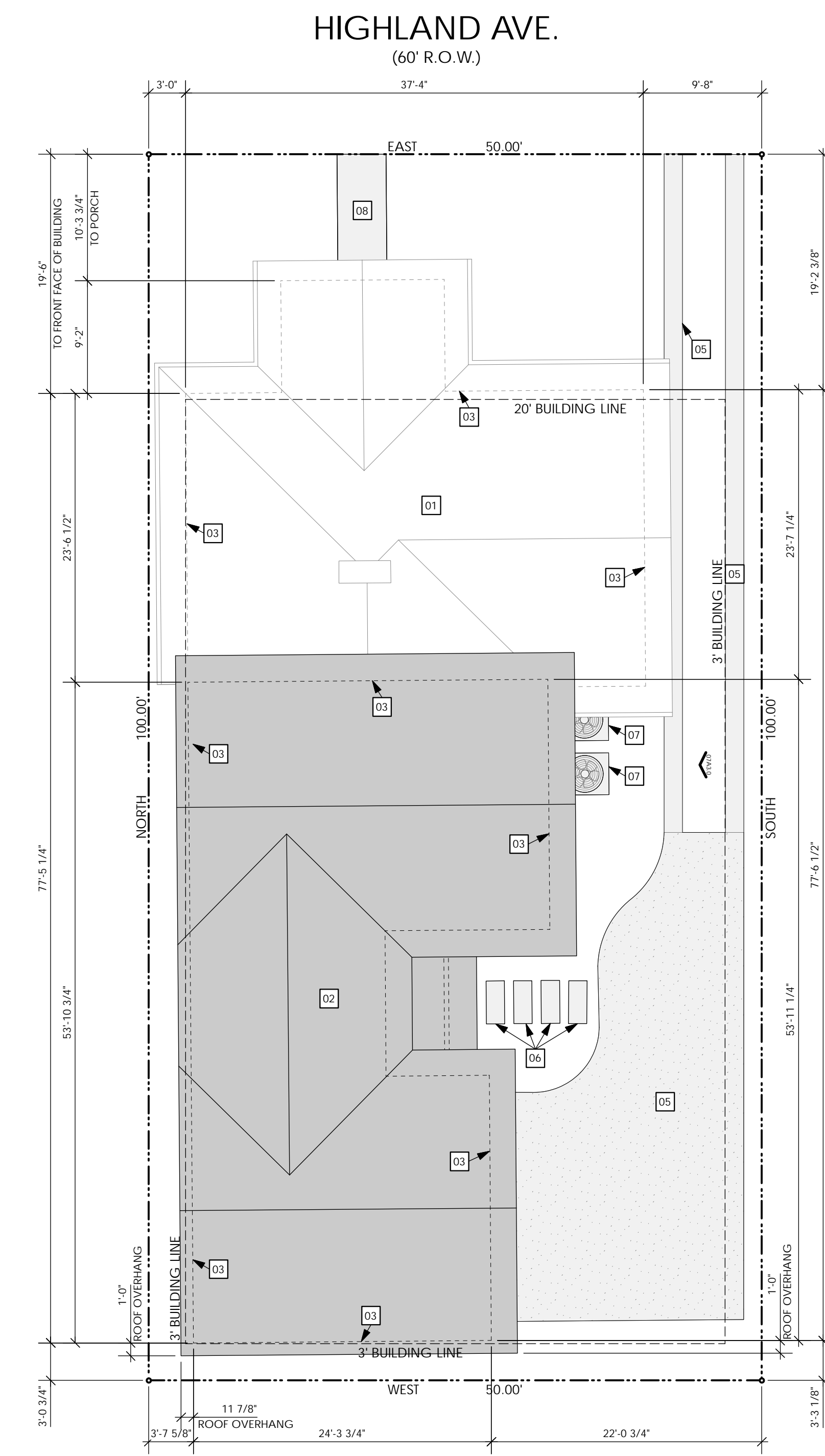




08 SECTION THROUGH SWALE  
SCALE: 1/8" = 1'-0"



13 SITE PLAN - EXISTING  
SCALE: 1/8" = 1'-0"



05 SITE PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION

LOT 6, BLOCK 29, WOODLAND HEIGHTS,  
AS RECORDED IN VOL. 2, PAGE 33 OF THE MAP RECORDS  
OF HARRIS COUNTY, TEXAS

GENERAL NOTES

- PROJECT DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOUSTON-AMENDED 2012 IRC, 2015 IECC, AND THE 2014 NEC.
- THIS SITE PLAN WAS PREPARED BASED ON A SURVEY PROVIDED BY JASON & EMILY GUIRE.
- PLUMBING VENTS ARE TO BE GANGED WHERE POSSIBLE AND LOCATED OUT OF VIEW FROM HIGHLAND STREET.
- ALL WATER HEATER AND FURNACE FLUES SHALL BE LOCATED OUT OF VIEW FROM HIGHLAND STREET.

PERMEABLE CALCULATIONS

EXISTING	
1 STORY RESIDENCE	1802 SQ. FT.
1 STORY DETACHED GARAGE	500 SQ. FT.
DRIVEWAY, WALK, A/C PADS	987 SQ. FT.
TOTAL EXISTING	3289 SQ. FT.
EXISTING TO BE REMOVED	
1 STORY DETACHED GARAGE	500 SQ. FT.
DRIVEWAY	446 SQ. FT.
TOTAL TO BE REMOVED	1446 SQ. FT.
ADDITION	
2 STORY ATTACHED GARAGE ADDITION	580 SQ. FT.
NEW DRIVEWAY, WALK, A/C PADS	821 SQ. FT.
TOTAL ADDITION	1401 SQ. FT.
TOTAL IMPERVIOUS	3244 SQ. FT.
TOTAL LOT	5000 SQ. FT.
PERCENT IMPERVIOUS	64.8%

DRAINAGE NOTES

- LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM THE FOUNDATION. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES THE FIRST 10 FEET (5%) WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET. DRAINS OR SWALES SHALL BE CONSTRUCTED WITH A 2% SLOPE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING PER 2012 IRC SECTION 1803.3, R401.3 2012 IRC.
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES PLUS 2%.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE LOT DRAINAGE CONFORMS TO 2006 IRC SECTION 1803.3, R401.3 2012 IRC, AND HOUSTON AMENDMENTS TO THE 2012 IRC, SECTION 510.2.
- CULVERT (WHERE OCCURRING) SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE AND NO MORE THAN 8 INCHES BELOW THE DITCH FLOW LINE.

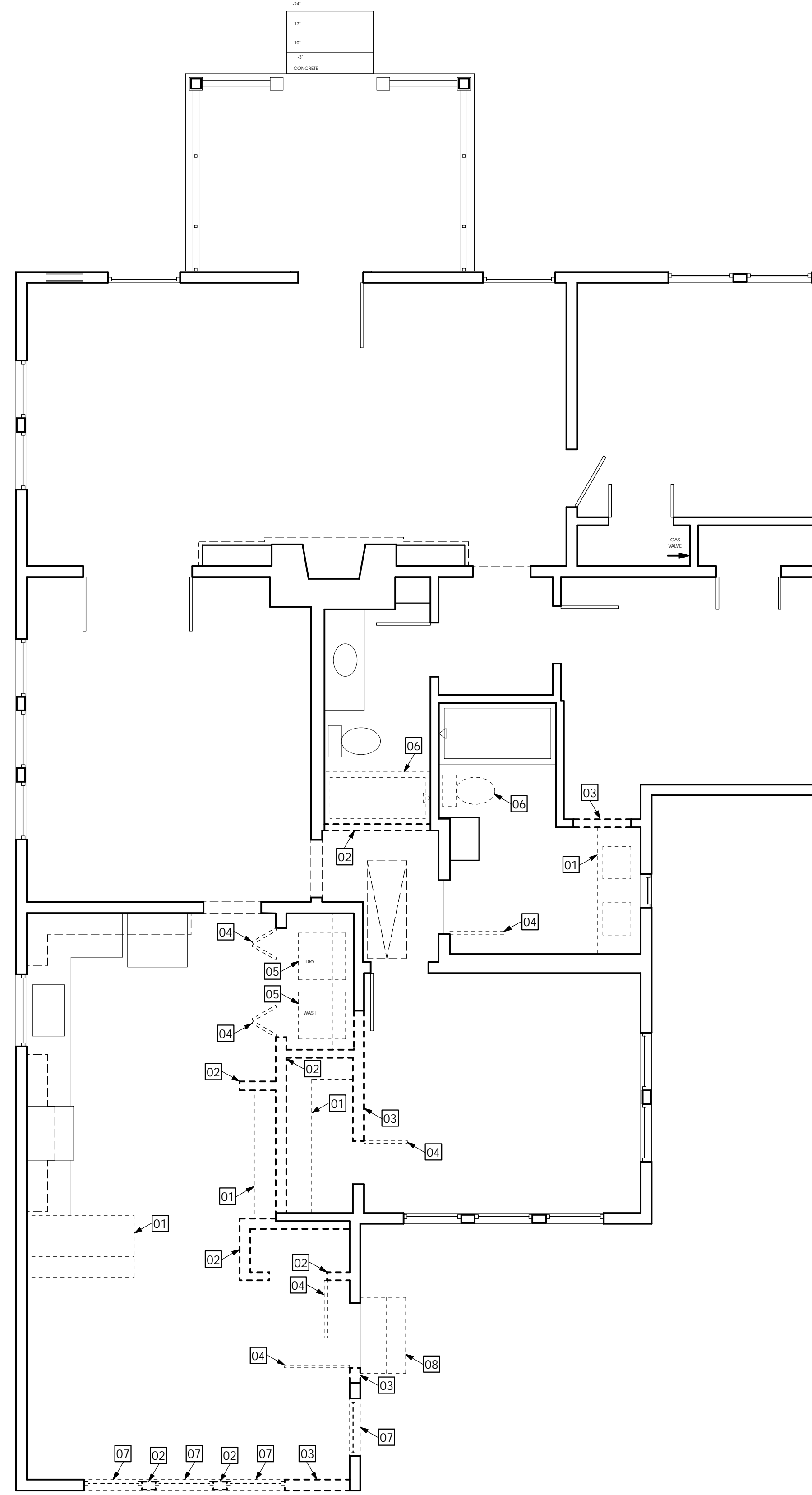
KEYED NOTES

- EXISTING 2 STORY RESIDENCE
- NEW 2 STORY REMOVED / ADDITION
- DASHED LINE INDICATES EXTENT OF STRUCTURE BELOW
- EXISTING CONCRETE DRIVEWAY
- NEW CONCRETE DRIVE
- NEW CONCRETE PAVERS
- EXISTING 1 STORY GARAGE
- NEW A/C UNITS ON CONCRETE PADS
- EXISTING CONCRETE WALKWAY

RELATION OF SPECIFICATIONS AND DRAWINGS

THE DRAWINGS AND SPECIFICATIONS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THEY DISAGREE IN THEMSELVES, OR WITH EACH OTHER, BASE THE BIDS ON THE MOST EXTENSIVE COMBINATION OF QUALITY AND QUANTITY OF WORK INDICATED. THE ARCHITECT WILL CLARIFY THE PROJECT REQUIREMENTS IN THE EVENT OF THE ABOVE MENTIONED DISAGREEMENTS.

- DRAWINGS SHALL NOT BE SCALED.
- LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DETAILS.
- ARCHITECTURAL DRAWINGS TAKE PRECEDENCE IN REGARD TO DIMENSIONS, WHEN IN CONFLICT WITH MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS, EXCEPT FOR THE SIZE OF THE STRUCTURAL MEMBERS.
- ANY CALLS FOR DIMENSIONAL ALIGNMENT TAKE PRECEDENCE OVER ANY CONFLICTING NUMERICAL DIMENSIONS, NOTIFY ARCHITECT OF ANY CONFLICT.
- SPECIFICALLY TITLED DRAWINGS TAKE PRECEDENCE OVER INDICATION OF THE ITEM IN A COLLATERAL WAY.
- IN RENOVATION AND ADDITION WORK EXISTING CONDITIONS TAKE PRECEDENCE OVER DRAWING DIMENSIONS.
- ALL DETAILS SUGGESTING MEANS AND METHODS OF CONSTRUCTION ILLUSTRATE ARCHITECTURAL INTENT ONLY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND SHALL ENSURE ALL EXECUTED WORK MEETS LOCAL BUILDING CODES. IF THE GENERAL CONTRACTOR IS CONCERNED OR IN DISAGREEMENT WITH ANY DETAILS IN THE CONSTRUCTION SET OF DRAWINGS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION.



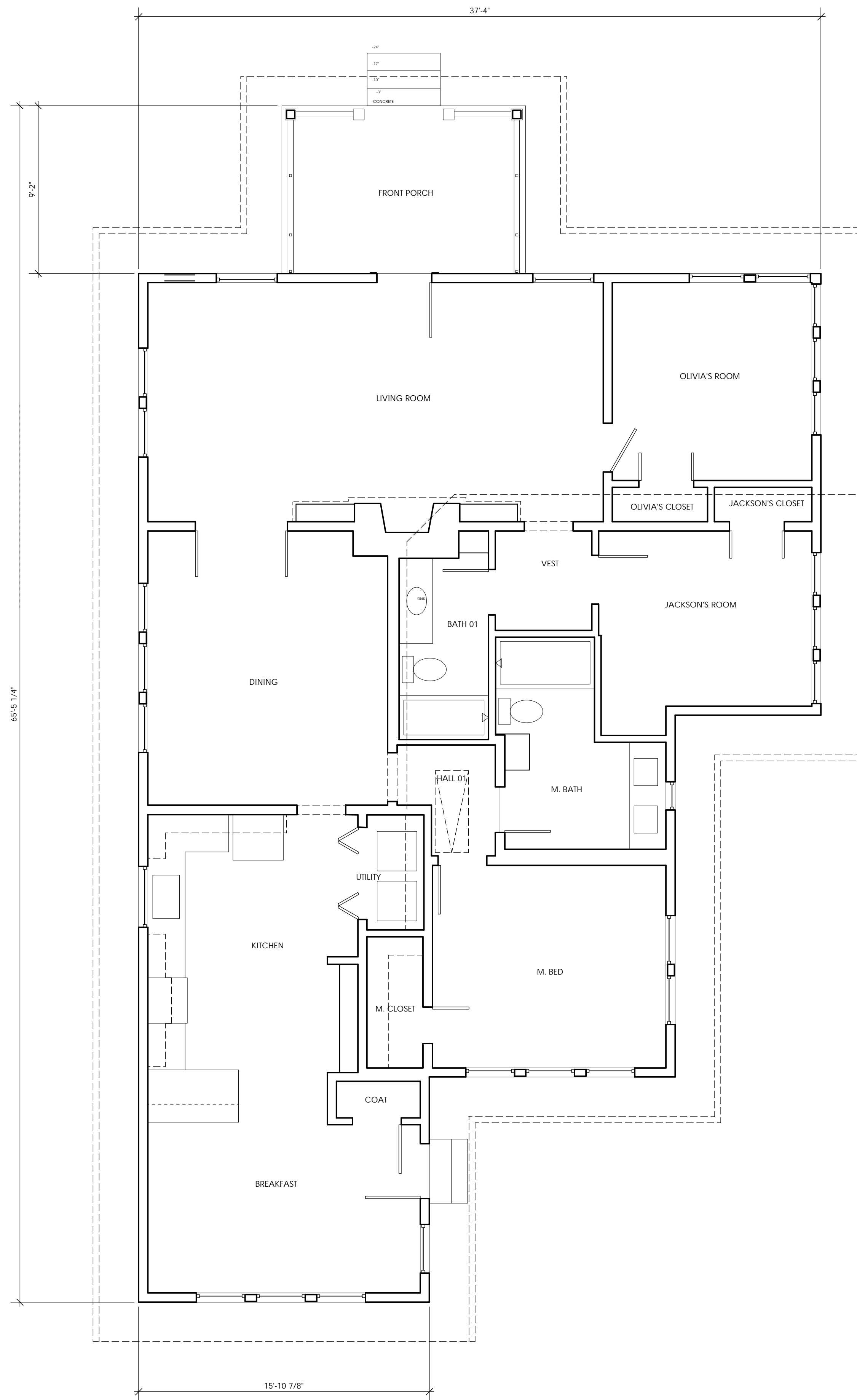
- DEMO KEYED NOTES:**
- 01. REMOVE EXISTING CABINERY AND/OR COUNTERTOP
  - 02. REMOVE EXISTING STUD WALL
  - 03. MODIFY STUD WALL FOR OPENING. SEE PLAN
  - 04. REMOVE DOOR
  - 05. REMOVE APPLIANCE
  - 06. REMOVE PLUMBING FIXTURE
  - 07. REMOVE WINDOW
  - 08. REMOVE STAIRS
  - 09.

N  
 05 FIRST FLOOR DEMO PLAN  
 SCALE: 1/4" = 1'-0"

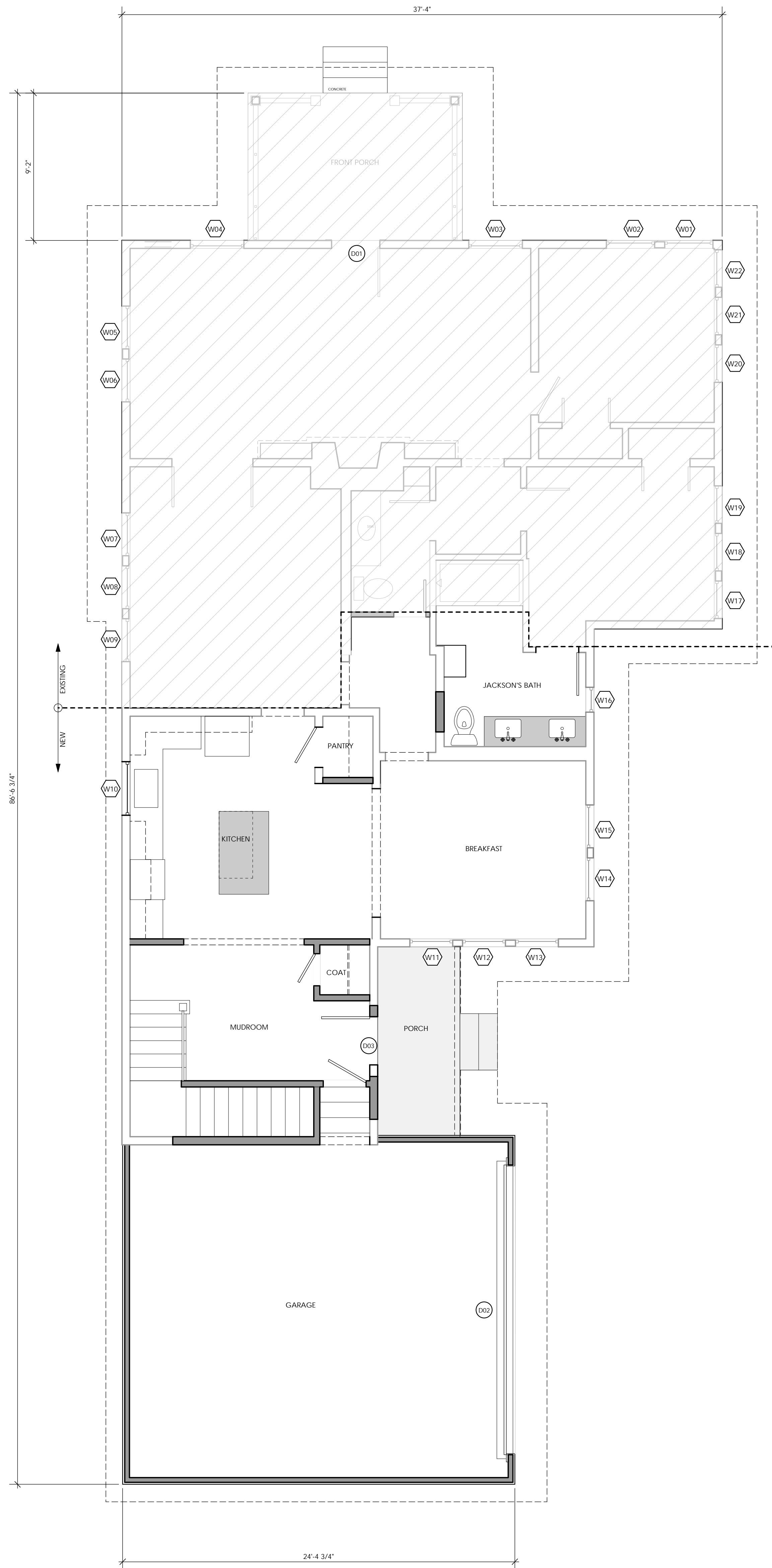
PROJECT:  
 JASON & EMILY GUYRE  
 618 HIGHLAND STREET  
 HOUSTON, TX 77009

ISSUED:  
 For HAHC Review  
 04 January 2017

NOT FOR  
 CONSTRUCTION  
**A2.0**



**13** FIRST FLOOR PLAN - EXISTING  
SCALE: 1/4" = 1'-0"



**05** FIRST FLOOR PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"

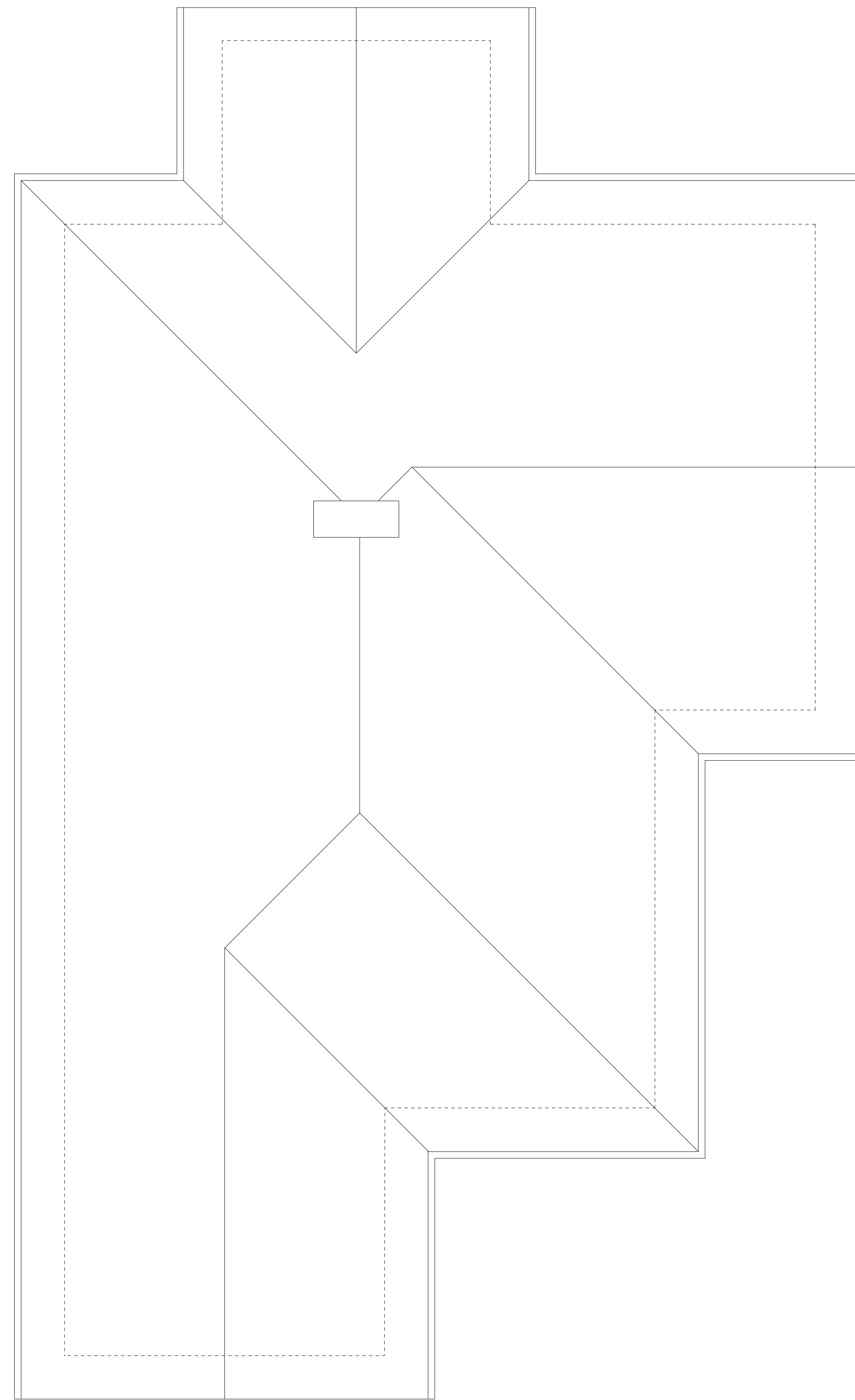
**SECOND FLOOR WINDOW SCHEDULE**

WINDOW #	TYPE	COMMENTS
W01	A	EXISTING WINDOW TO REMAIN
W02	A	EXISTING WINDOW TO REMAIN
W03	B	EXISTING WINDOW TO REMAIN
W04	B	EXISTING WINDOW TO REMAIN
W05	C	EXISTING WINDOW TO REMAIN
W06	C	EXISTING WINDOW TO REMAIN
W07	C	EXISTING WINDOW TO REMAIN
W08	C	EXISTING WINDOW TO REMAIN
W09	C	EXISTING WINDOW TO REMAIN
W10	D	EXISTING WINDOW TO REMAIN
W11	C	EXISTING WINDOW TO REMAIN
W12	C	EXISTING WINDOW TO REMAIN
W13	C	EXISTING WINDOW TO REMAIN
W14	C	EXISTING WINDOW TO REMAIN
W15	C	EXISTING WINDOW TO REMAIN
W16	F	EXISTING WINDOW TO REMAIN
W17	F	EXISTING WINDOW TO REMAIN
W18	F	EXISTING WINDOW TO REMAIN
W19	F	EXISTING WINDOW TO REMAIN
W20	F	EXISTING WINDOW TO REMAIN
W21	F	EXISTING WINDOW TO REMAIN
W22	F	EXISTING WINDOW TO REMAIN

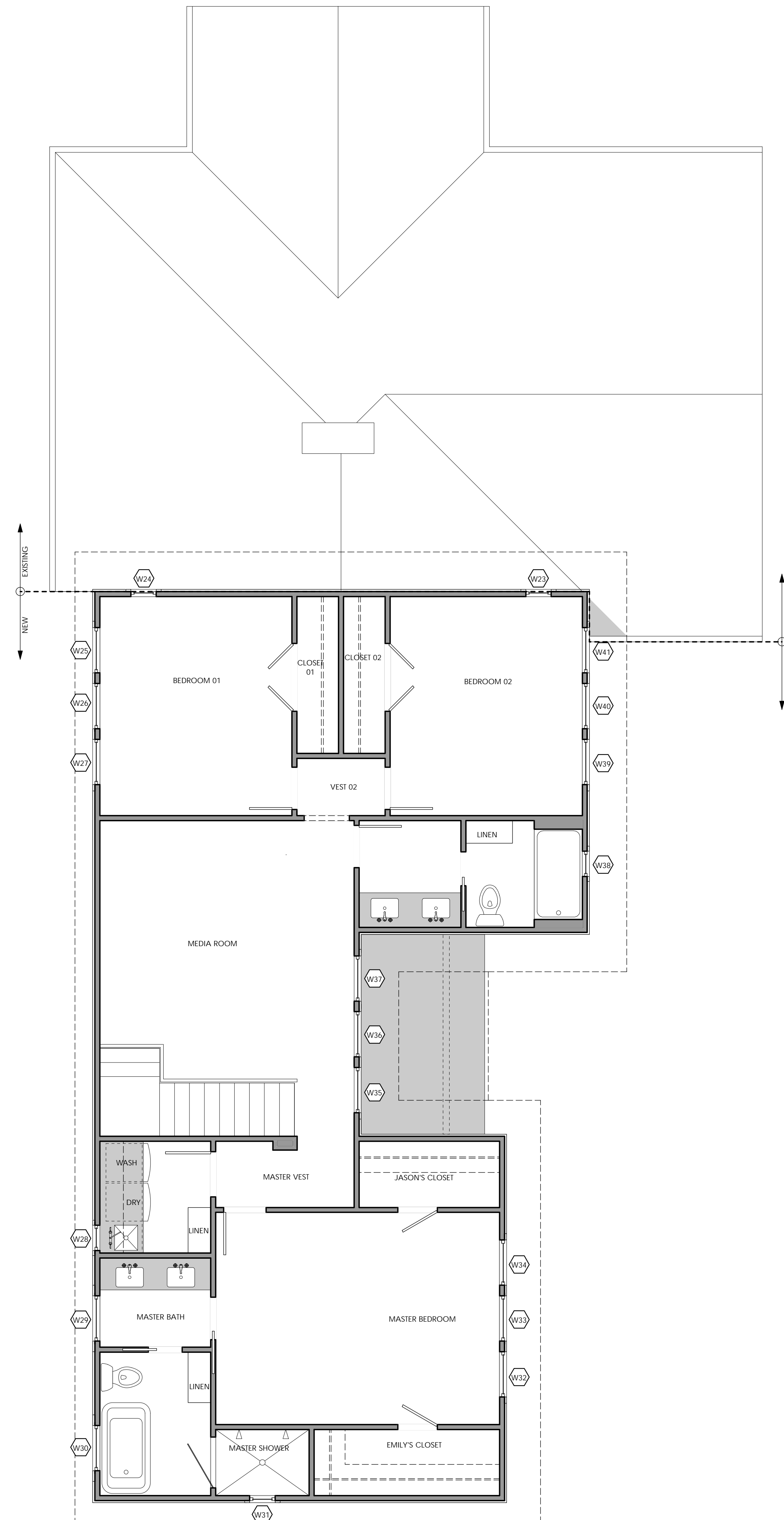
NOTES:  
01. SEE SHEET A7.1 FOR DIMENSIONED WINDOW ELEVATIONS AND TYPES.  
02. ALL WINDOWS SHALL HAVE SHEETROCK RETURN FINISH U.N.O. NO JAMB EXTENSIONS REQUIRED.

**AREA CALCULATIONS:**

INTERIOR SPACE	
EXISTING FIRST FLOOR	1679 SQ. FT.
NEW SECOND FLOOR	1279 SQ. FT.
TOTAL	2958 SQ. FT.
EXTERIOR SPACE	
EXISTING FRONT PORCH	122 SQ. FT.
NEW GARAGE	511 SQ. FT.
NEW REAR PORCH	61 SQ. FT.
TOTAL	694 SQ. FT.
TOTAL FOUNDATION	2373 SQ. FT.
TOTAL BUILT	3581 SQ. FT.



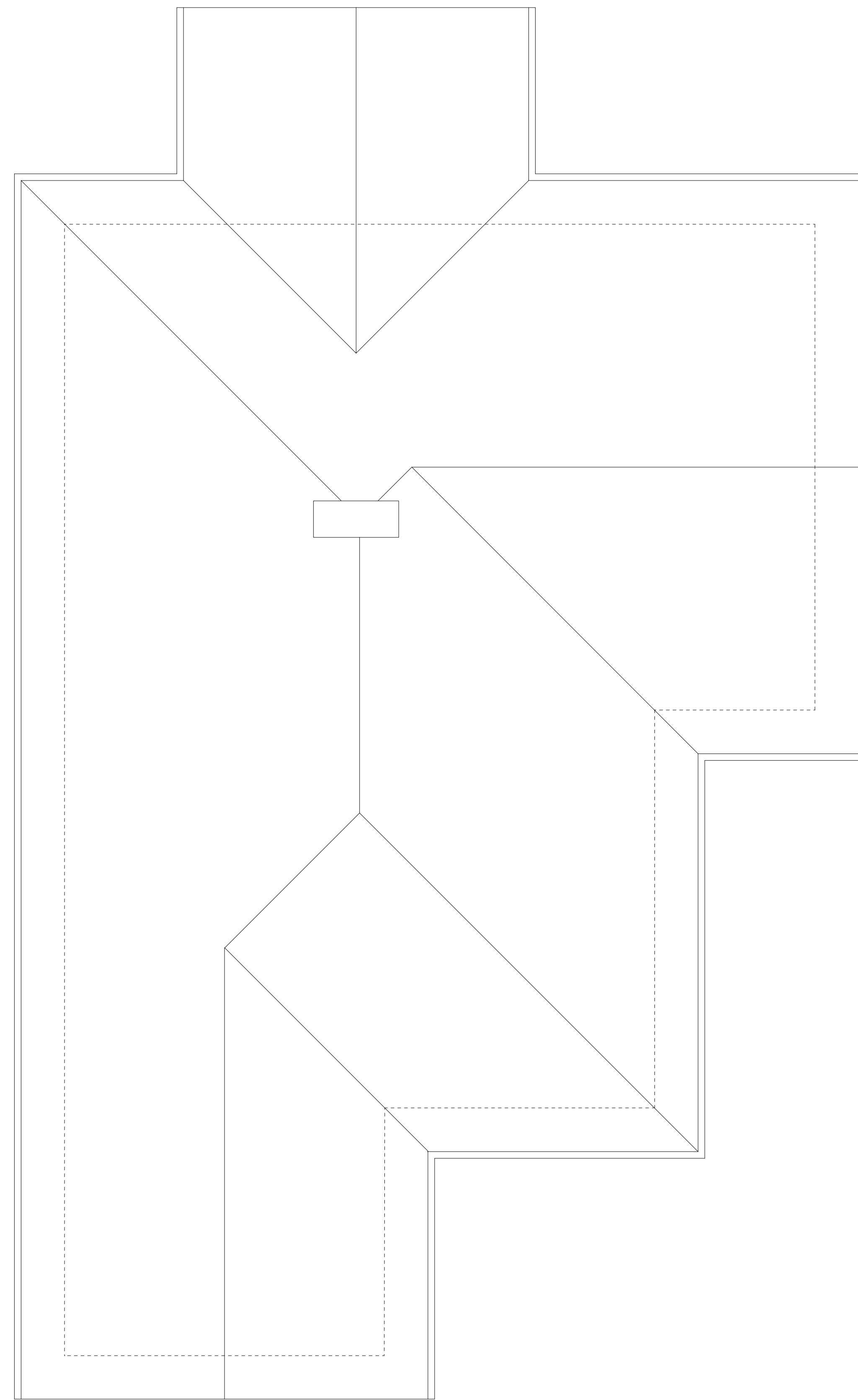
**N**  
13 ROOF PLAN - EXISTING  
SCALE: 1/4" = 1'-0"



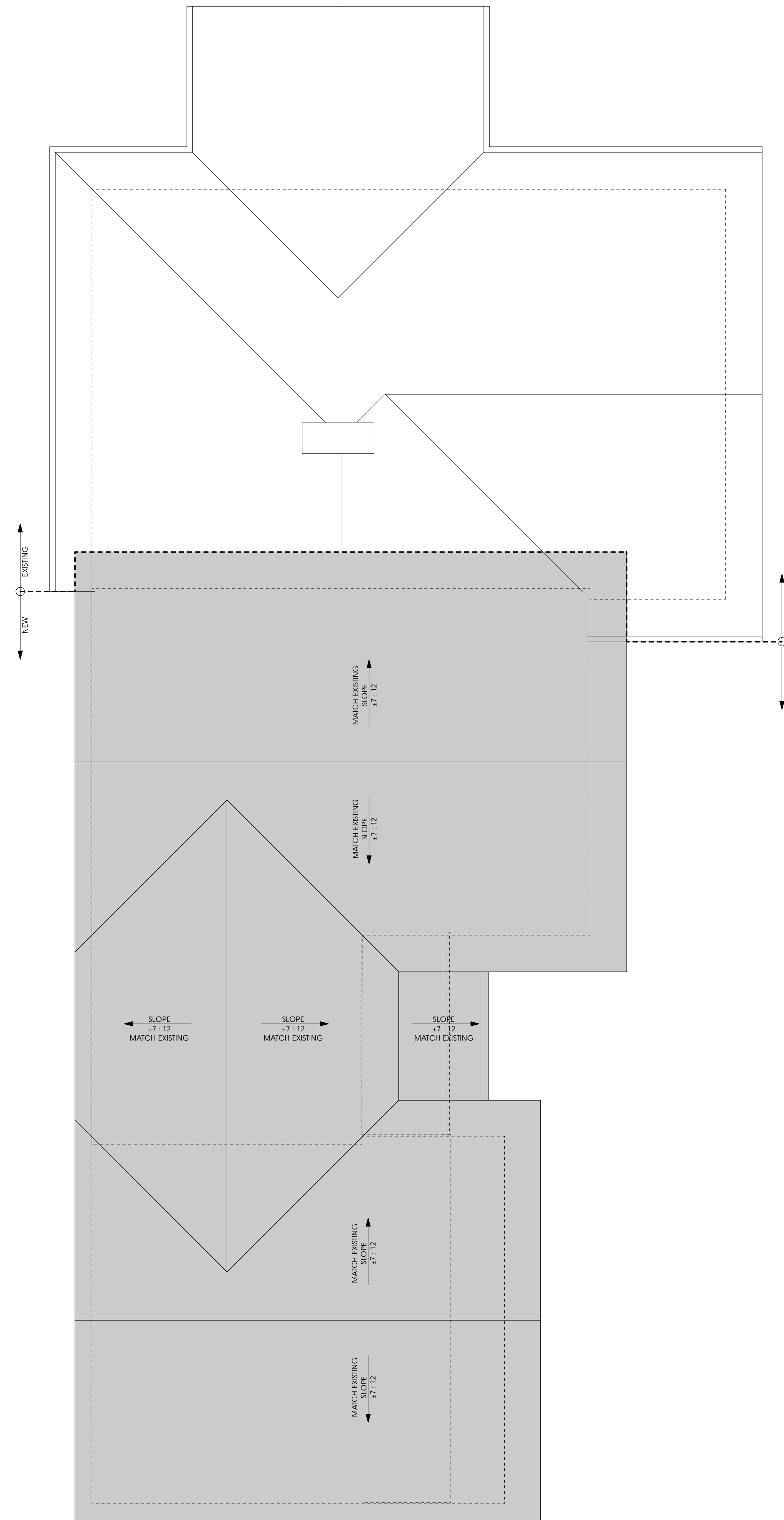
**N**  
05 SECOND FLOOR PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"

**AREA CALCULATIONS:**

INTERIOR SPACE	
EXISTING FIRST FLOOR	1679 SQ. FT.
NEW SECOND FLOOR	1279 SQ. FT.
TOTAL	2958 SQ. FT.
EXTERIOR SPACE	
EXISTING FRONT PORCH	122 SQ. FT.
NEW GARAGE	511 SQ. FT.
NEW REAR PORCH	61 SQ. FT.
TOTAL	623 SQ. FT.
TOTAL FOUNDATION	2373 SQ. FT.
TOTAL BUILT	3581 SQ. FT.



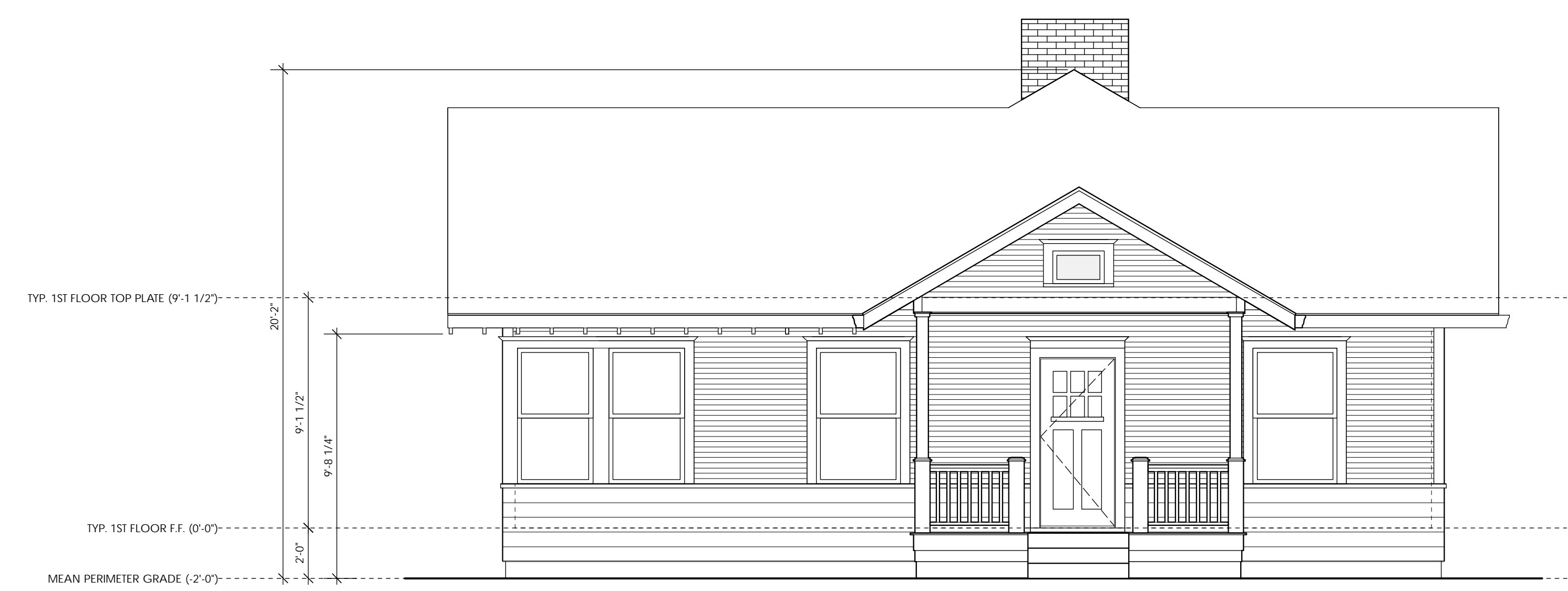
**13** ROOF PLAN - EXISTING  
SCALE: 1/4" = 1'-0"



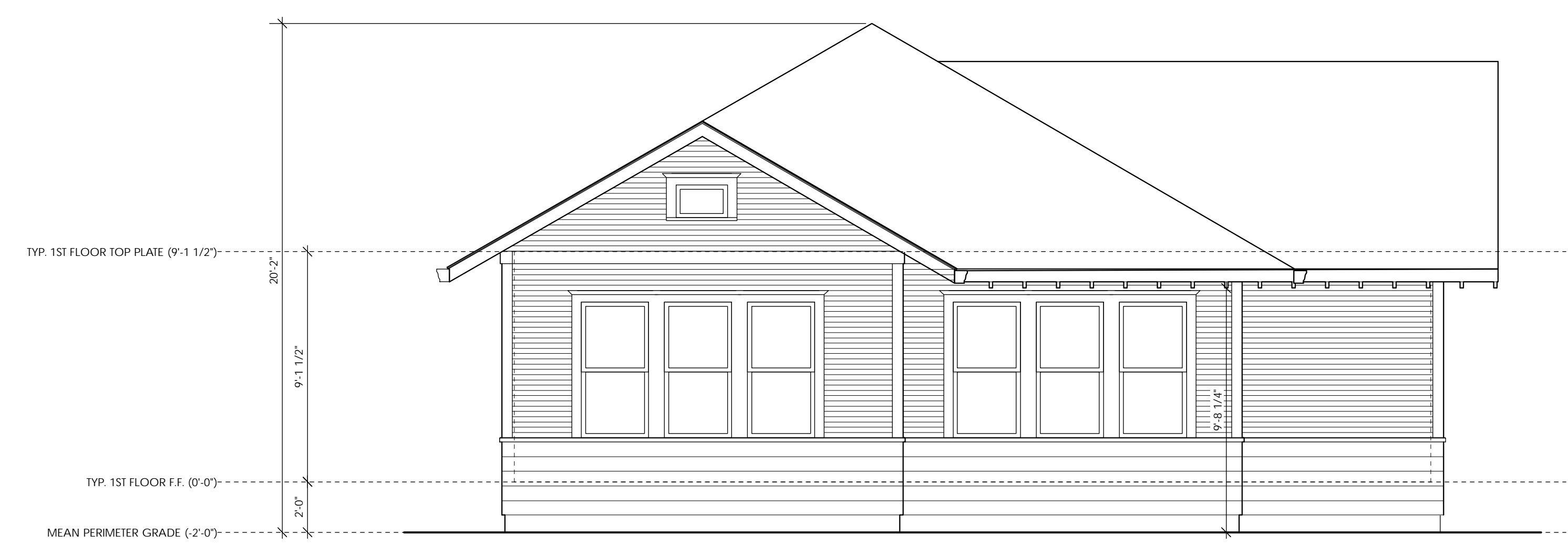
**05** ROOF PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"

**AREA CALCULATIONS:**

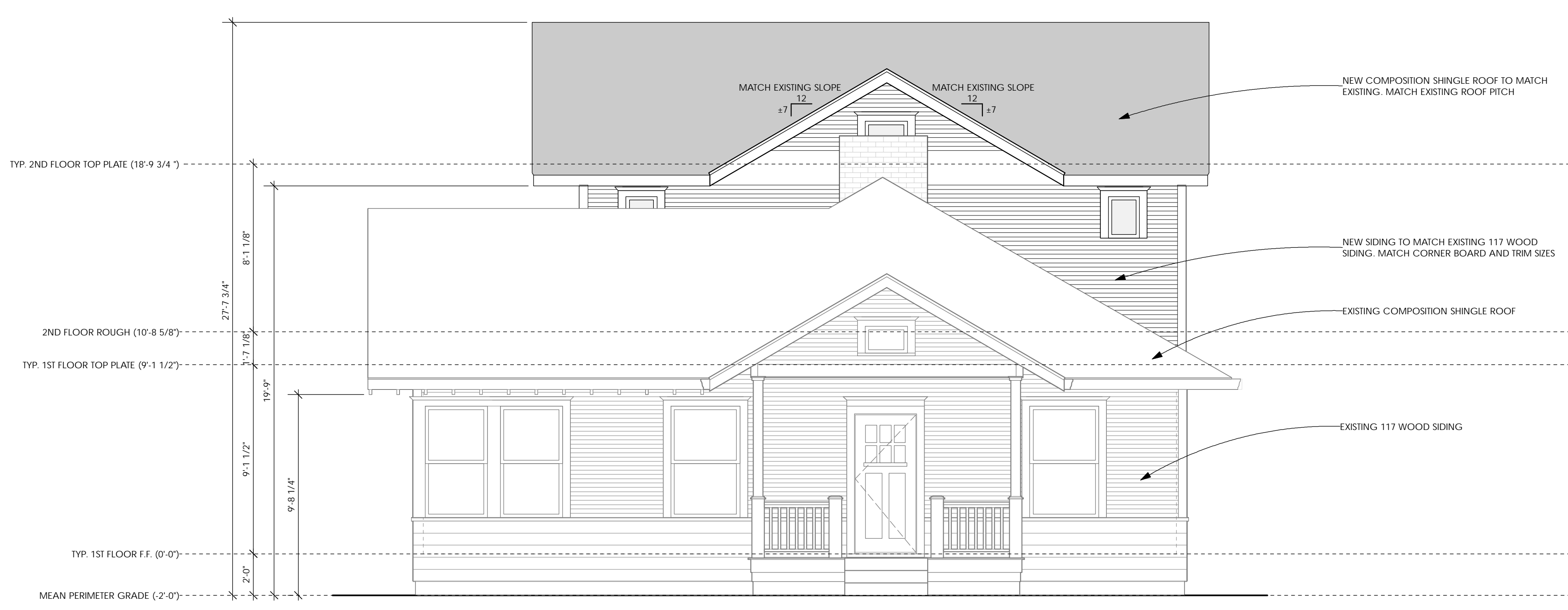
<b>INTERIOR SPACE</b>	
EXISTING FIRST FLOOR	1679 SQ. FT.
NEW SECOND FLOOR	1279 SQ. FT.
<b>TOTAL</b>	<b>2958 SQ. FT.</b>
<b>EXTERIOR SPACE</b>	
EXISTING FRONT PORCH	122 SQ. FT.
NEW GARAGE	511 SQ. FT.
NEW REAR PORCH	61 SQ. FT.
<b>TOTAL</b>	<b>694 SQ. FT.</b>
<b>TOTAL FOUNDATION</b>	<b>2373 SQ. FT.</b>
<b>TOTAL BUILT</b>	<b>3581 SQ. FT.</b>



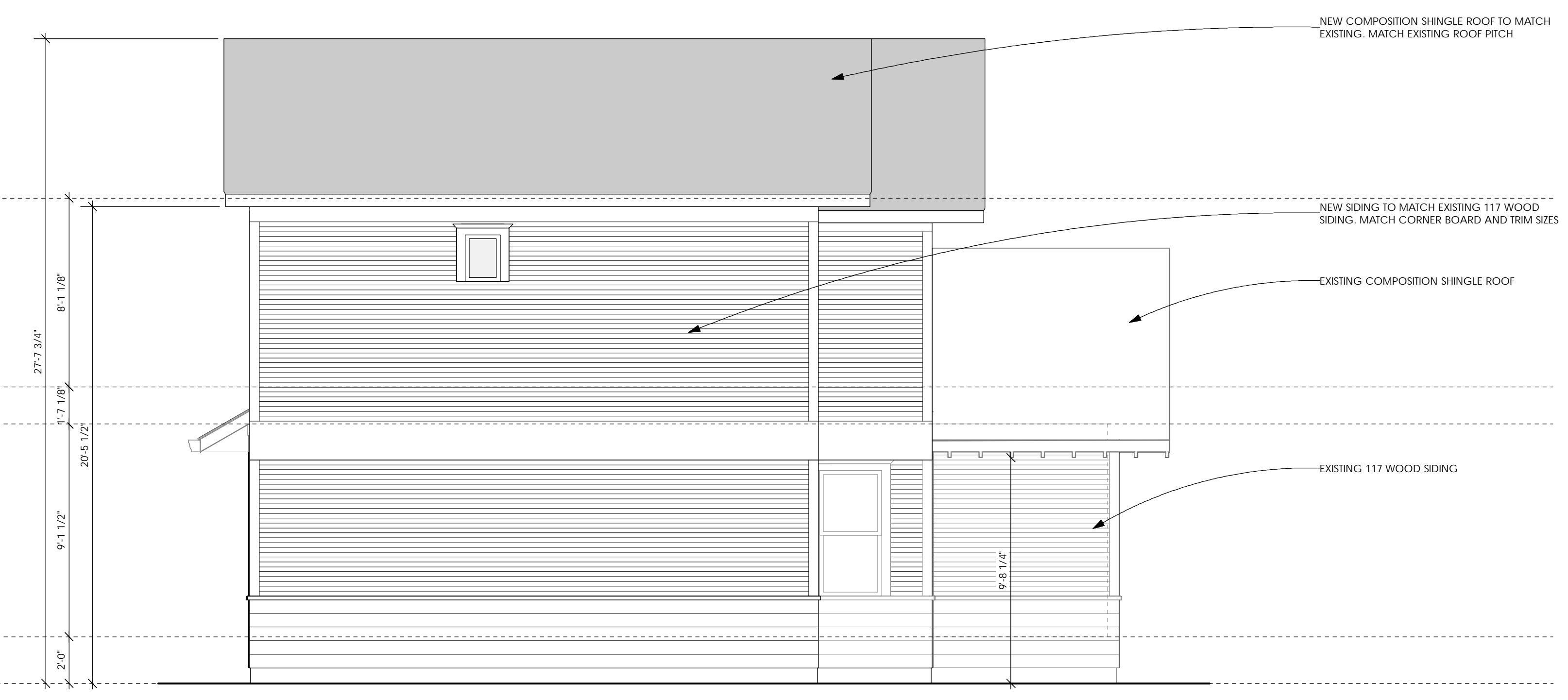
**15 NORTH ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"



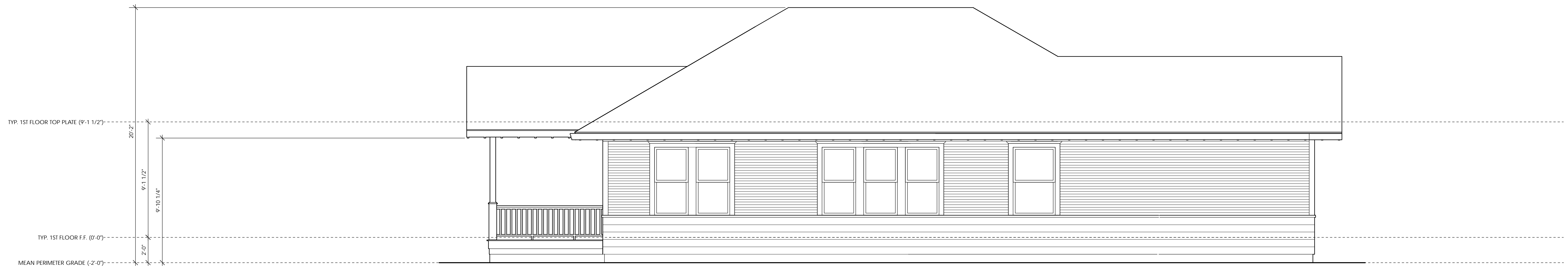
**07 SOUTH ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"



**13 NORTH ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



**05 SOUTH ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"

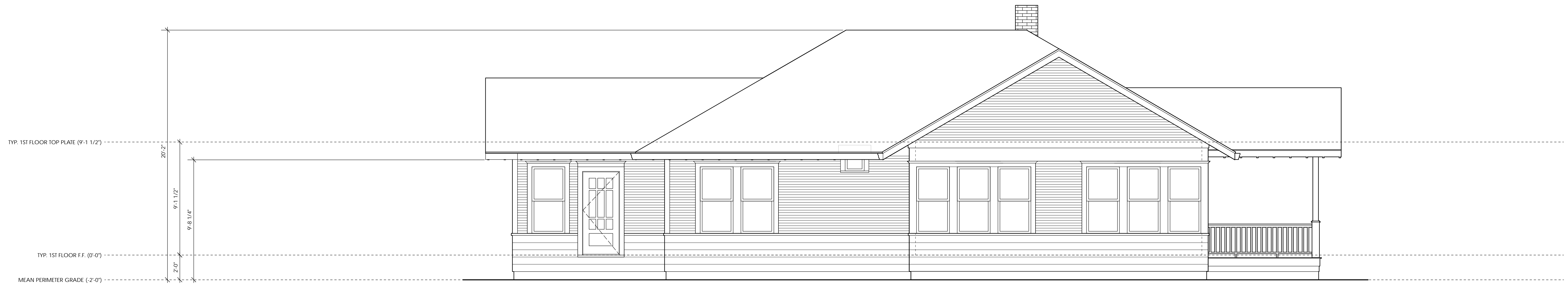


**07 WEST ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"



**05 WEST ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"

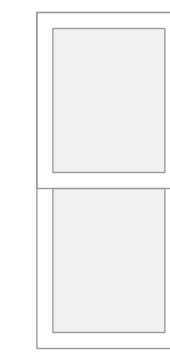
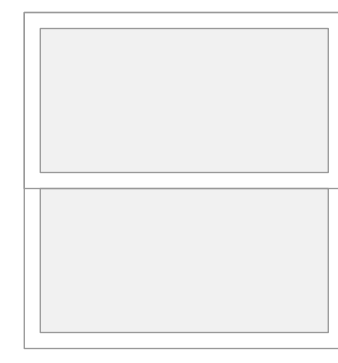
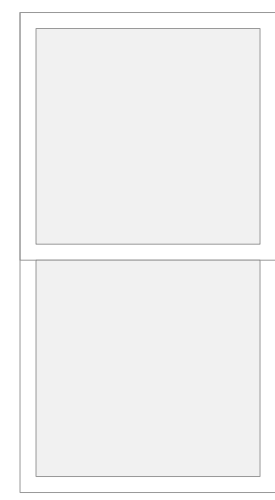
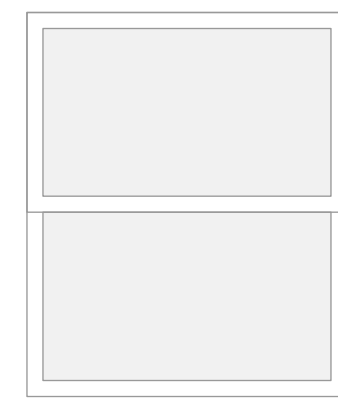




**07 EAST ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"



**05 EAST ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



FINISH FLOOR

**A**  
EXISTING WINDOW  
3'-0" X 5'-0" SINGLE HUNG

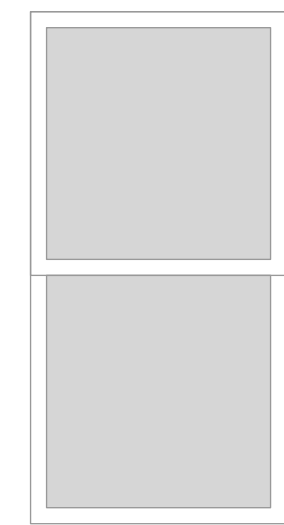
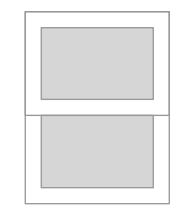
**B**  
EXISTING WINDOW  
3'-4" X 4'-0" SINGLE HUNG

**C**  
EXISTING WINDOW  
2'-8" X 5'-0" SINGLE HUNG

**D**  
EXISTING WINDOW  
3'-4" X 3'-6" SINGLE HUNG

**E**  
EXISTING WINDOW  
1'-6" X 3'-6" SINGLE HUNG

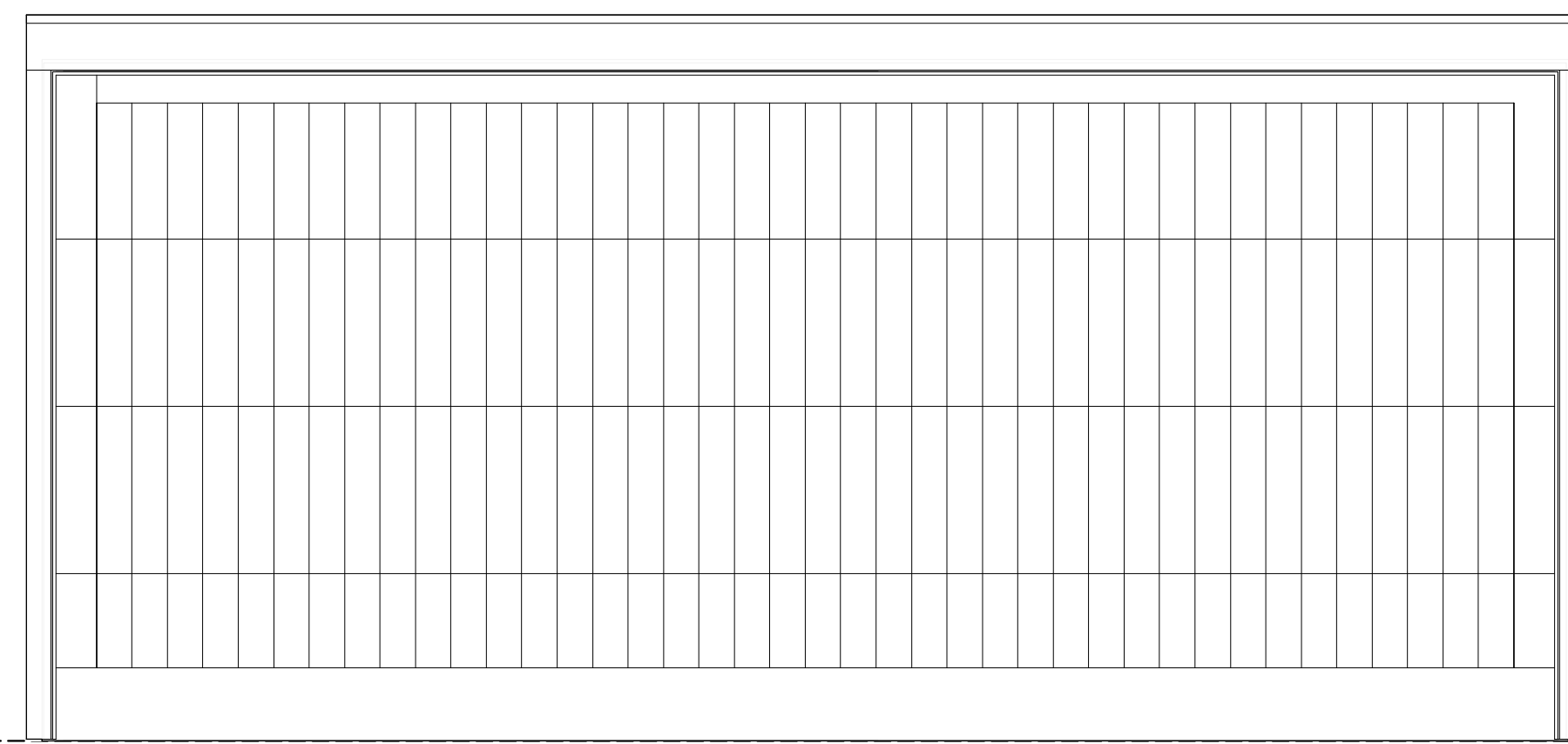
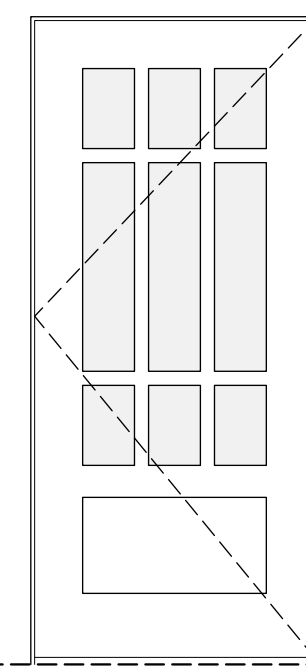
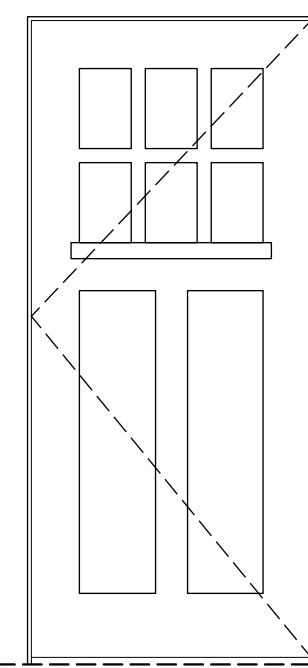
**F**  
EXISTING WINDOW  
2'-4" X 5'-0" SINGLE HUNG



FINISH FLOOR

**G**  
NEW WINDOW  
1'-6" X 2'-0" SINGLE HUNG

**H**  
NEW WINDOW  
2'-8" X 5'-4" SINGLE HUNG



**A**  
EXISTING DOOR  
PAINTED WOOD  
3'-0" X 6'-8"

**B**  
EXISTING DOOR  
PAINTED WOOD  
3'-0" X 6'-8"

**C**  
NEW DOOR  
PAINTED WOOD  
16'-0" X 8'-0"

PROJECT:  
REMODEL/ADDITION FOR  
MICHAEL & DEBRA  
LOREMAN

ISSUED:  
For Client Review  
24 April 2015  
For HAHC Review  
29 April 2015  
For Permit  
22 October 2015

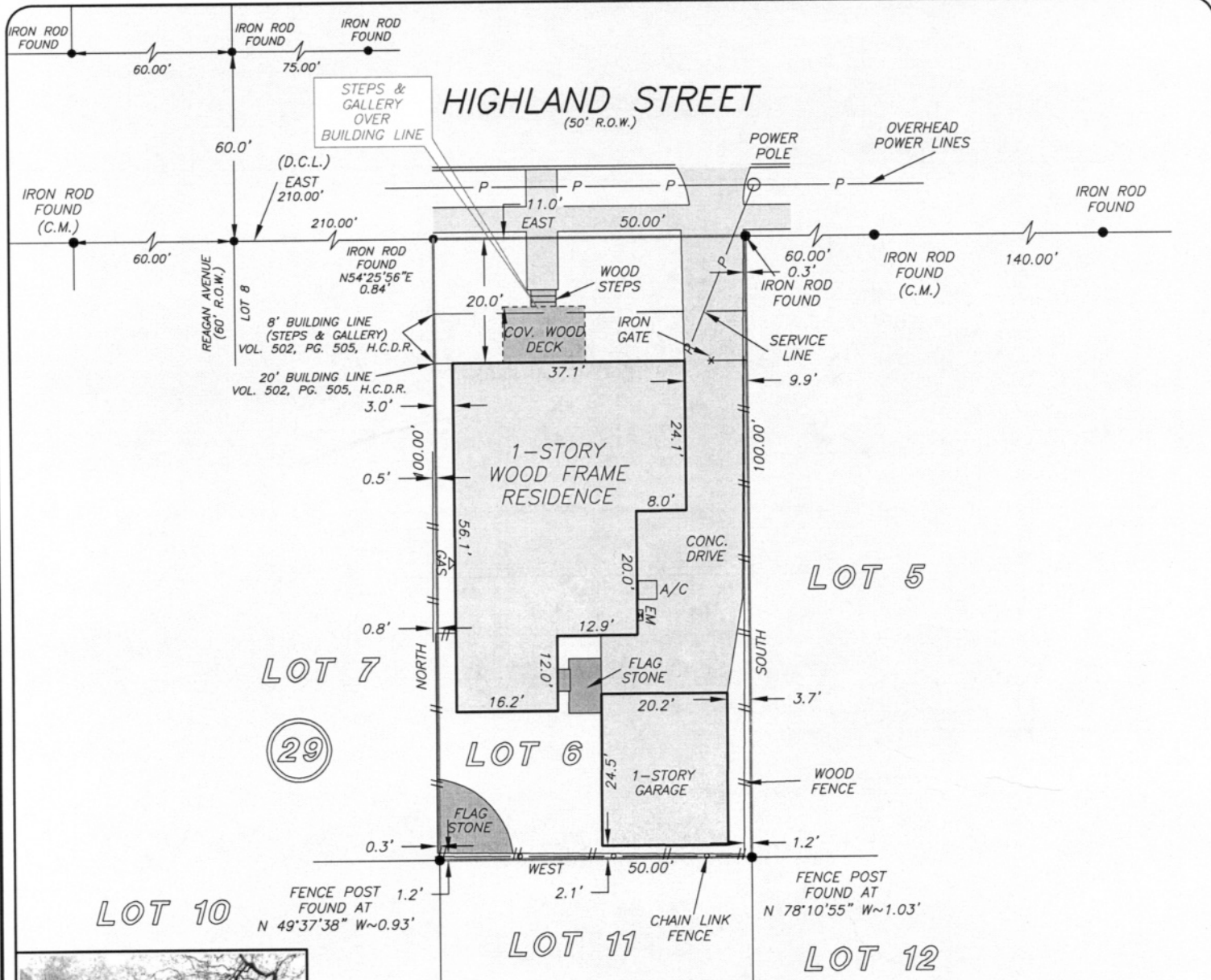


GF NO. CTH-IL-CTT12604842BC CHICAGO TITLE  
 ADDRESS: 618 HIGHLAND STREET  
 HOUSTON, TEXAS 77009  
 BORROWER: JASON GUYRE

# LOT 6, BLOCK 29 WOODLAND HEIGHTS

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED  
 IN VOLUME 2, PAGE 33 OF THE MAP RECORDS  
 OF HARRIS COUNTY, TEXAS

SCALE: 1" = 25'



NOTE: TERMS CONDITIONS, AND STIPULATIONS OF THAT CERTAIN CITY OF HOUSTON, TEXAS, ORDINANCE NO. 2007-1311 ESTABLISHING THE SUBJECT PROPERTY AS BEING IN A SPECIAL MINIMUM LOT SIZE REQUIREMENTS AREA, A COPY OF WHICH IS RECORDED UNDER HARRIS COUNTY CLERK'S FILE NO. 20080395666.

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS PER FIRM PANEL NO. 48201C 0670 L MAP REVISION: 06/18/2007 ZONE X BASED ONLY ON VISUAL EXAMINATION OF MAPS. INACCURACIES OF FEMA MAPS PREVENT EXACT DETERMINATION WITHOUT DETAILED FIELD STUDY

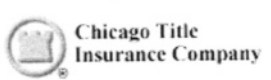
A SUBSURFACE INVESTIGATION WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE RECORD BEARING: VOL. 2, PG. 33, H.C.M.R.

DRAWN BY: AL

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THERE ARE NO ENCROACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY AND ABSTRACTING PROVIDED IN THE ABOVE REFERENCED TITLE COMMITMENT WAS RELIED UPON IN PREPARATION OF THIS SURVEY.

GEORGE GALE  
 PROFESSIONAL LAND SURVEYOR  
 NO. 4678  
 JOB NO. 12-02228  
 MARCH 20, 2012



BOB COLLIER  
 713-496-9880



**PRECISION**  
 surveyors

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